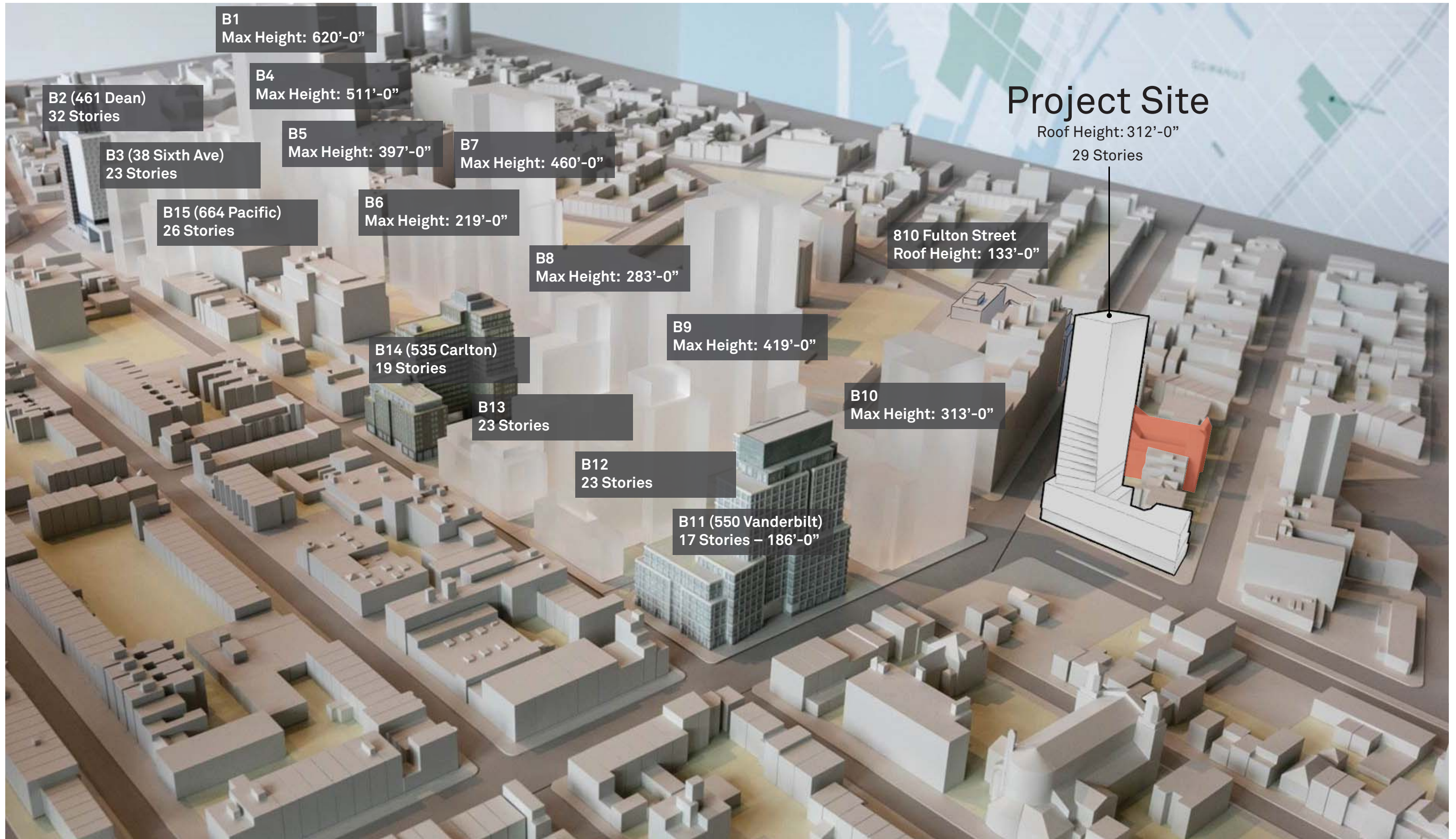


# Landmarks Presentation

January 09, 2018

**520 & 550 Clinton Avenue**  
Brooklyn, NY

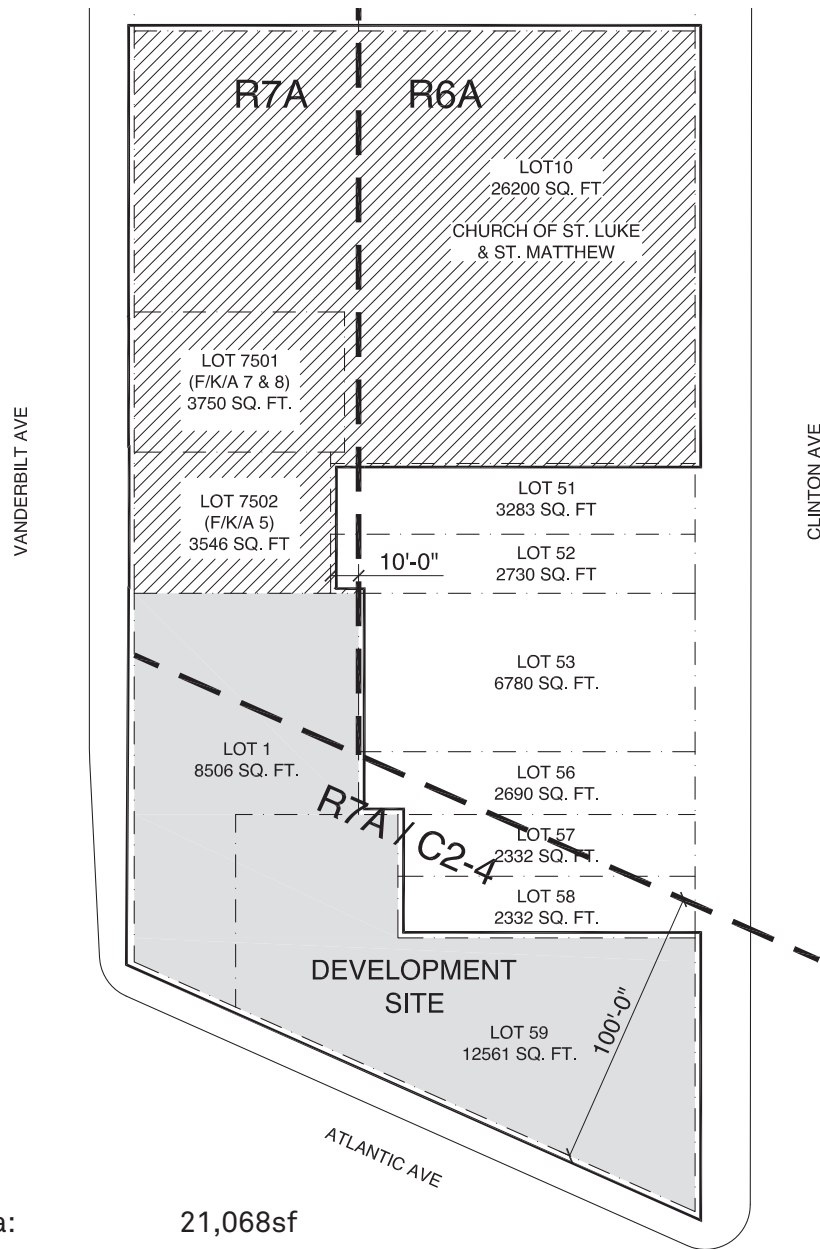
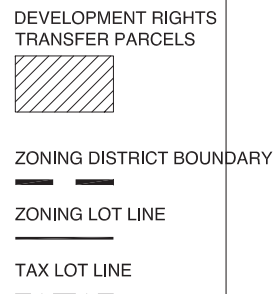






