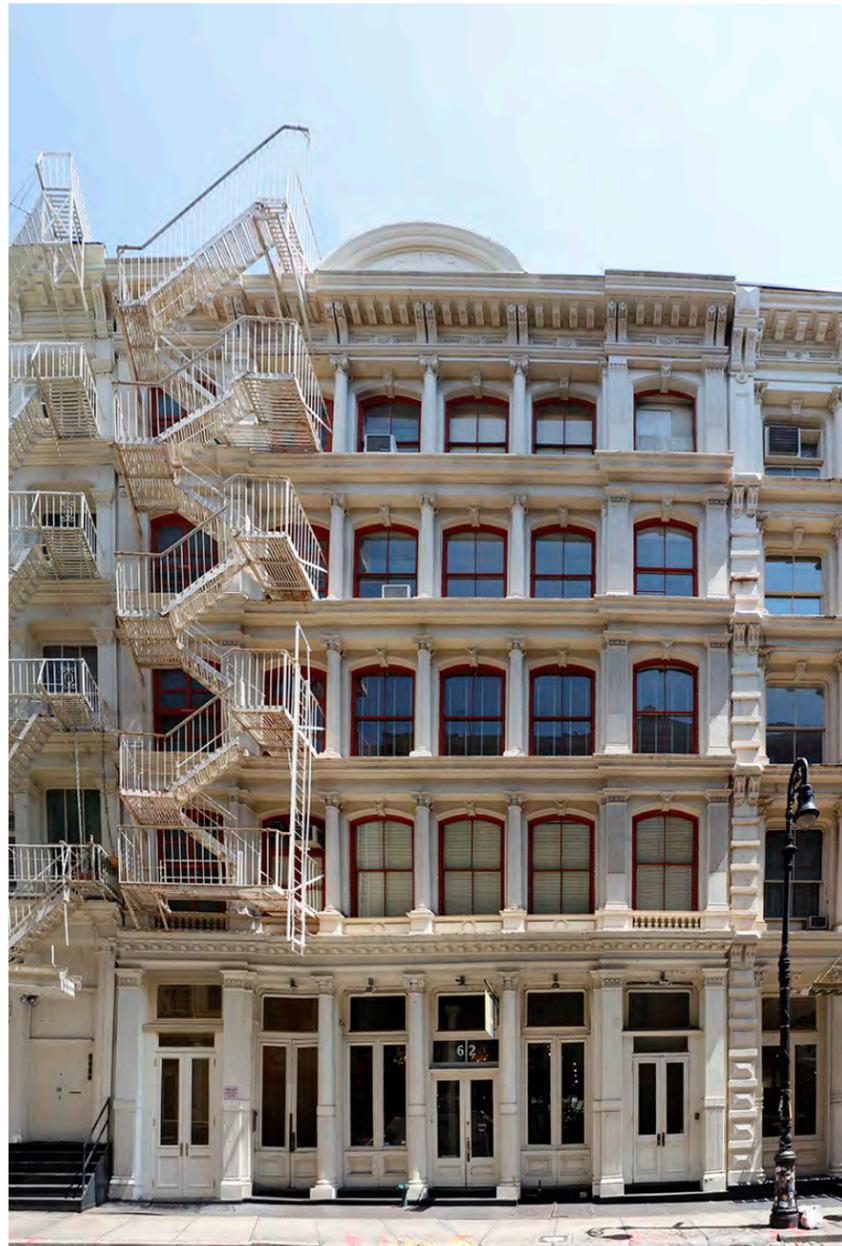


62 GREENE STREET



ADDRESS: 62 GREENE ST., NEW YORK, NY 10012
MANHATTAN COMMUNITY BOARD: 2
BLOCK: 485
LOT: 3
ZONING: M1-5A



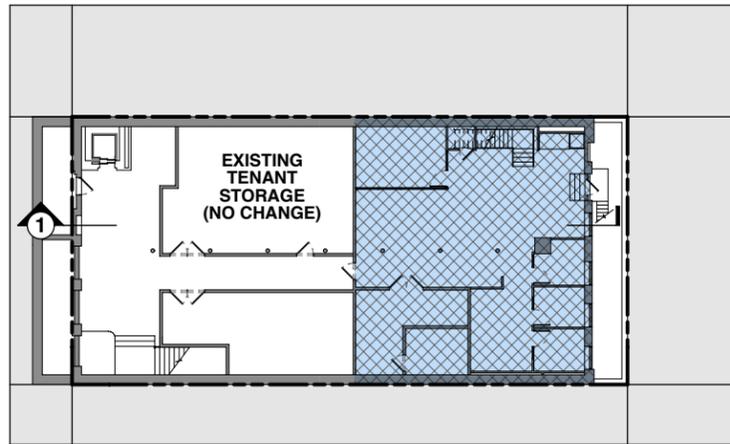
SoHo-Cast Iron
Historic District
Manhattan
Designated: August 14, 1973

 Historic District Boundaries

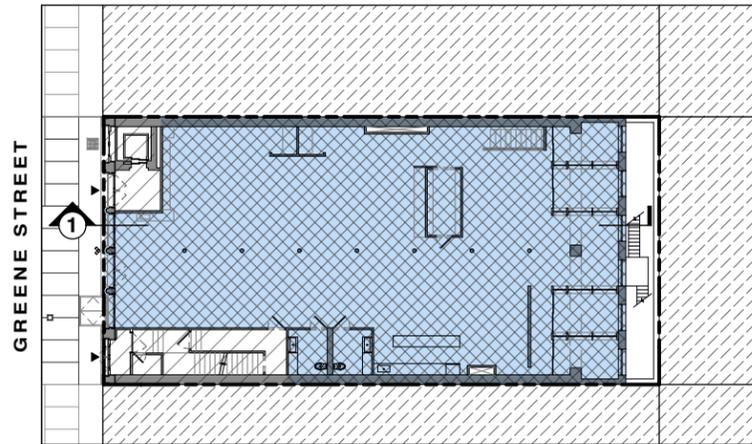


**62 GREENE STREET
ZR 74-711 (MOU)**

KEY	
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 (RESIDENTIAL) IN M1-5A ZONING DISTRICT
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 (COMMERCIAL) IN M1-5A ZONING DISTRICT
	ADJACENT BUILDINGS



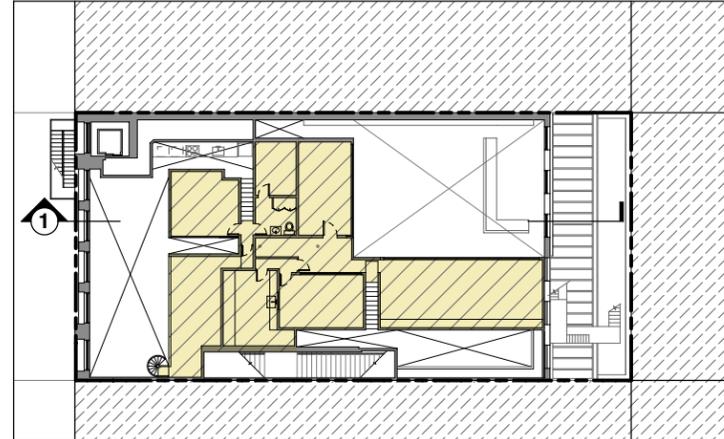
CELLAR LEVEL PLAN



GROUND FLOOR PLAN



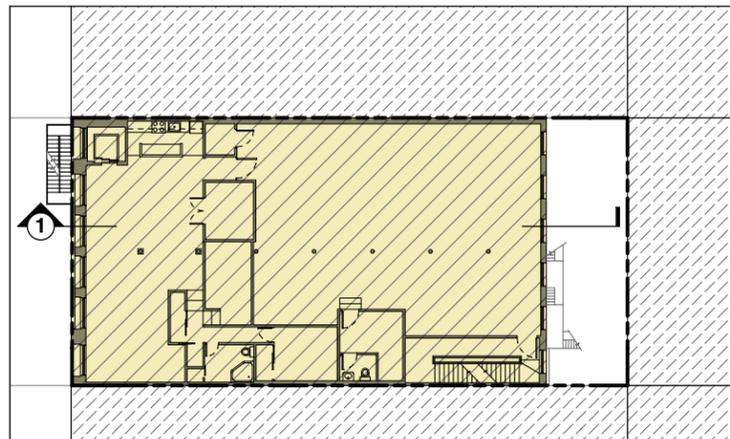
SECOND FLOOR PLAN



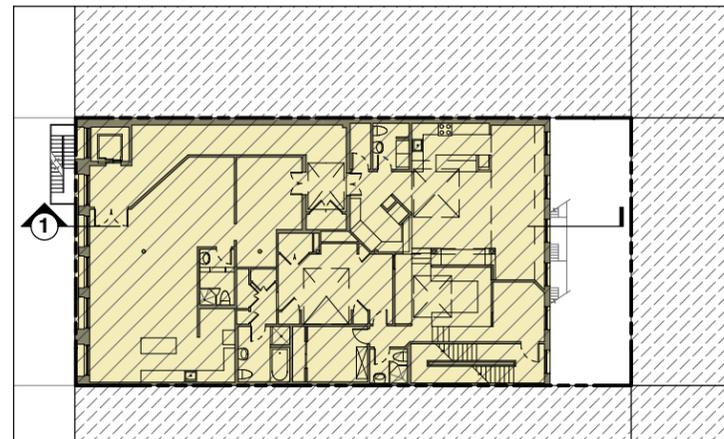
SECOND FLOOR MEZZANINE PLAN



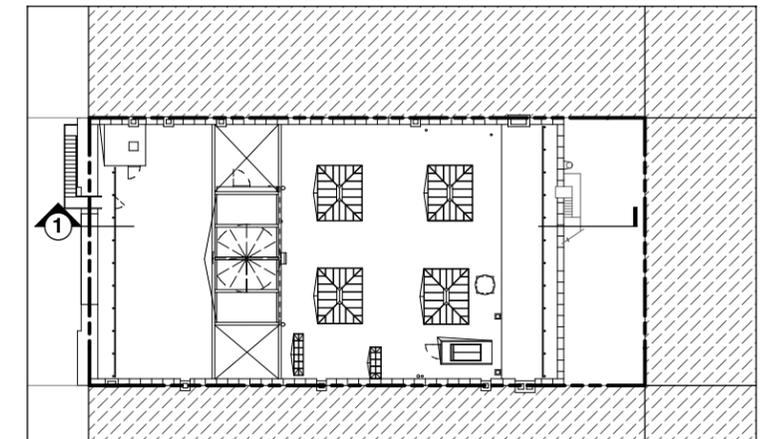
THIRD FLOOR PLAN



FOURTH FLOOR PLAN



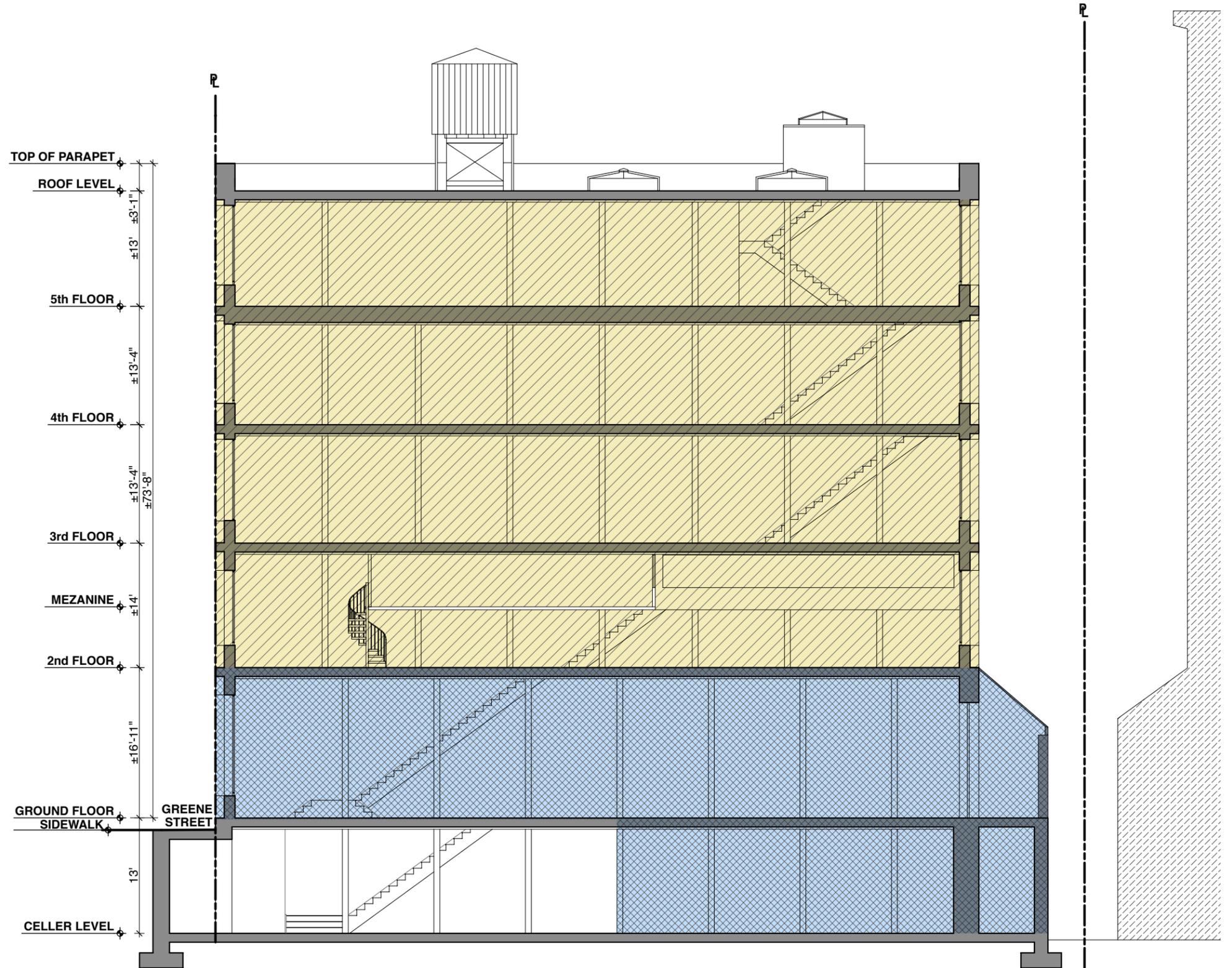
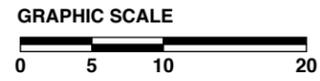
FIFTH FLOOR PLAN



ROOF PLAN

62 GREENE STREET
ZR 74-711 (MOU)

KEY	
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 2 (RESIDENTIAL) IN M1-5A ZONING DISTRICT
	AREA SUBJECT TO SPECIAL PERMIT PURSUANT TO ZR SECTION 74-711 TO ALLOW USE GROUP 6 (COMMERCIAL) IN M1-5A ZONING DISTRICT
	ADJACENT BUILDINGS



**62 GREENE STREET
HISTORIC BACKGROUND**



Ca. 1940 - Tax Photo,
Municipal Archives of the City of New York



Ca. 1940 - Tax Photo,
Municipal Archives of the City of New York

YEAR BUILT: 1872
ARCHITECT: Henry Fernbach
*Cast Iron façade – It is 1 of 9 buildings on
the block by Henry Fernbach*



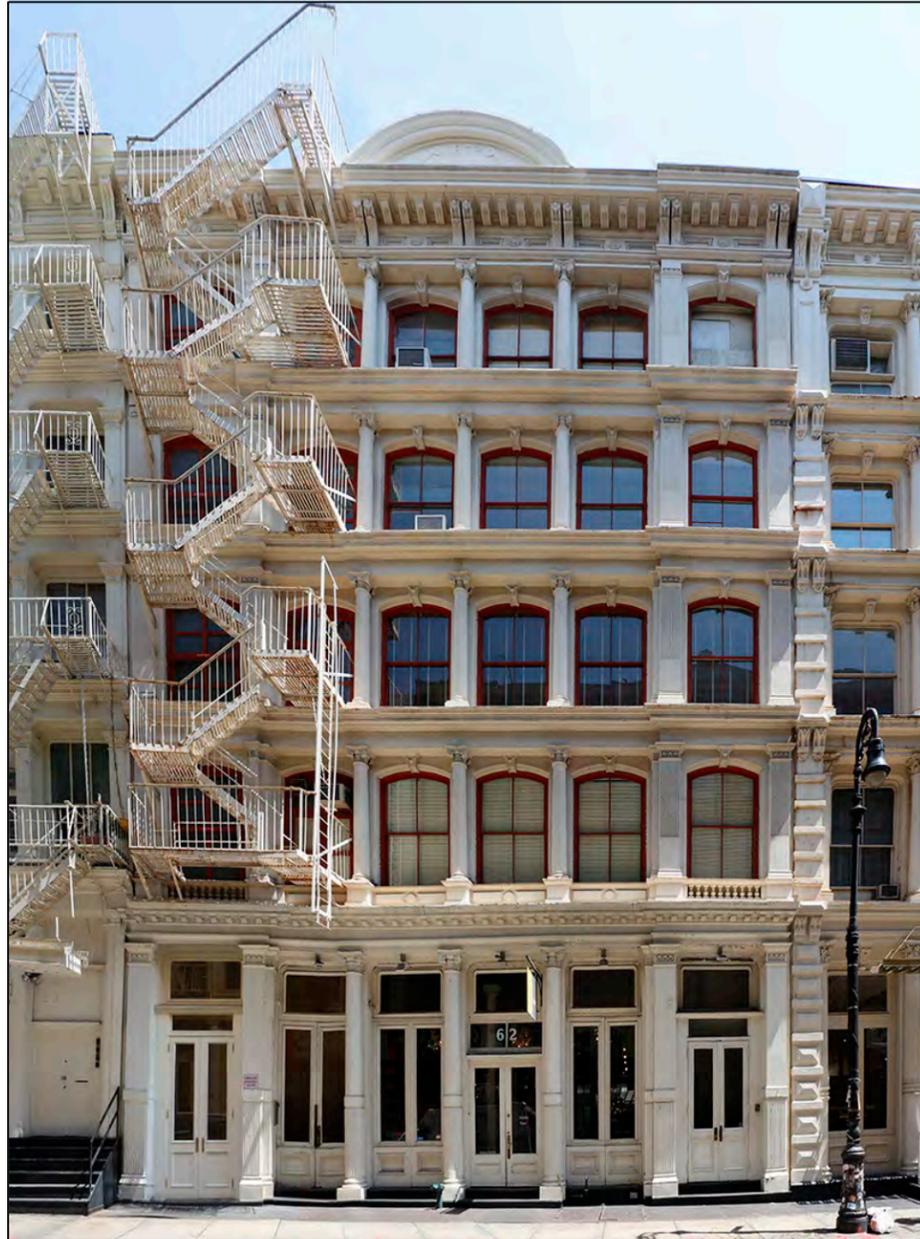
Ca. 1970 - Tax Photo,
Municipal Archives of the City of New York