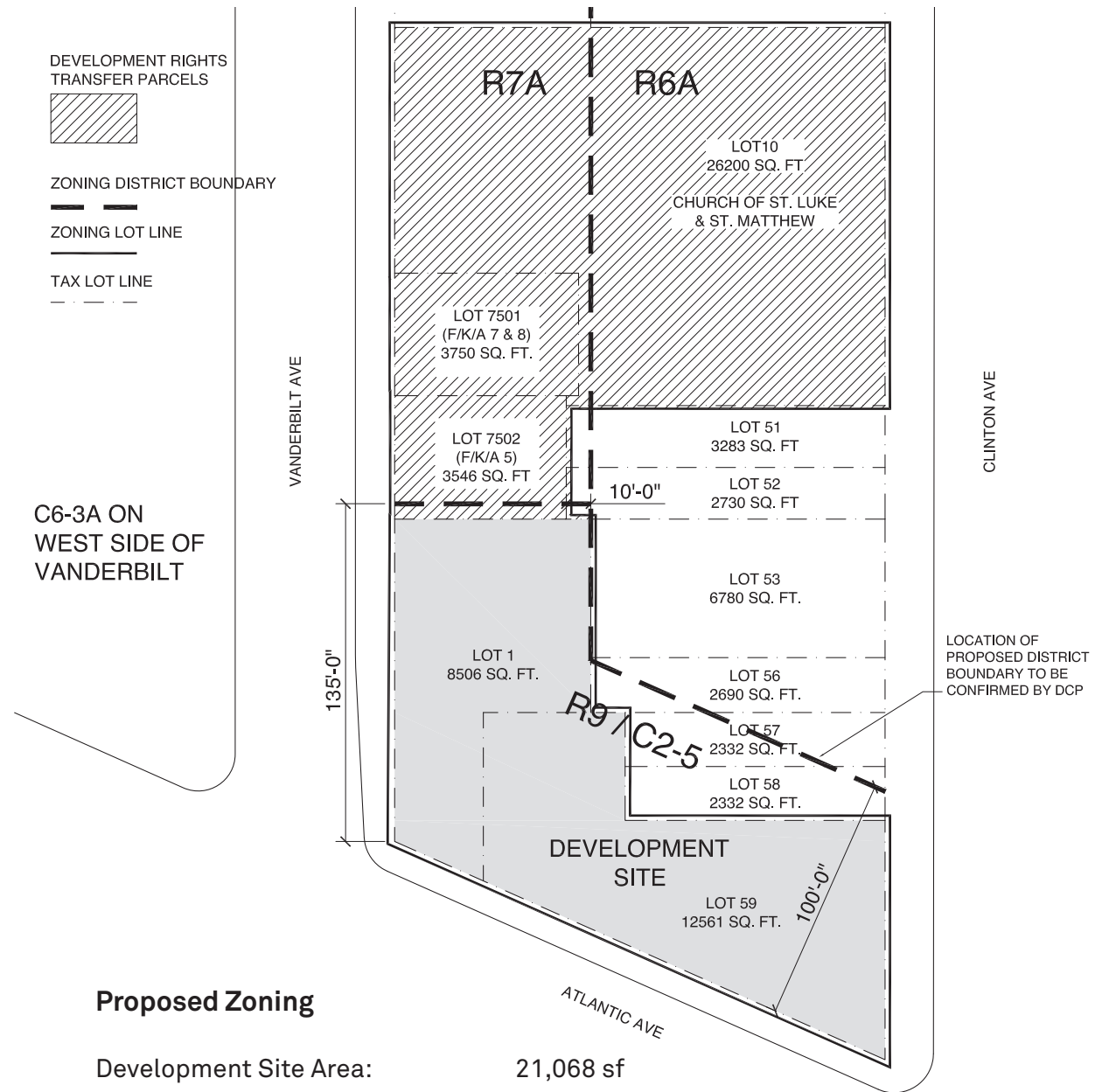
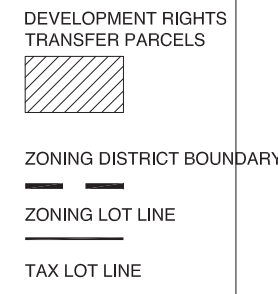
- DEVELOPMENT RIGHTS TRANSFER PARCELS
- PACIFIC PARK (PROPOSED & UNDER CONSTRUCTION)
- PROJECT SITE
- PROPOSED ZONING LOT





**Existing Zoning**

Development Site Area:	21,068sf
Maximum Permitted FAR (with Inclusionary Housing):	4.6
<b>Maximum Permitted Floor Area:</b>	<b>96,912 sf</b>



**Proposed Zoning**

Development Site Area:	21,068 sf
Maximum Permitted FAR (with Inclusionary Housing):	8.0
Maximum Permitted Floor Area:	168,544 sf
Development Rights Transfers from Church and Other Lots:	70,000 sf (approx) *
<b>Total Allowable Floor Area:</b>	<b>238,544 sf</b>
Proposed Commercial Floor Area:	34,258 sf
Proposed Residential Floor Area:	202,041 sf
Proposed Common Floor Area:	1,682 sf
<b>Total Proposed Floor Area:</b>	<b>237,981 sf</b>

\* Requires Special Permit per 74-711 to transfer floor area across zoning district boundary. Approx. 60,000 sf from church.