**62 GREENE STREET
EXISTING CONDITIONS**



GREENE STREET ELEVATION
BETWEEN SPRING STREET AND BROOME STREET

**62 GREENE STREET
EXISTING CONDITIONS**



Present Condition, Street Façade (West)



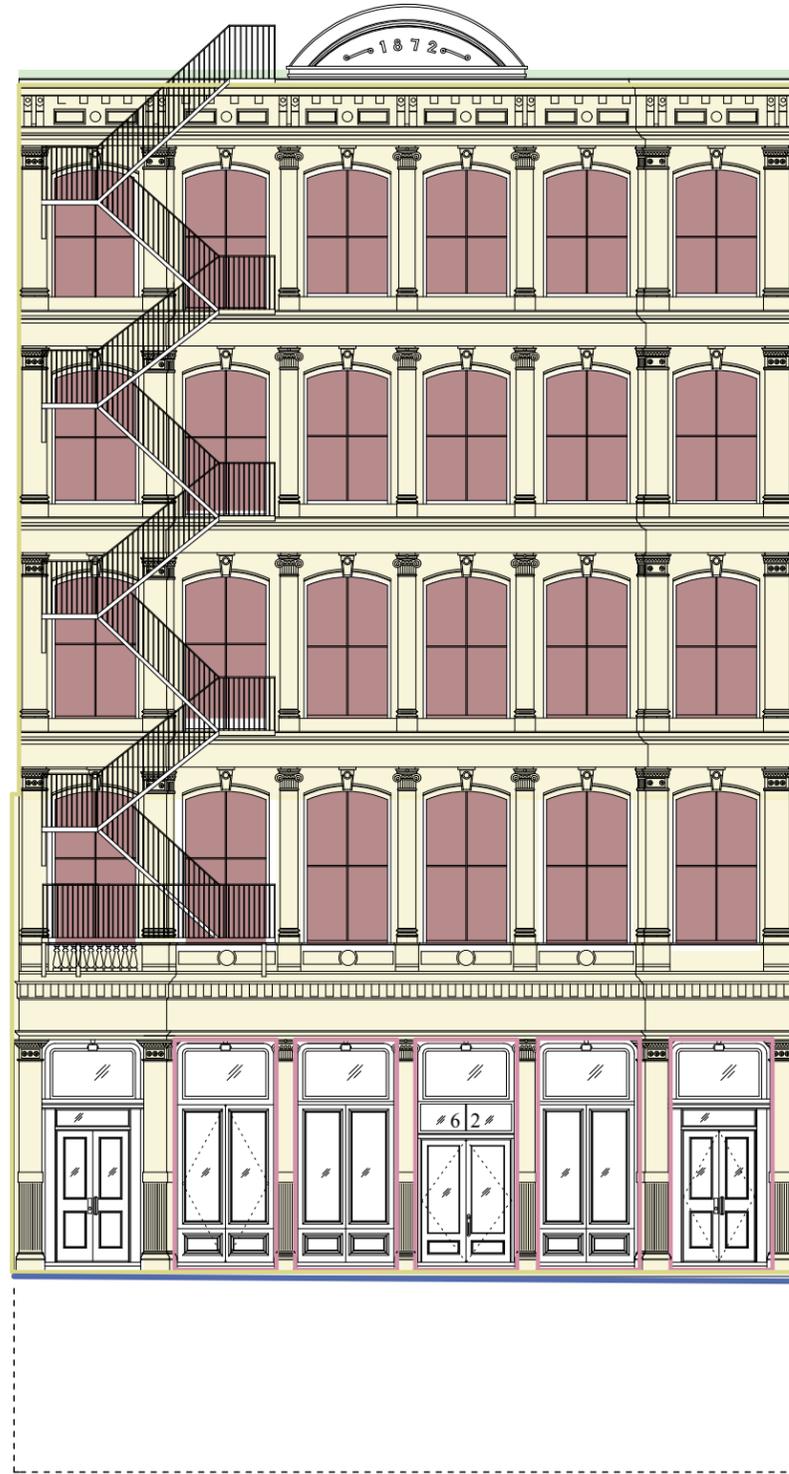
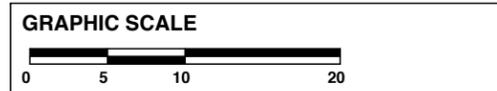
Present Condition, Rear non-visible Elevation (East)



Present Condition of Rear Yard below setback skylight

62 GREENE STREET
PROPOSED RESTORATION WORK

KEY	
	RESTORATION OF CAST IRON FACADE AND APPURTENANCES (INCLUSIVE OF FIRE ESCAPES)
	WINDOW REPLACEMENT PROGRAM
	RESTORATION OF EXISTING STOREFRONT
	RESTORATION OF MASONRY FACADE AND APPURTENANCES
	REPAIR ROOF METAL STRUCTURES AND RAILINGS, AND STAIR BULKHEAD.
	RESTORATION AND CLEANING OF SIDEWALK DIAMOND PLATE AND STONE FLAGS
	RESTORATION OF MASONRY PARTY WALLS, AND CLEANING OF REAR YARD



WEST FACADE - GREENE STREET ELEVATION



EAST FACADE - REAR YARD NON-VISIBLE ELEVATION

**62 GREENE STREET
EXISTING CONDITIONS – WEST FAÇADE / GREENE STREET ELEVATION**



PHOTO 2: Cornice and Pediment. Sheet metal is in good condition.



PHOTO 3: Cornice frieze and dentils. Sheet metal is in good condition.



PHOTO 8: Fifth floor water table. Cast iron is in good condition.



PHOTO 9: Fourth floor water table and columns. Cast iron is in good condition, repainting is required.



PHOTO 4: Cornice brackets and architrave, cast iron is in good condition.



PHOTO 5: Lintel plate supporting the fire escape brackets needs to be repaired.



PHOTO 10: Third floor water table and columns. Cast iron is in good condition, repainting is required.



PHOTO 11: Second floor water table and spandrel are generally in good condition. Repairs to the ledge cap plates and repainting are required.



PHOTO 6: Cornice ledge. In good condition, sheet metal needs repainting.



PHOTO 7: Pediment roof is in good condition, sheet metal needs repainting.



PHOTO 12: Ledges at fire escape require detailed review of all plates and fire escape components.



PHOTO 13: Ledge soffits and architraves at fire escape require detailed review. Miscellaneous cast iron fastener repairs required.

**62 GREENE STREET
EXISTING CONDITIONS – WEST FAÇADE / GREENE STREET ELEVATION**

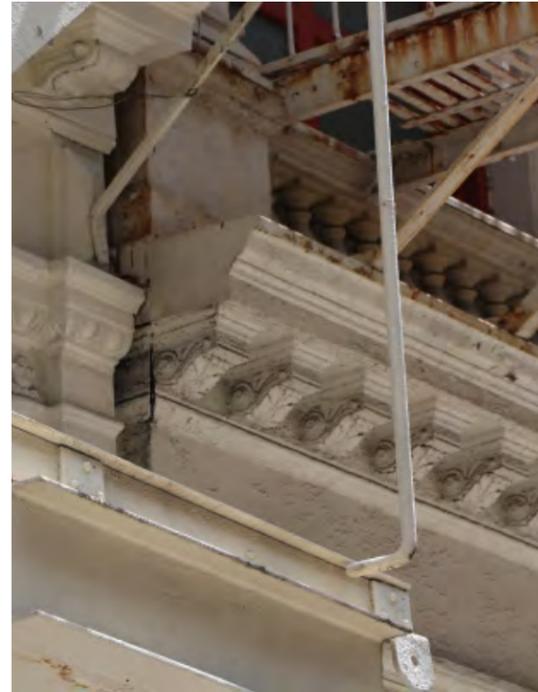


PHOTO 14: Second floor, north end. Signs of corrosion at cast iron and fire escape components.



PHOTO 15: Third floor, north end. Signs of corrosion at mitered cast iron joints.

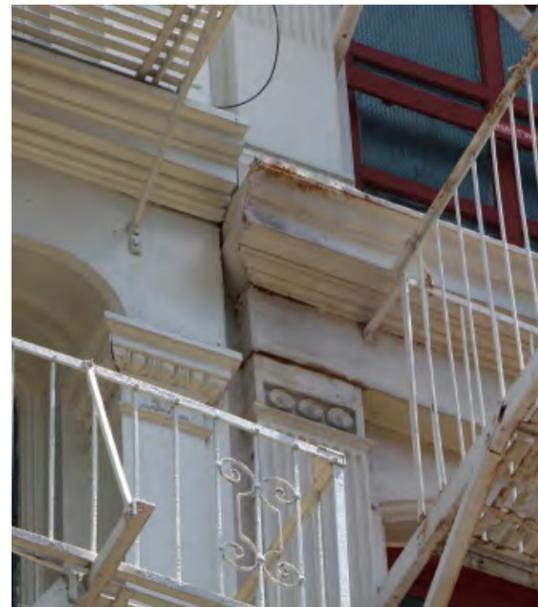


PHOTO 16: Fifth floor, north end. Signs of corrosion at cast iron joints, pilaster capital missing.



PHOTO 17: Close-up view of corroded, mitered joint.



PHOTO 18: Column shaft. Minimal paint preparation performed, topcoat applied over textured surface (previous coatings not removed).



PHOTO 19: Column base. Paint is peeling off. Cast iron is exposed.



PHOTO 20: Pilaster shaft and water table ledge. Paint is in poor condition, cast iron corrosion has developed.



PHOTO 21: Water table ledge. Paint is peeling, cast iron is corroding at areas where paint has failed.

**62 GREENE STREET
EXISTING CONDITIONS – WEST FAÇADE / GREENE STREET ELEVATION**



PHOTO 22: General view of fire escape, floors 2-3. In fair condition. Requires review of fasteners, repairs to connections, & repainting.



PHOTO 23: View of stair tread. Corrossion observed at connections and stringers.



PHOTO 24: View of fire escape landing. Rust and corrossion observed.



PHOTO 25: Close-up view of corrossion at landings, where horizontal slats meet support brackets.



PHOTO 26: 5th floor windows, bays 3-5. Original double-hung wood windows w/single pane glazing and glazing putty are in very poor condition.



PHOTO 27: Close-up view of 5th floor, deteriorated window.



PHOTO 28: 4th floor windows, bays 3-5. Original double-hung wood windows w/single pane glazing and glazing putty. In very poor condition.



PHOTO 29: Close-up view of 4th floor, deteriorated window.

**62 GREENE STREET
EXISTING CONDITIONS – WEST FAÇADE / GREENE STREET ELEVATION**

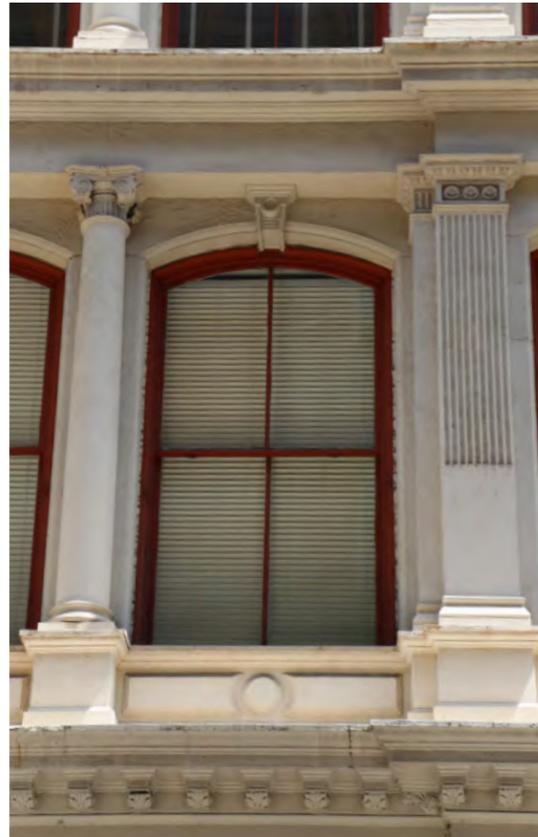


PHOTO 30: 2nd floor. Double-hung sashes were previously replaced in kind and are in good condition.



PHOTO 31: 2nd floor. Close up view of double-hung window.



PHOTO 32: 2nd floor. View of top window sash, arched cast iron opening. In good condition.



PHOTO 33: 2nd floor. View of lower sash and windowsill. Servicing of sill and bottom rail is recommended.



PHOTO 34: Sheet metal double door at fire escape, typical condition. Components are dented, sagging, and in very poor condition.



PHOTO 36: Sheet metal window at shaftway. In very poor condition. Sealant has failed, sheet metal is corroded.



PHOTO 35: Sheet metal double doors, corner conditions (threshold). Components are corroded, open, and not properly sealed.



PHOTO 37: Sheet metal window at shaftway. Sill conditions. View of open joints, failed sealant, & corroded metal.

**62 GREENE STREET
EXISTING CONDITIONS - EAST FAÇADE / REAR YARD NON-VISIBLE ELEVATION**



PHOTO 39: Typical masonry conditions. Face brick is covered with remnant of old paint.



PHOTO 40: Mortar joints are weathered, soft, and washed-out.



PHOTO 41: Poor facebrick conditions. Staining has developed below masonry penetration.



PHOTO 42: Mortar joints are weathered, soft, and washed-out.



PHOTO 43: Replaced stairwell windows are in good condition (floors 4 & 5).



PHOTO 44: New aluminum replacement window, in fair condition. Window mounted AC unit does not appear properly supported.



PHOTO 45: 4th fl. windows are old (perhaps original) double-hung wood units w/ single pane glazing. They are in very poor condition.



PHOTO 46: Window behind the shutters is deteriorated beyond repair.

**62 GREENE STREET
EXISTING CONDITIONS - EAST FAÇADE / REAR YARD NON-VISIBLE ELEVATION**



PHOTO 47: 3rd fl. windows, bays 1,2, & 3. Wood windows are smaller than masonry opening. HVAC equip. & ductwork mounted above windows. Entire assembly is in poor condition.



PHOTO 48: 3rd fl. windows, bays 4,5, & 6. Wood window in poor condition.

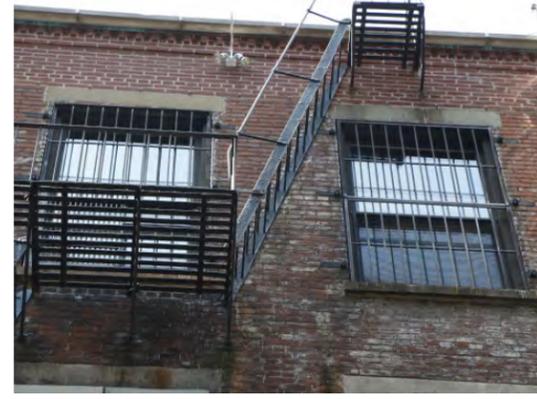


PHOTO 51: Top floor window lintels (stone) are in good condition.



PHOTO 52: Stone lintel previously replaced w/cast stone unit.



PHOTO 49: 2nd floor windows. Original double-hung wood windows w/single pane glazing are in deteriorated condition.



PHOTO 50: 2nd floor, southernmost window. Non-compliant sash mounted AC unit. In deteriorated condition.



PHOTO 53: Stone lintels on floors 2-4 are in fair condition. Some require replacement. Modified openings require repairs.



PHOTO 54: 3rd floor. Stone lintel has a cement patch over wood substrate. Modified opening requires repairs.

**62 GREENE STREET
EXISTING CONDITIONS - EAST FAÇADE / REAR YARD NON-VISIBLE ELEVATION**



PHOTO 55: Original stone sill, typical condition.



PHOTO 56: Many stone sills are delaminated, and deteriorated beyond repair.



PHOTO 59: Original shutters are in very poor condition.



PHOTO 60: Sheet metal shutter with rust stains.



PHOTO 57: Original stone window sill, cracked and delaminated at corner.



PHOTO 58: Abandoned wall mounted HVAC condenser units. Removal is recommended.



PHOTO 61: Conditions of lower half of shutter.



PHOTO 62: Hinge condition at shutter. Rust and corrosion have developed.



PHOTO 63: Spalled and missing brickwork at window opening.

**62 GREENE STREET
EXISTING CONDITIONS - EAST FAÇADE / REAR YARD NON-VISIBLE ELEVATION**



PHOTO 64: Rear fire escape. Ladder hangers at first floor bridge require adjustment.



PHOTO 65: Rear fire escape. Close-up view of hanger.



PHOTO 68: First floor level skylight and gutter are in good condition.



PHOTO 69: Rear skylight and gutter are in good condition.



PHOTO 66: Rear fire escape. Review of all connections is required.



PHOTO 67: Rear fire escape. Masonry penetrations require repairs.

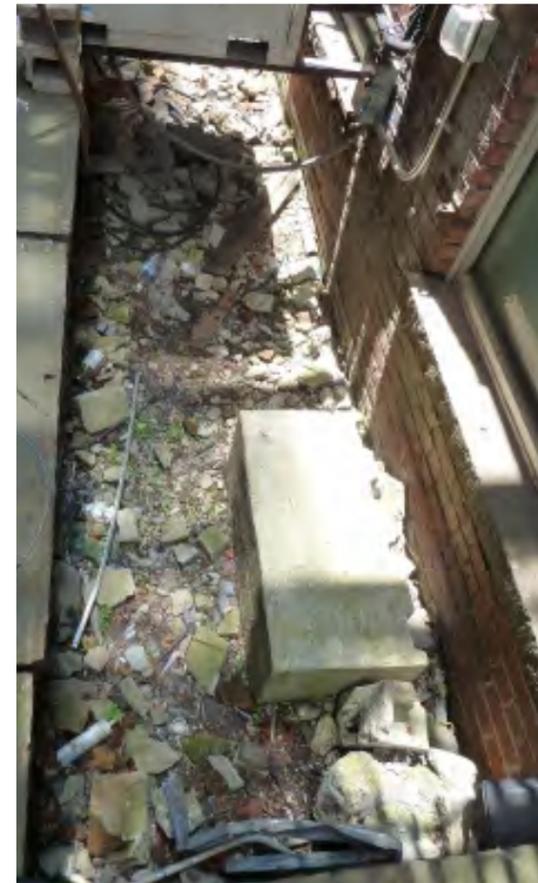


PHOTO 71: Rear yard is filled with debris.



PHOTO 70: East lot line (party) wall at cellar level is disintegrating and requires reconstruction.



PHOTO 72: Cellar level set-back wall is in fair condition, with exception of the window/door openings. Brickwork has been repointed.

**62 GREENE STREET
EXISTING CONDITIONS - EAST FAÇADE / REAR YARD NON-VISIBLE ELEVATION**



PHOTO 73: Modified window opening. Door framing is exposed, joints are open, assembly lacks flashing.



PHOTO 74: Non-operable window at basement level. Mortar joints are in poor condition at masonry openings.



PHOTO 75: Cement patch at masonry opening. Wood framing for door is exposed. Opening is not flashed and has open joints.



PHOTO 76: Northernmost masonry opening has been infilled. Perimeter is not sealed.