Constructed 1888-1891; John Welch, Architect / Damaged by fire 1914



1927 photo showing post-fire reconstruction; Dodge & Morrison, Architects





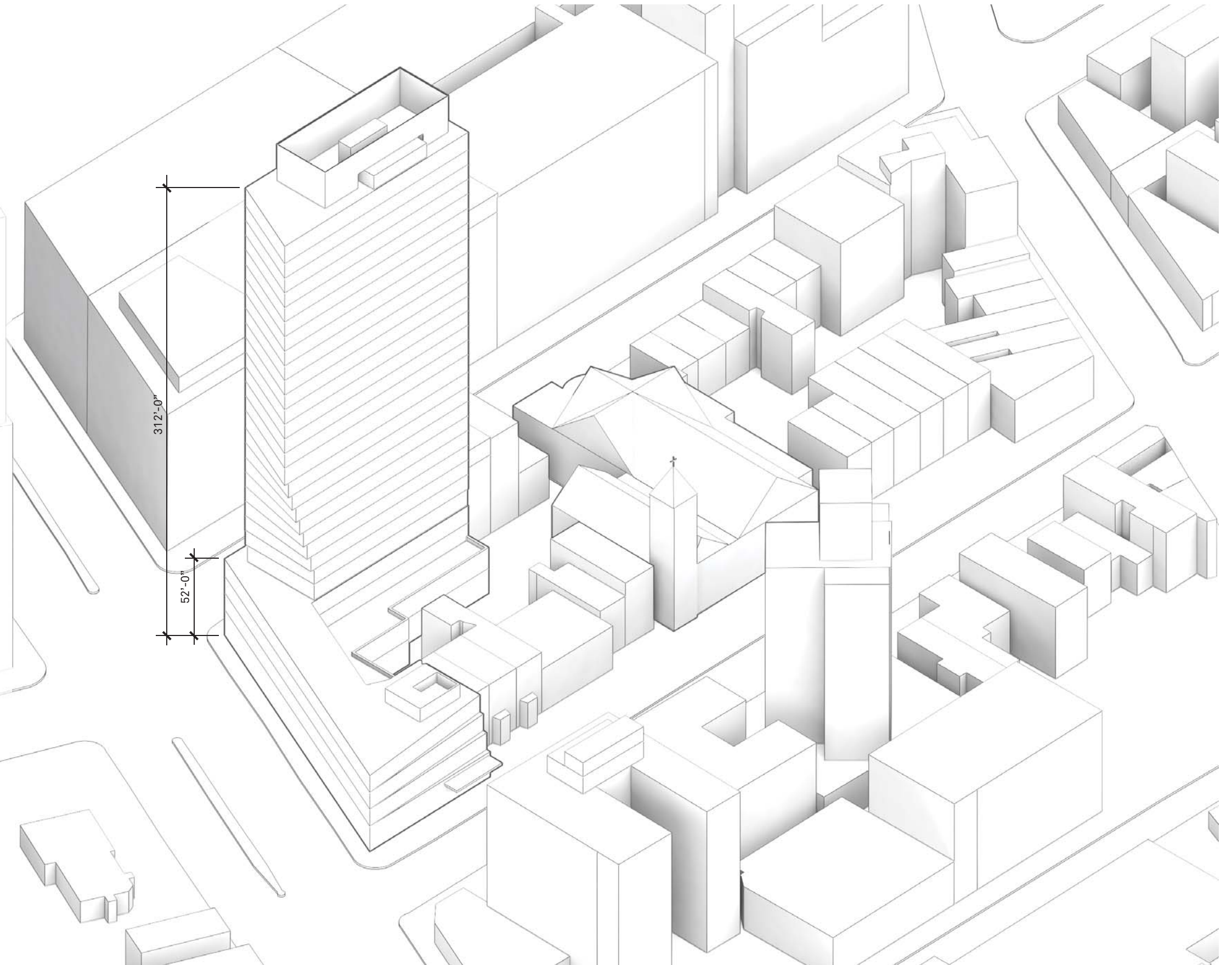
## PROPOSED DESIGN

- 29 Stories
- 52'-0" Base Height
- 312' Tower Height

### A. Zoning Waivers Requested per ZR 74-711 Special Permit

- Transfer of floor area from development rights parcels across district boundary
- Non-complying commercial rear yard on second floor per ZR 33-292
- Non-complying residential rear yard on floors 3 and above 23-52(b)(2)
- Non-complying inner court on floors 3-4 per ZR 23-851(b)
- Non-complying window to lot line on floors 3-4 and 6-29 per ZR 23-861
- Non-complying lot coverage on interior lot per ZR 23-16(a)
- Non-complying street wall height per 23-651(b)(2)
- Non-complying tower floor area below 150'-0" per 23-651(a)(3)

### B. Residential Parking Waiver Requested per ZR 74-533 Special Permit





















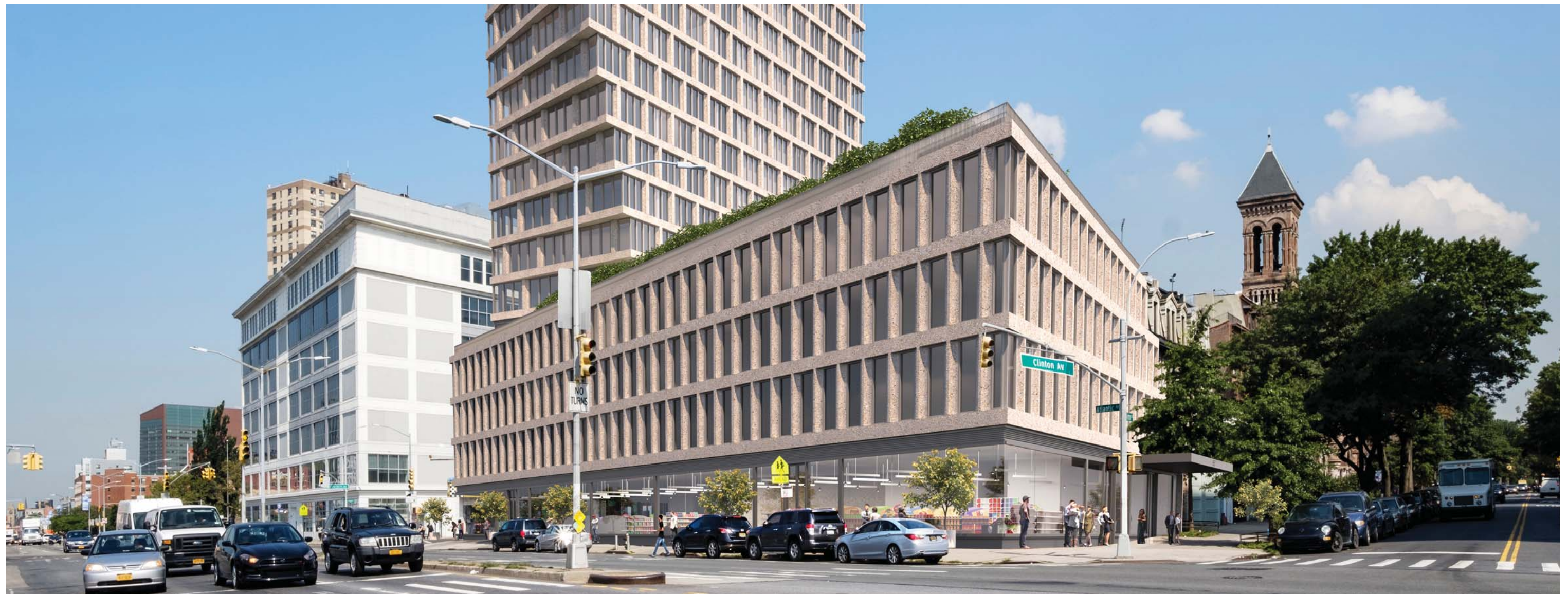


















TO MECH FENCE  
 EL. +312'-0"  
 25'-0"  
 ROOF  
 EL. +312'-0"  
 10'-3"  
 TOS LEVEL 29  
 EL. +299'-9"  
 10'-3"  
 TOS LEVEL 28  
 EL. +289'-6"  
 10'-3"  
 TOS LEVEL 27  
 EL. +279'-3"  
 10'-3"  
 TOS LEVEL 26  
 EL. +269'-0"  
 10'-3"  
 TOS LEVEL 25  
 EL. +258'-9"  
 10'-3"  
 TOS LEVEL 24  
 EL. +248'-6"  
 10'-3"  
 TOS LEVEL 23  
 EL. +238'-3"  
 10'-3"  
 TOS LEVEL 22  
 EL. +228'-0"  
 10'-3"  
 TOS LEVEL 21  
 EL. +217'-9"  
 10'-3"  
 TOS LEVEL 20  
 EL. +207'-6"  
 10'-3"  
 TOS LEVEL 19  
 EL. +197'-3"  
 10'-3"  
 TOS LEVEL 18  
 EL. +187'-0"  
 10'-3"  
 TOS LEVEL 17  
 EL. +176'-9"  
 10'-3"  
 TOS LEVEL 16  
 EL. +166'-6"  
 10'-3"  
 TOS LEVEL 15  
 EL. +156'-3"  
 10'-3"  
 TOS LEVEL 14  
 EL. +146'-0"  
 10'-3"  
 TOS LEVEL 13  
 EL. +135'-9"  
 10'-3"  
 TOS LEVEL 12  
 EL. +125'-6"  
 10'-3"  
 TOS LEVEL 11  
 EL. +115'-3"  
 10'-3"  
 TOS LEVEL 10  
 EL. +105'-0"  
 10'-3"  
 TOS LEVEL 9  
 EL. +94'-9"  
 10'-3"  
 TOS LEVEL 8  
 EL. +84'-6"  
 10'-3"  
 TOS LEVEL 7  
 EL. +74'-3"  
 10'-3"  
 TOS LEVEL 6  
 EL. +64'-0"  
 10'-3"  
 TOS LEVEL 5  
 EL. +52'-0"  
 12'-0"  
 TOS LEVEL 4  
 EL. +39'-0"  
 13'-0"  
 TOS LEVEL 3  
 EL. +29'-0"  
 10'-0"  
 TOS LEVEL 2  
 EL. +16'-0"  
 13'-0"  
 PROJECT DATUM  
 EL. +0'-0"  
 15'-0"







- CHURCH OF ST. LUKE & ST. MATTHEW
- PACIFIC PARK (PROPOSED & UNDER CONSTRUCTION)
- BELFRY
- SURROUNDING AREAS W/ VIEWS OF CHURCH BELFRY



- CHURCH OF ST. LUKE & ST. MATTHEW
- PACIFIC PARK (PROPOSED & UNDER CONSTRUCTION)
- BELFRY
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- BELFRY
- SURROUNDING AREAS W/ VIEWS OF CHURCH BELFRY



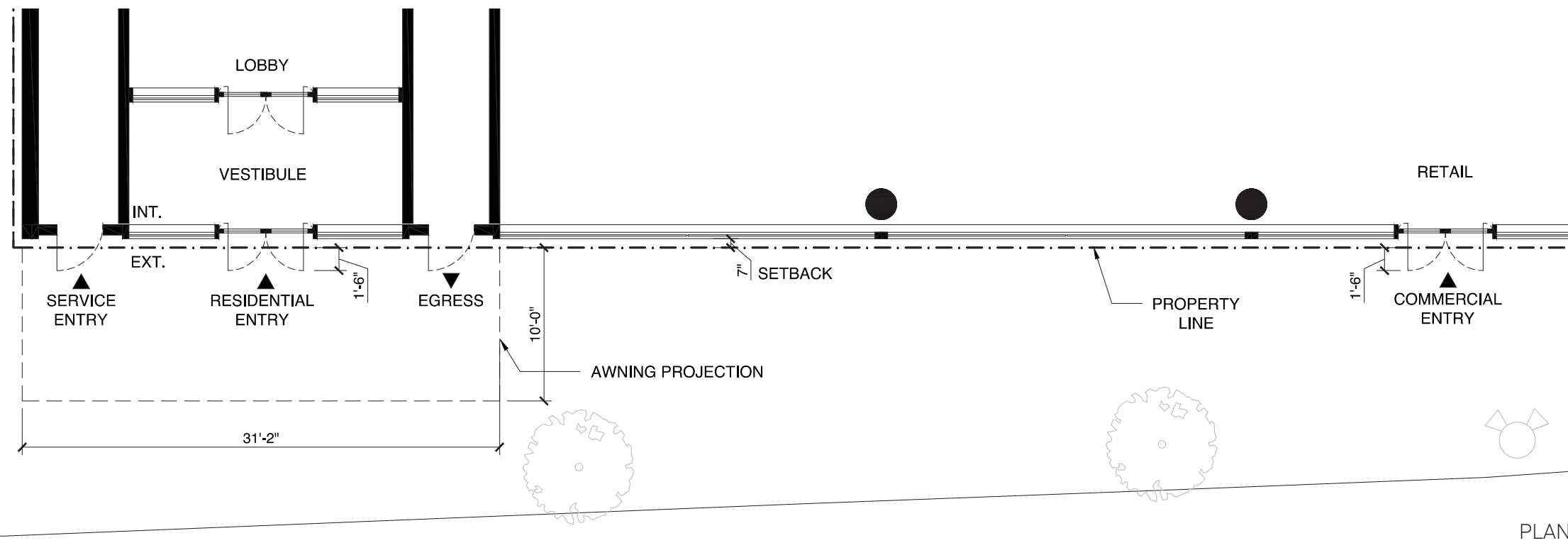
EXISTING



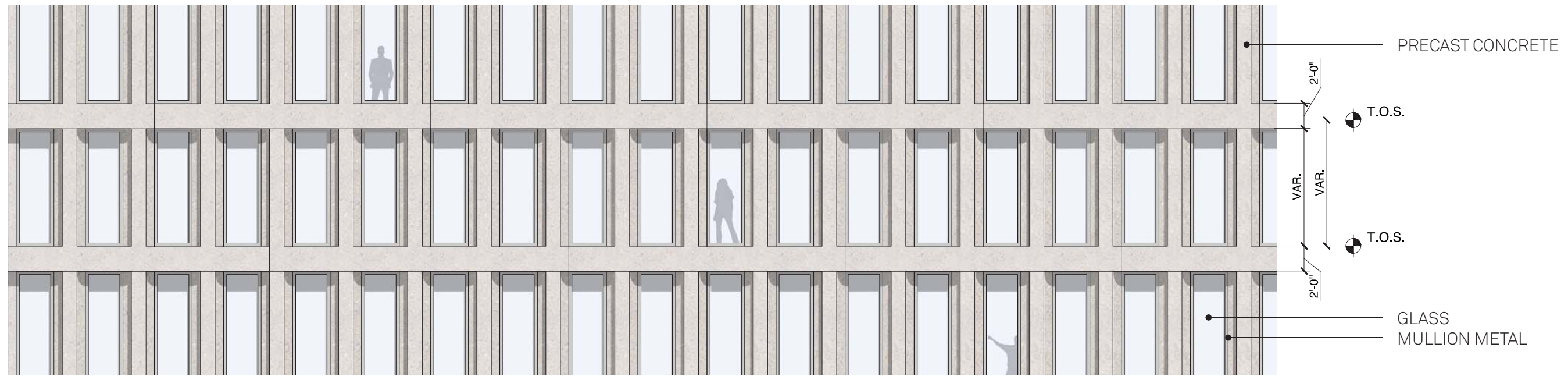
PROPOSED



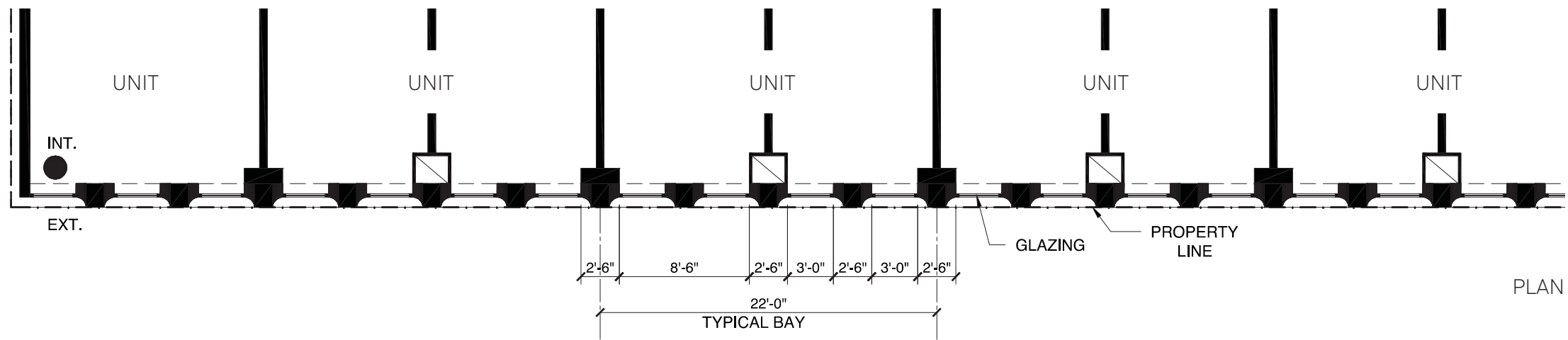
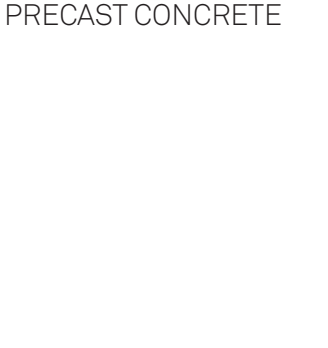
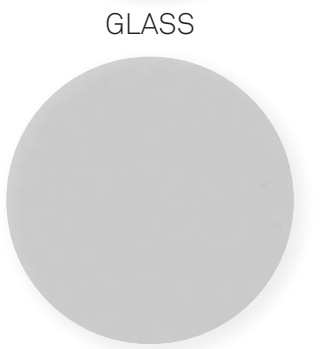
AS-OF-RIGHT



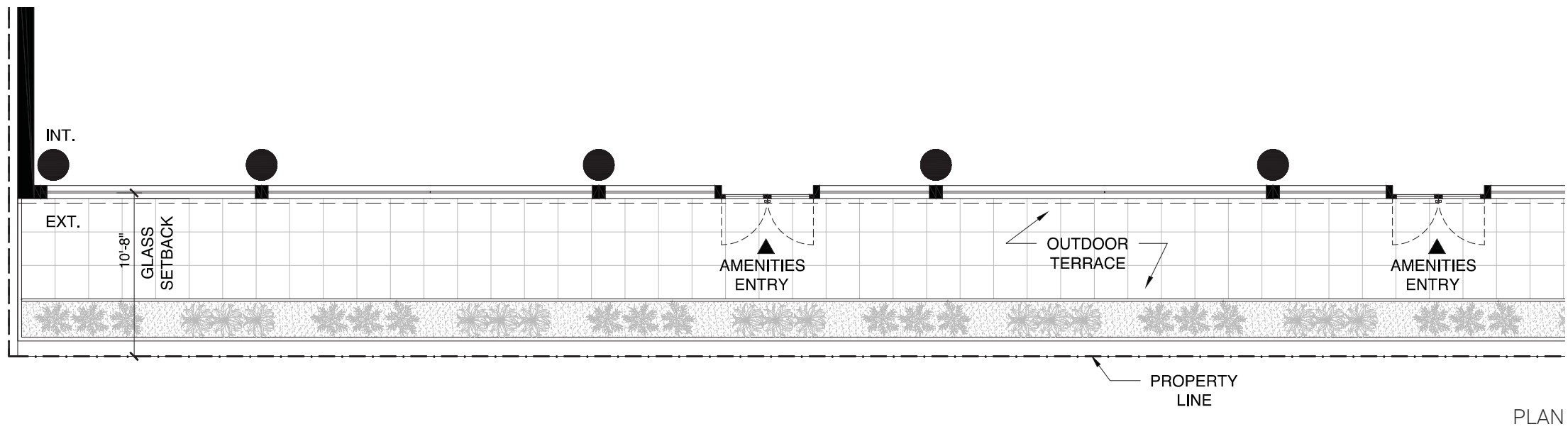
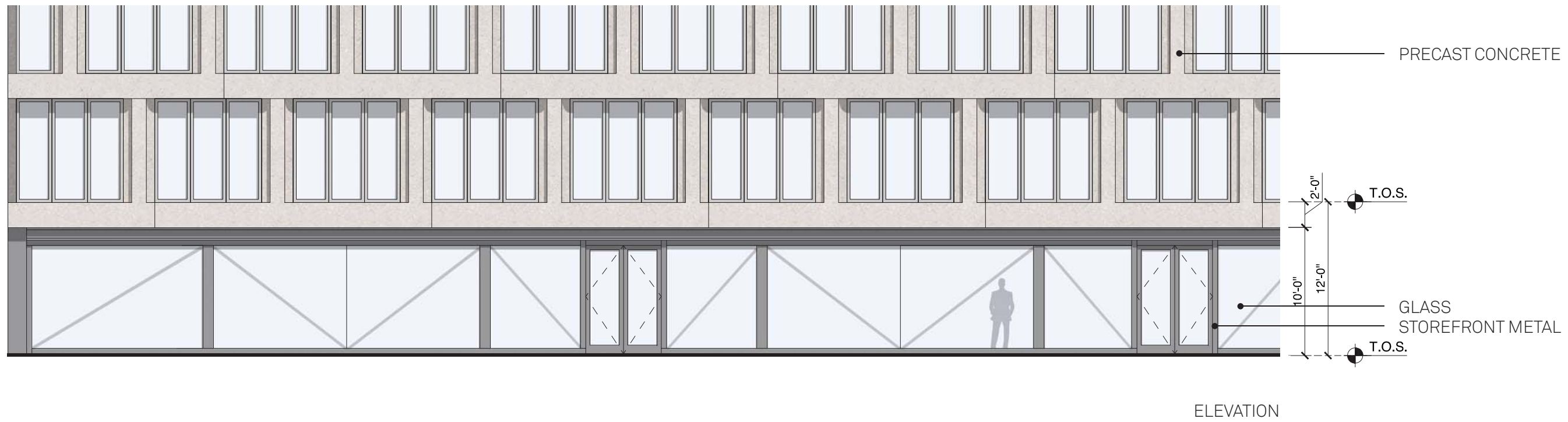