**62 GREENE STREET
EXISTING CONDITIONS – ROOF**



PHOTO 77: Roof level, general view. Skylights are covered with black netting.



PHOTO 78: Roof level elements are in good condition, with isolated areas that require repair.

**62 GREENE STREET
EXISTING CONDITIONS – ROOF**



PHOTO 79: Typical condition of liquid applied flashing at railing penetration.



PHOTO 80: Bulkhead roof level. Typical condition of roof membrane and liquid applied flashing at dunnage penetrations.



PHOTO 85: Components of roof level railing are in good condition.



PHOTO 86: Roof level railings require repainting. Topcoat is chalky.



PHOTO 81: Liquid applied flashing at base (vertical application).



PHOTO 82: Close-up of liquid applied flashing at corner, which is detaching.



PHOTO 87: Dunnage is in good condition.



PHOTO 88: Dunnage requires repainting.



PHOTO 83: Roof membrane seams are open at a few locations and need to be serviced.



PHOTO 84: Roof base flashing is punched open next to the stair bulkhead door saddle.



PHOTO 89: Refurbished skylight is in good condition.



PHOTO 90: Replaced skylight is in good condition.

**62 GREENE STREET
EXISTING CONDITIONS - SIDEWALK**



PHOTOS 90: General view of sidewalk conditions.



PHOTO 91: Sidewalk view from south.

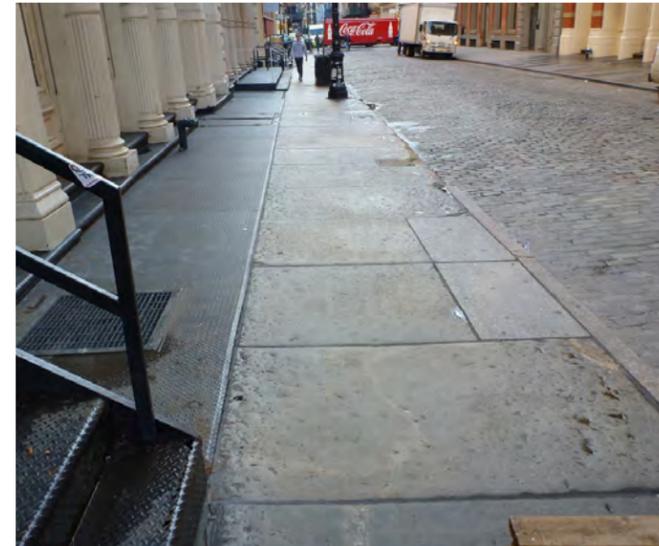


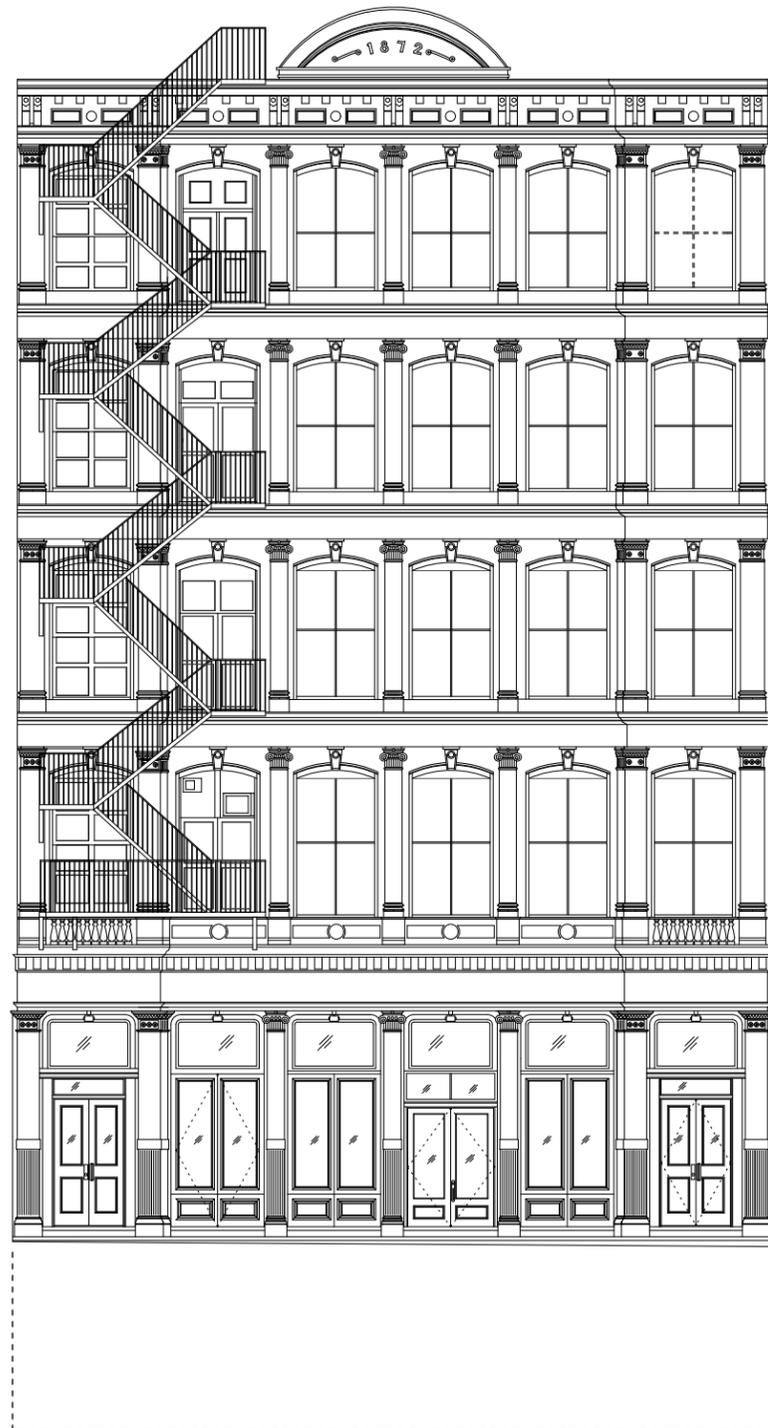
PHOTO 92: Sidewalk view from north.

**62 GREENE STREET
PROPOSED WORK - WEST FAÇADE / GREENE STREET ELEVATION**

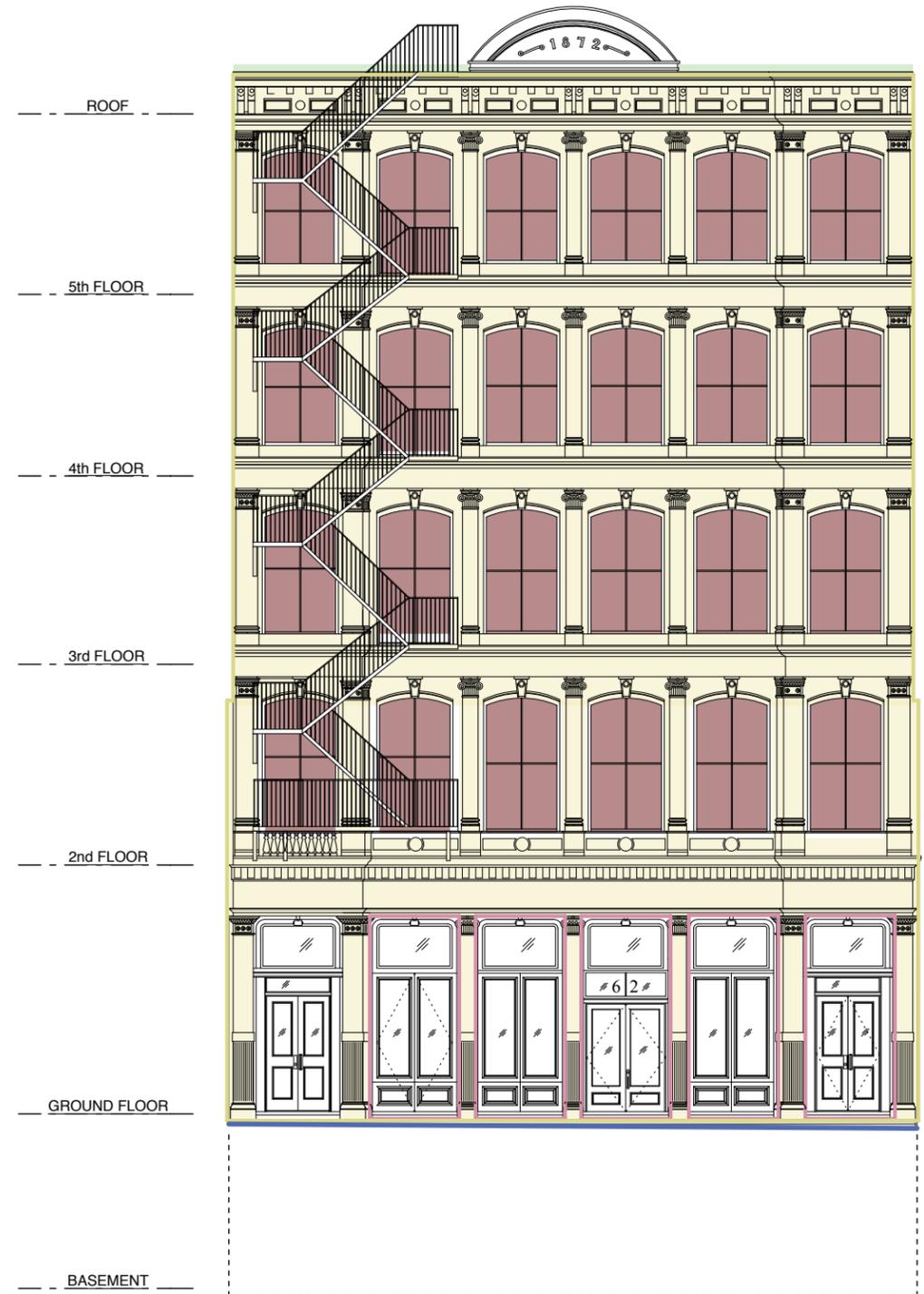
KEY	
	RESTORATION OF CAST IRON FACADE AND APPURTENANCES (INCLUSIVE OF FIRE ESCAPES)
	WINDOW REPLACEMENT PROGRAM
	RESTORATION OF EXISTING STOREFRONT
	REPAIR ROOF METAL STRUCTURES AND RAILINGS, AND STAIR BULKHEAD.
	RESTORATION AND CLEANING OF SIDEWALK DIAMOND PLATE AND STONE FLAGS