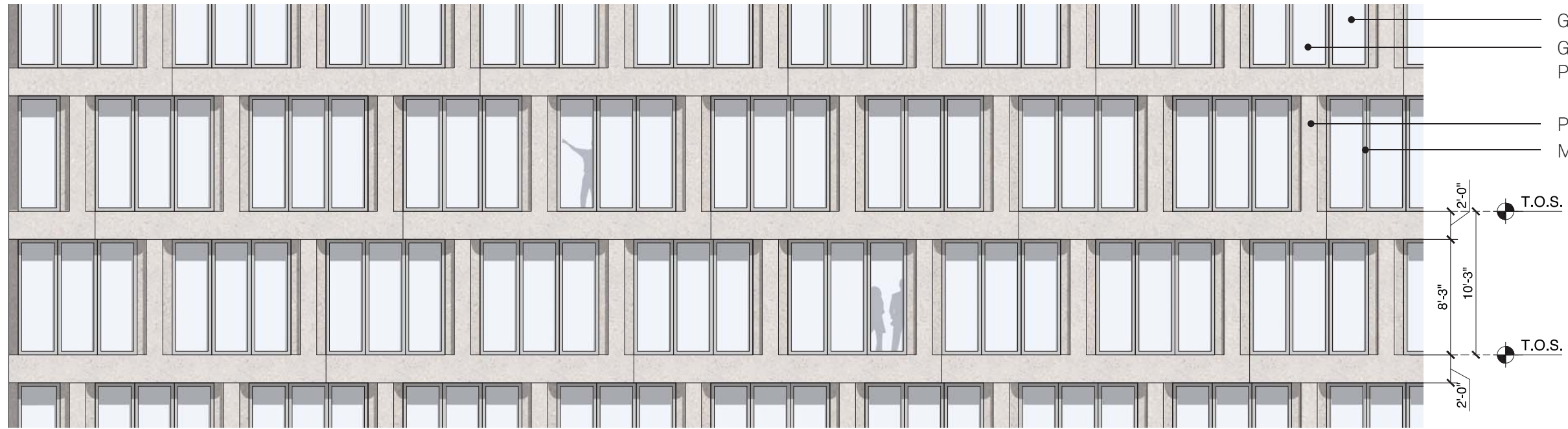


ELEVATION



PLAN

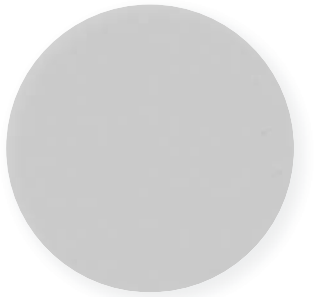




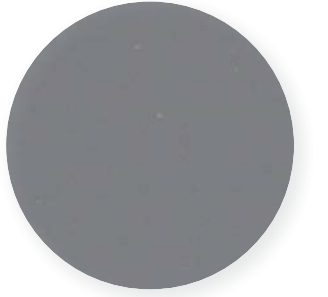
ELEVATION



GLASS



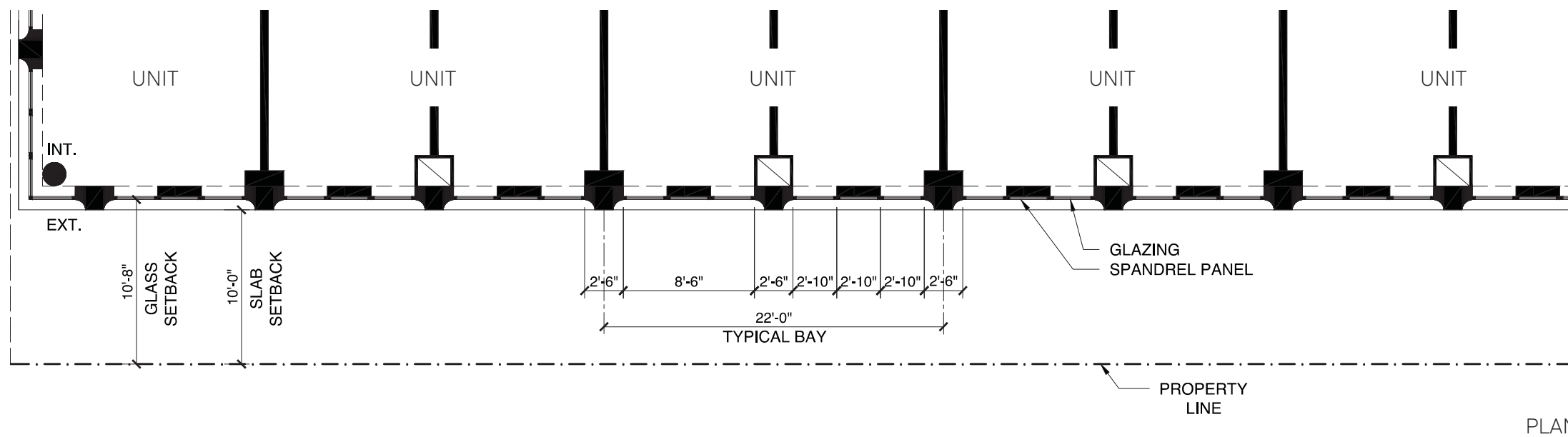
MULLION METAL



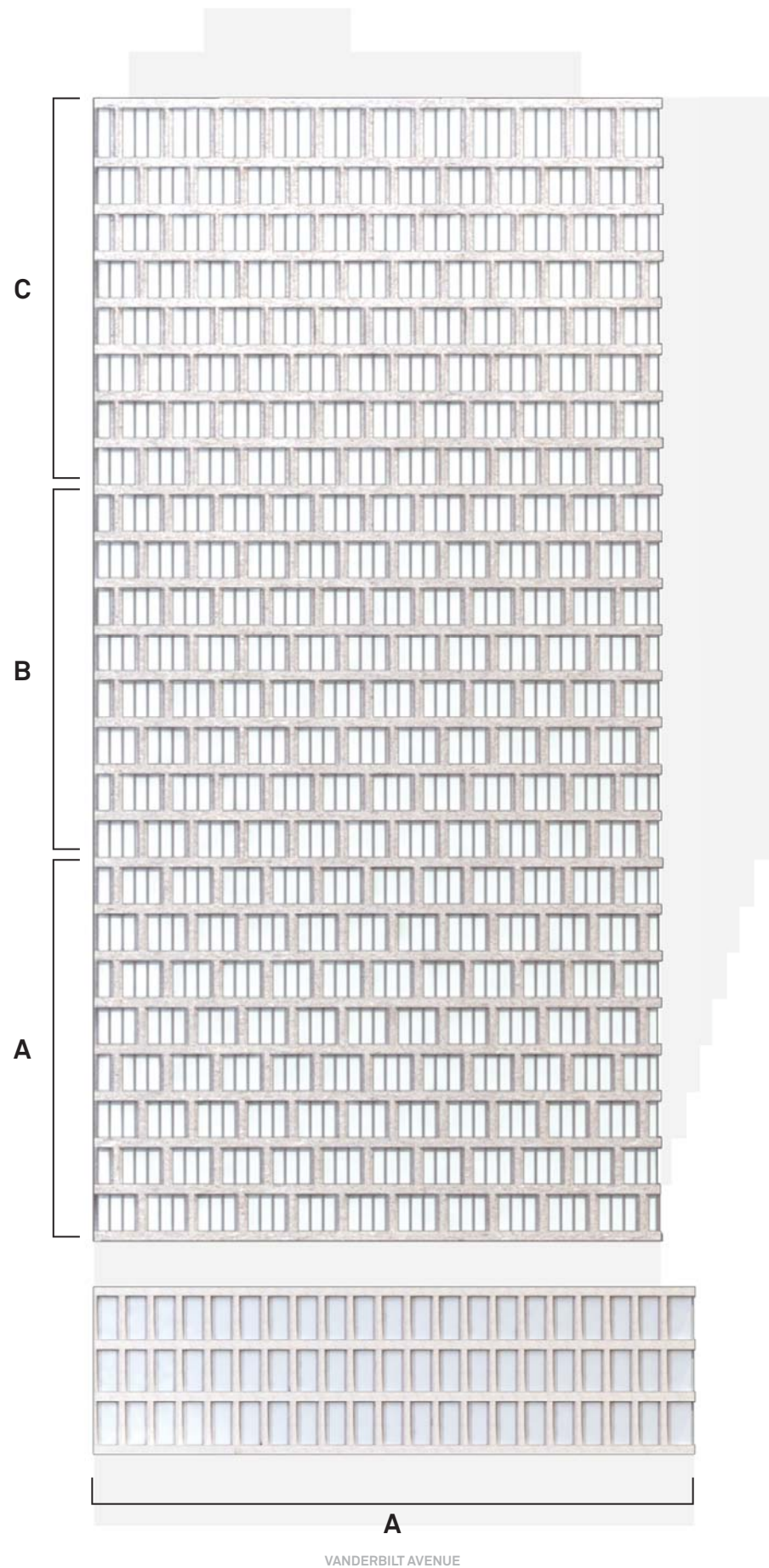
STOREFRONT METAL



PRECAST CONCRETE



PLAN



VANDERBILT AVENUE



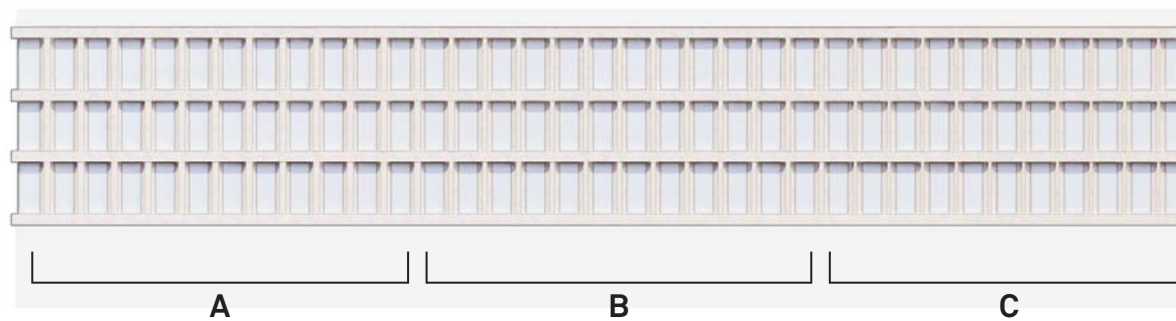
A



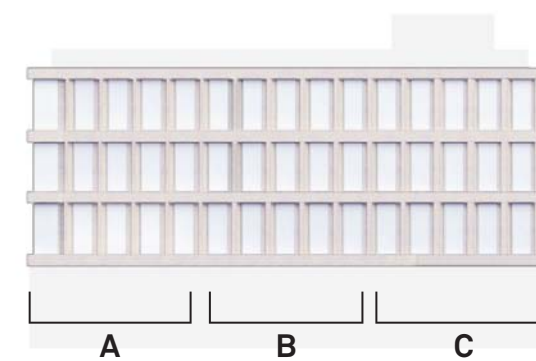
B



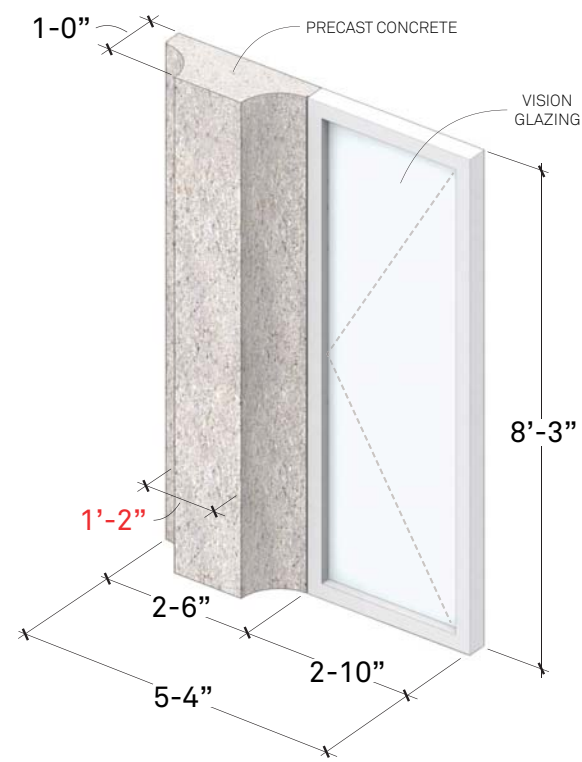
C