- ABBREVIATED SCOPE OF WORK:**
- RESTORATION OF CAST IRON (NO MISSING COMPONENTS)
 - RESTORATION OF SHEET METAL CORNICE AND PEDIMENT
 - FIRE ESCAPE MAINTENANCE
 - UNIFYING WINDOWS
 - STOREFRONT RESTORATION
 - MAINTENANCE OF SIDEWALK



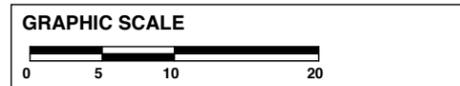
WEST FACADE - EXISTING GREENE STREET ELEVATION



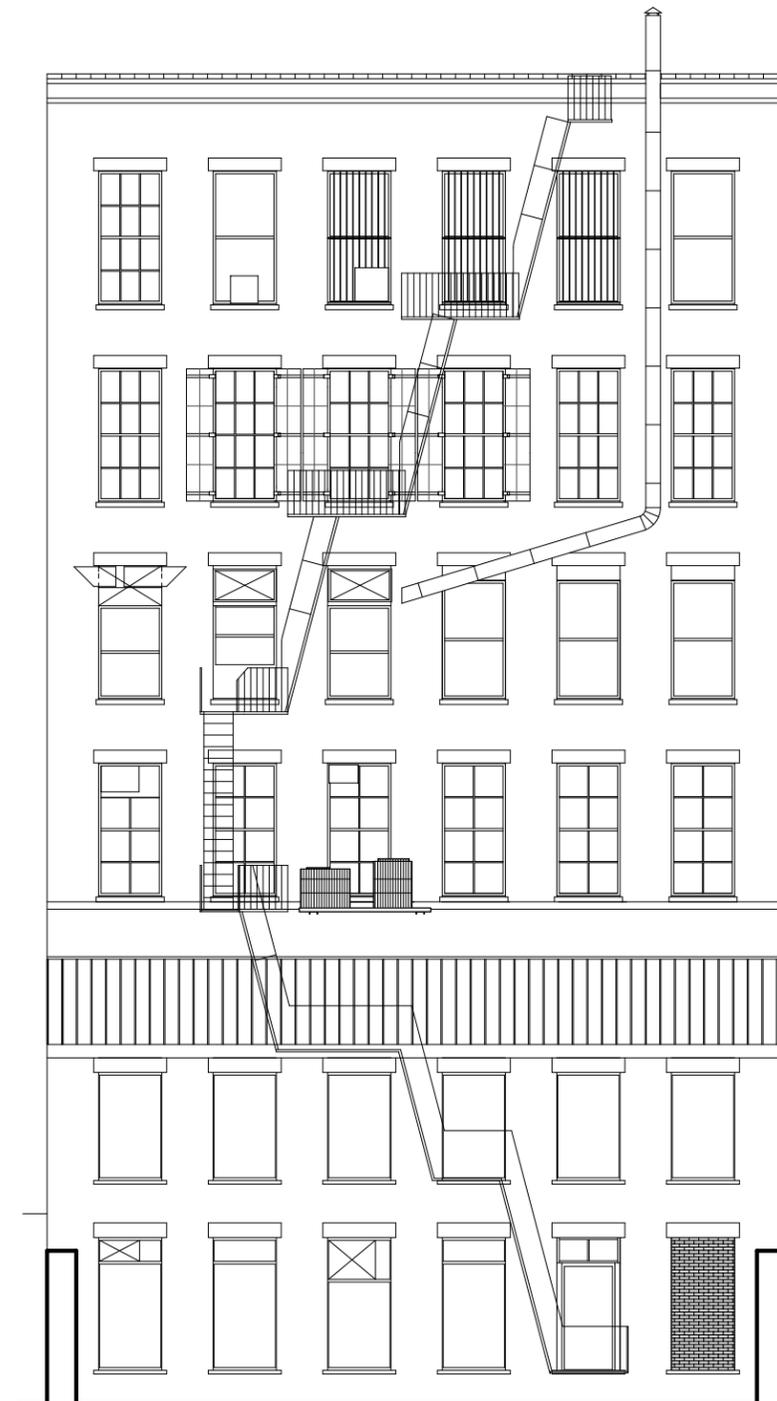
WEST FACADE - PROPOSED GREENE STREET ELEVATION

**62 GREENE STREET
PROPOSED WORK - EAST FAÇADE / REAR YARD NON-VISIBLE ELEVATION**

KEY	
	WINDOW REPLACEMENT PROGRAM
	RESTORATION OF MASONRY FAÇADE AND APPURTENANCES
	REPAIR ROOF METAL STRUCTURES AND RAILINGS, AND STAIR BULKHEAD.
	RESTORATION OF MASONRY PARTY WALLS, AND CLEANING OF REAR YARD



- ABBREVIATED SCOPE OF WORK:**
- RESTORATION OF MASONRY WALL
 - FIRE ESCAPE MAINTENANCE
 - UNIFYING UPPER FLOOR WINDOWS (EXCEPT RECENTLY REPLACED FIRE RATED UNITS)
 - CLEANING OF REAR YARD AND REPAIR/ RECONSTRUCT SOUTH PARTY WALL



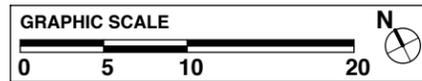
EAST FACADE - EXISTING REAR YARD NON-VISIBLE ELEVATION



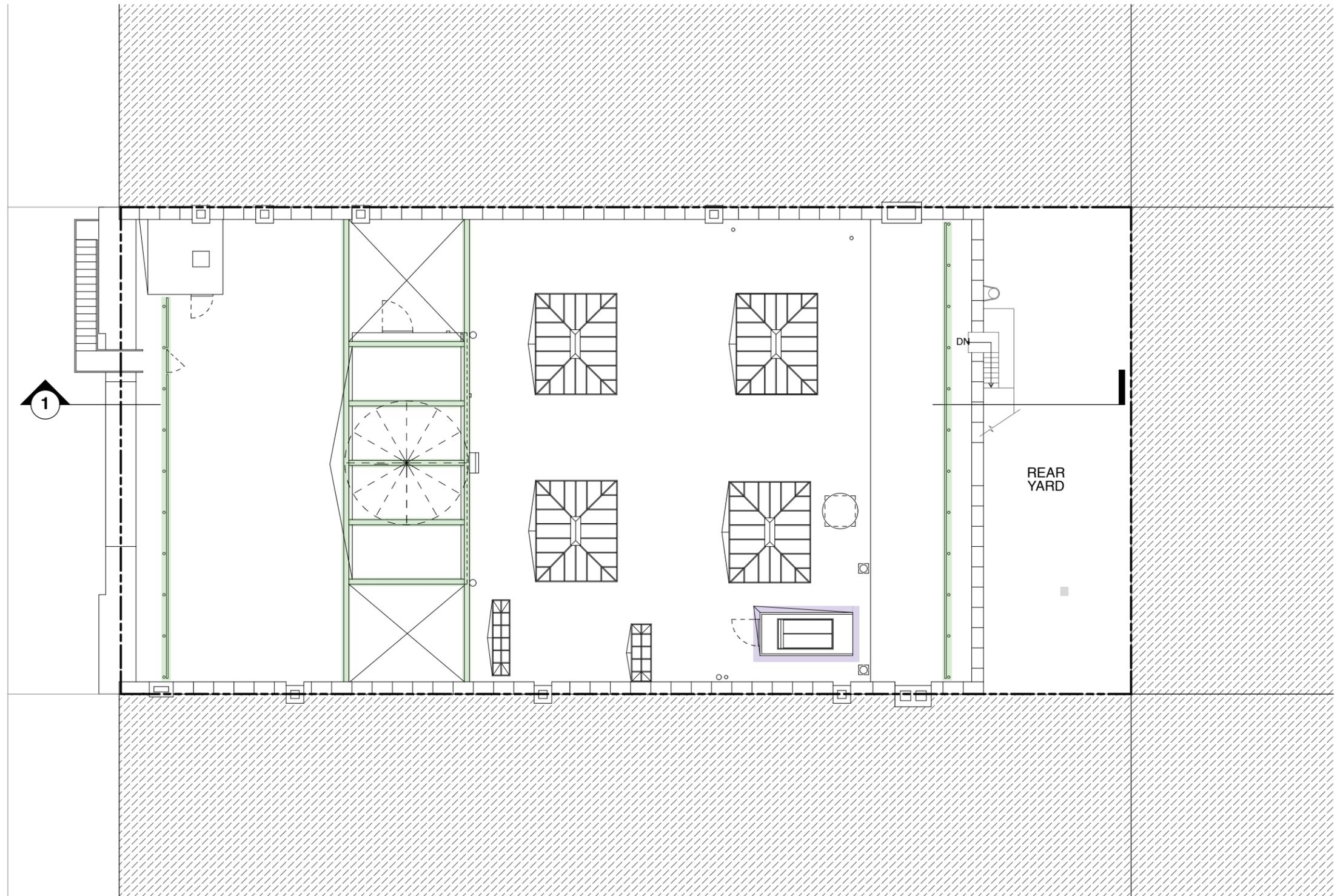
EAST FACADE - PROPOSED REAR YARD NON-VISIBLE ELEVATION

**62 GREENE STREET
PROPOSED WORK - ROOF**

KEY	
	ROOF REPAIRS: FLASHING AND MEMBRANE OPENINGS TO BE SEALED.
	REPAIR ROOF METAL STRUCTURES AND RAILINGS, AND STAIR BULKHEAD.
	ADJACENT BUILDINGS



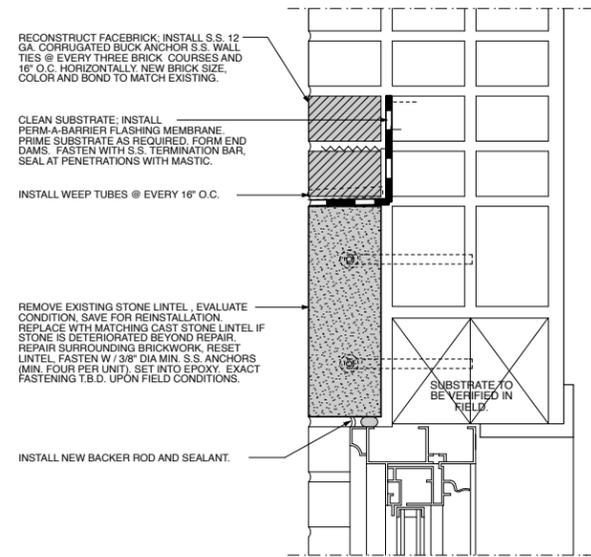
ABBREVIATED SCOPE OF WORK:
- MAINTENANCE OF METAL WORK
- MAINTENANCE OF BASE FLASHING AT STAIR BULKHEAD
- INSPECT FLASHING AND SEAL OPEN SEAMS



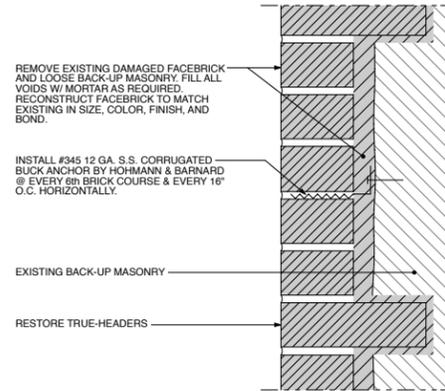
ROOF PLAN

62 GREENE STREET

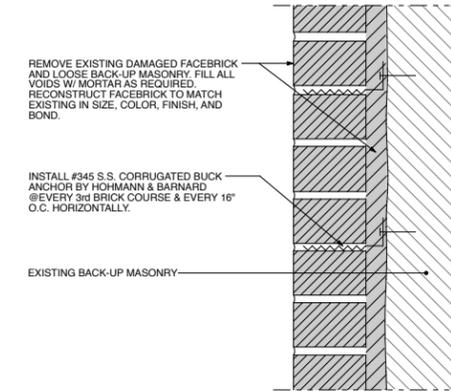
PROPOSED WORK - FAÇADE RESTORATION TYP. DETAILS



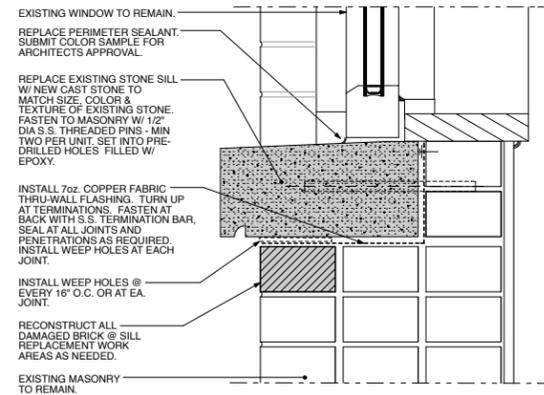
1 STONE WINDOW LINTEL REPAIR
A-004 SCALE: 3" = 1'-0"



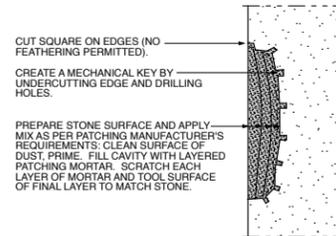
2 TYPICAL FACEBRICK RECONSTRUCTION (W/ TRUE HEADERS)
A-004 SCALE: 3" = 1'-0"



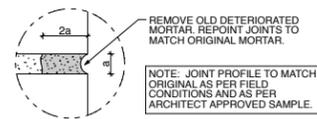
3 TYPICAL FACEBRICK RECONSTRUCTION
A-004 SCALE: 3" = 1'-0"



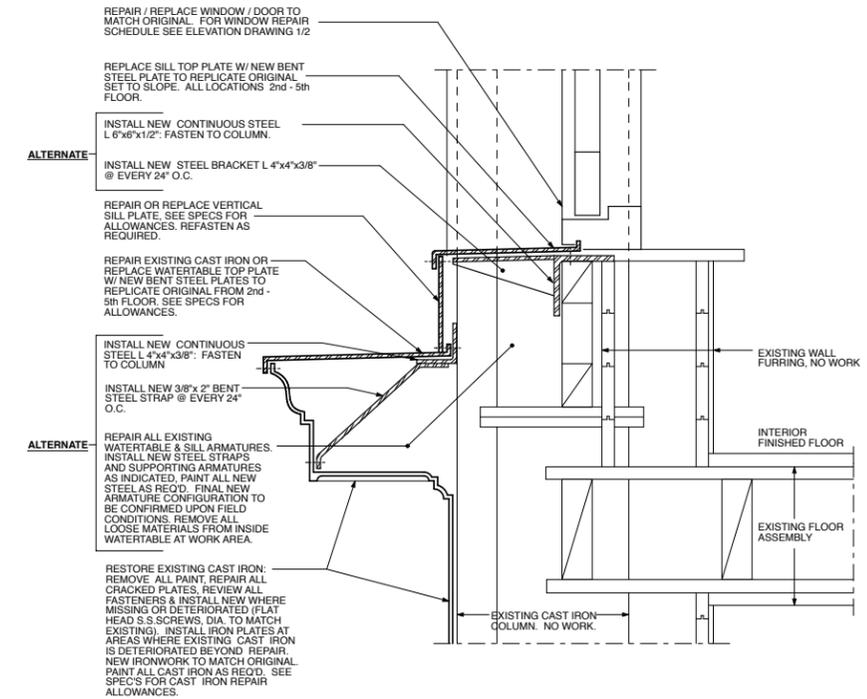
4 STONE WINDOW SILL REPLACEMENT
A-004 SCALE: 3" = 1'-0"



5 STONE PATCHING
A-004 N.T.S.

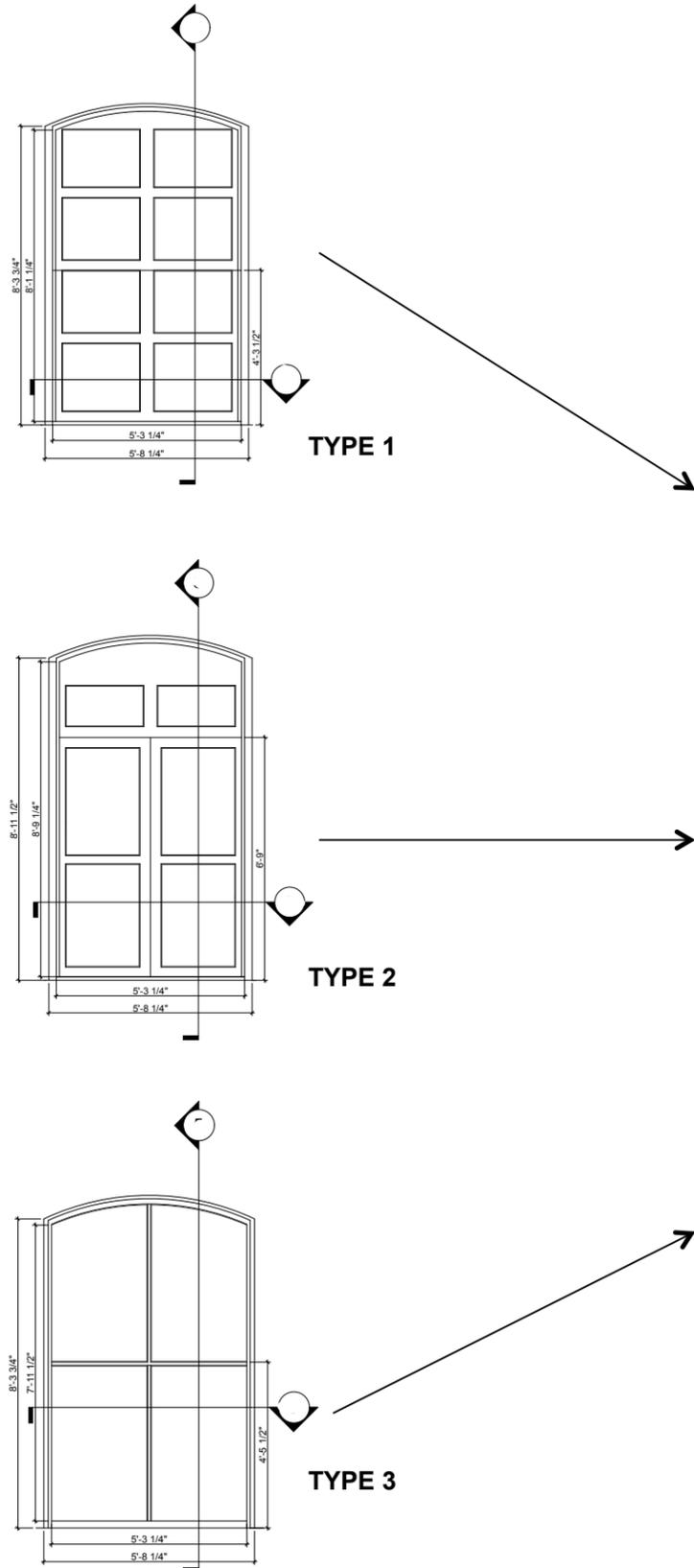


6 MASONRY REPOINTING DETAIL
A-004 N.T.S.

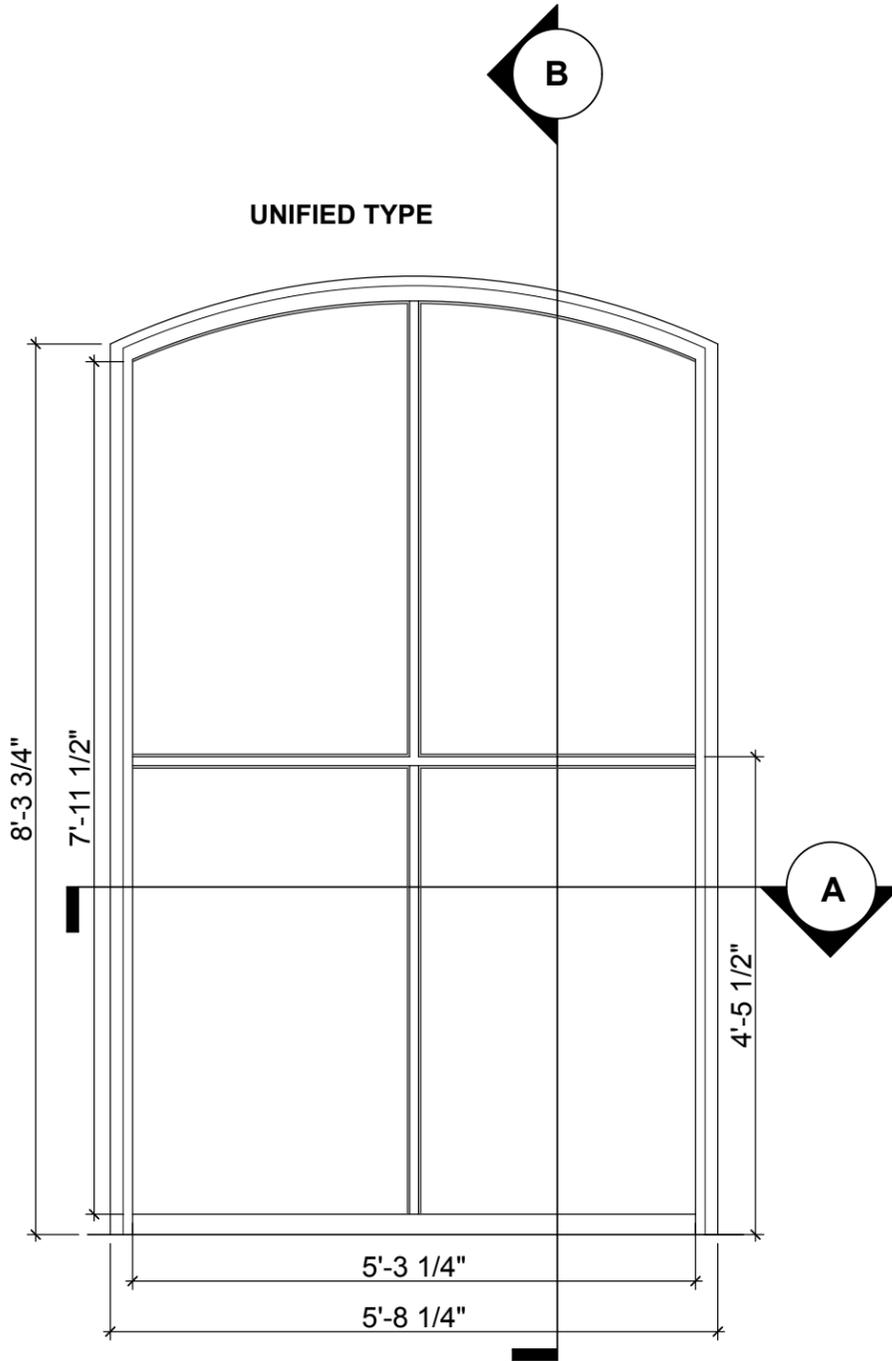


7 WATER TABLE REPAIRS (TYP.)
A-004 SCALE: 3" = 1'-0"

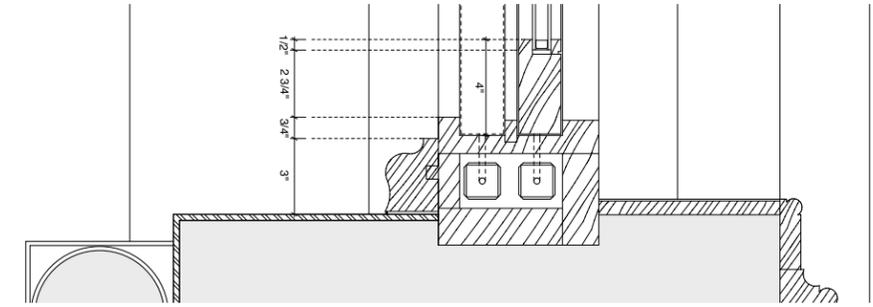
**62 GREENE STREET
PROPOSED WORK - WINDOW REPLACEMENT PROGRAM TYP. DETAIL (STREET FAÇADE)**



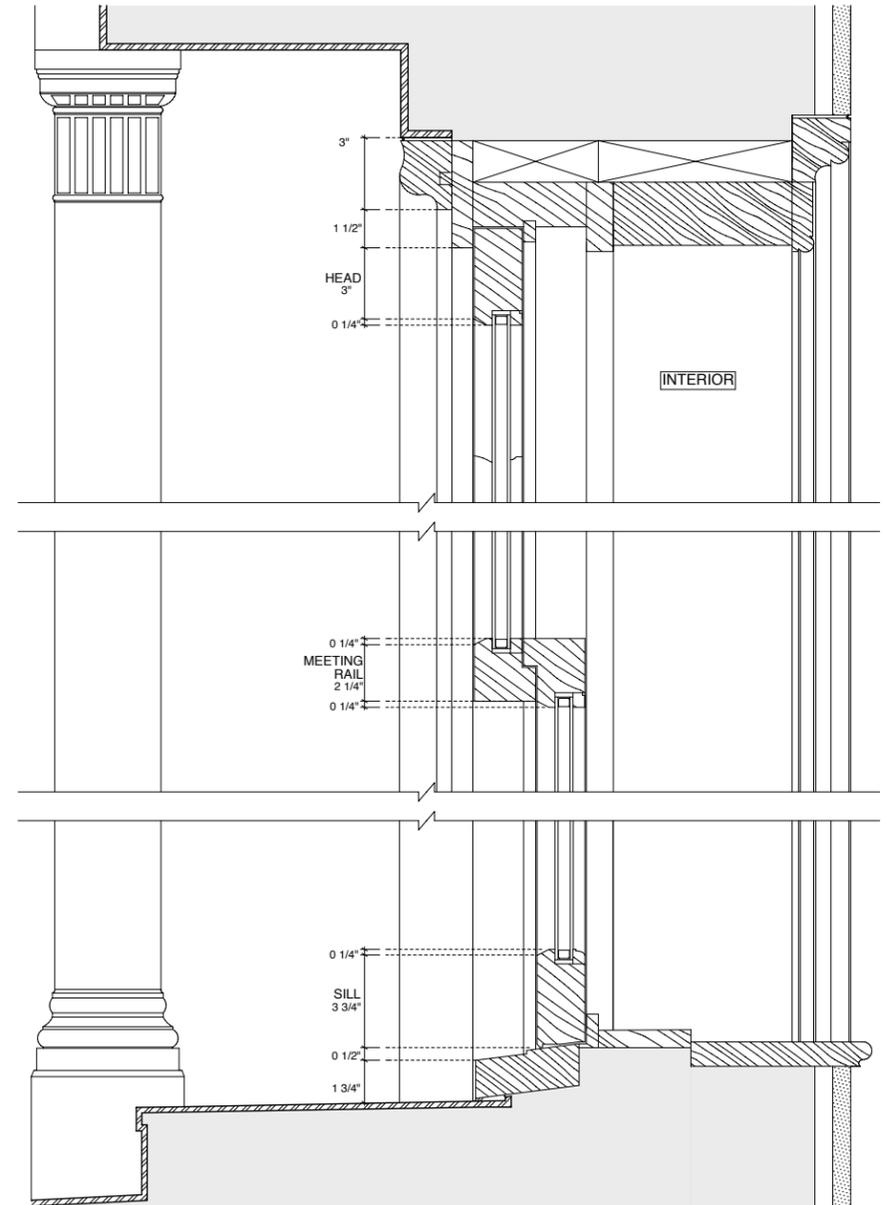
EXISTING ELEVATIONS



PROPOSED ELEVATION



A PROPOSED JAMB PLAN



B PROPOSED SECTION