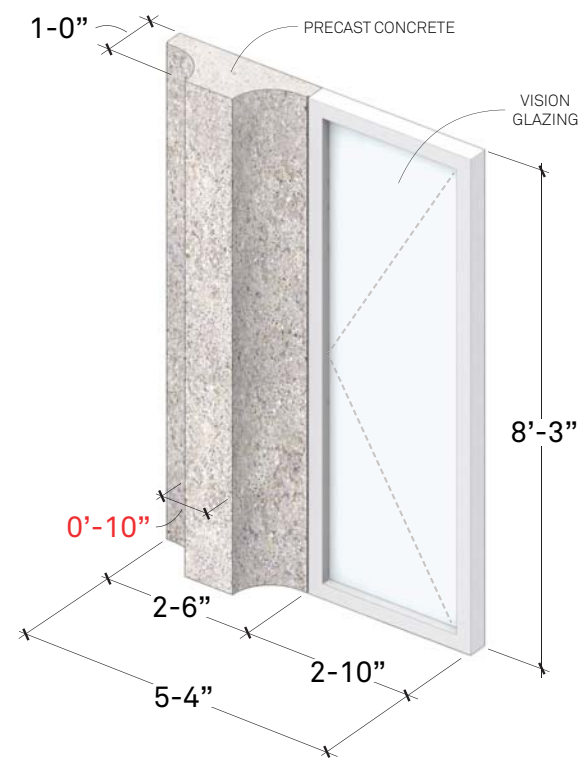
ATLANTIC AVENUE



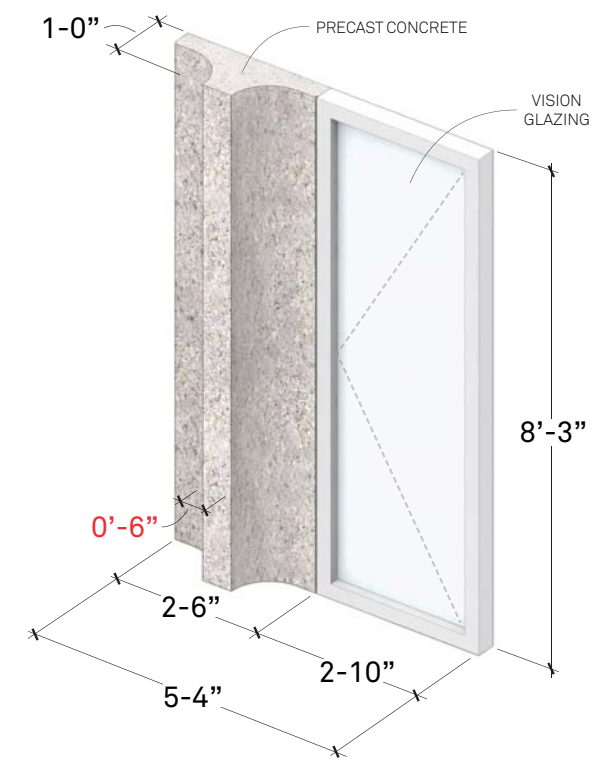
CLINTON AVENUE



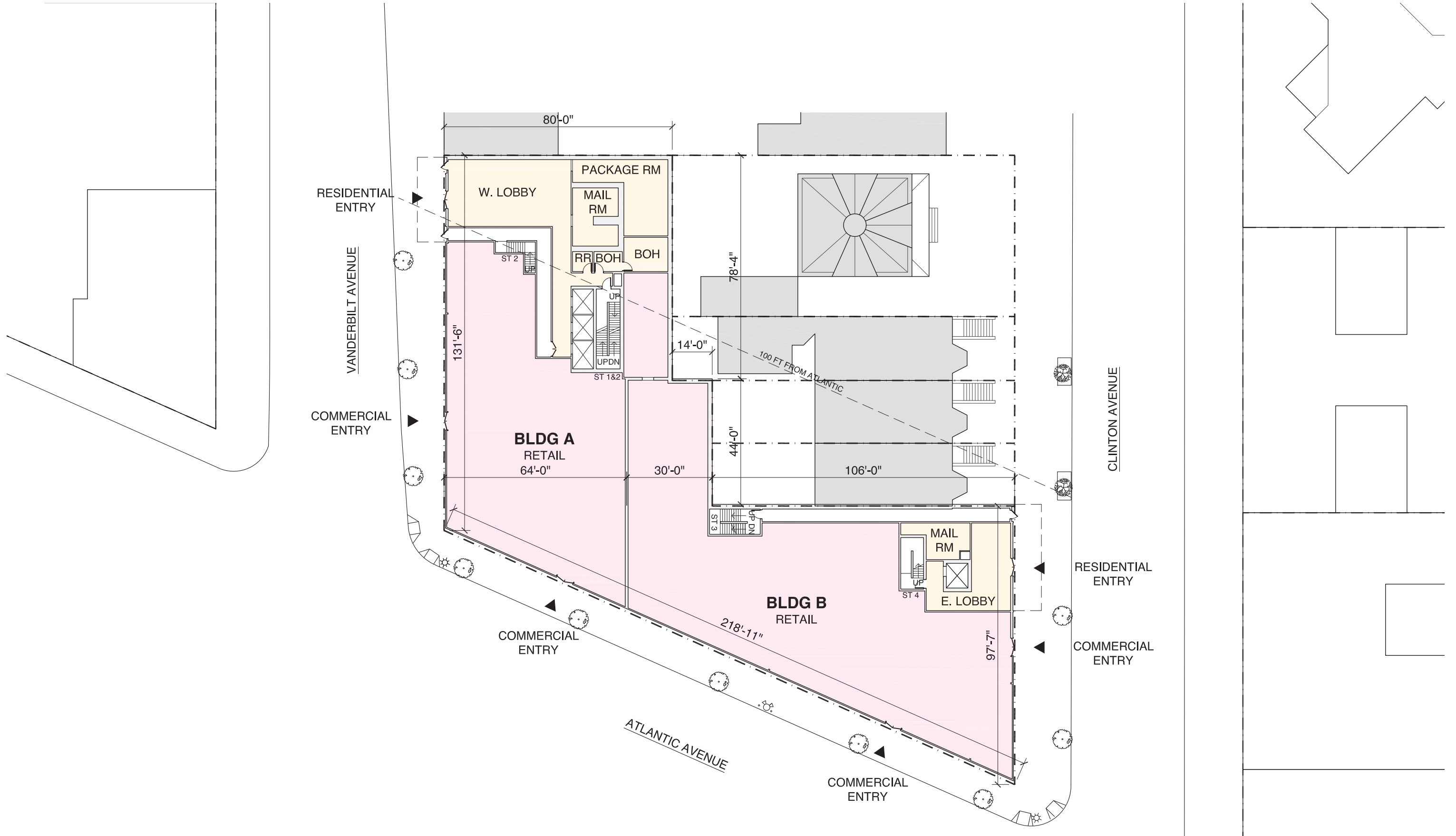
A

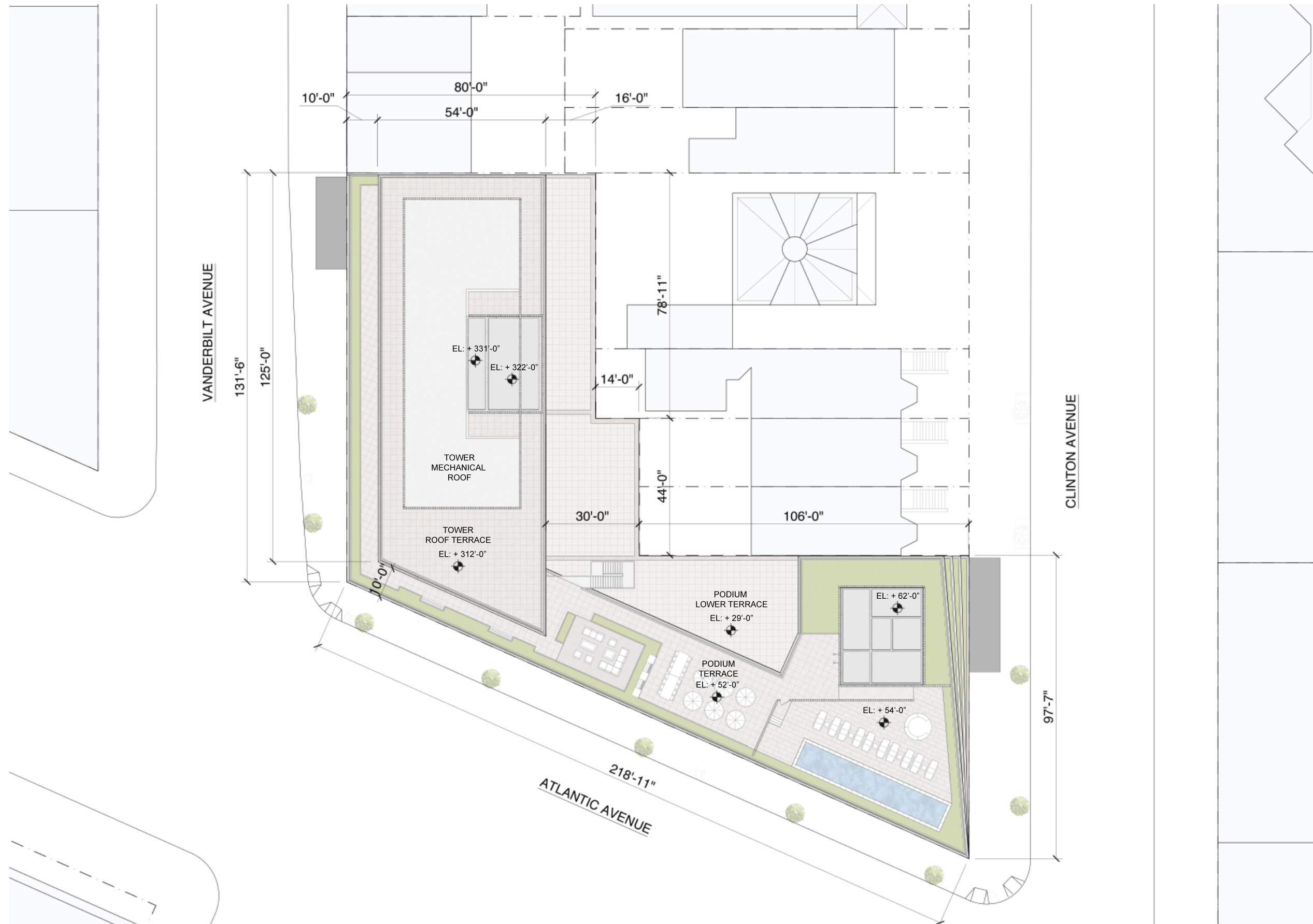


B



C





Scale: 1/32" = 1'-0"



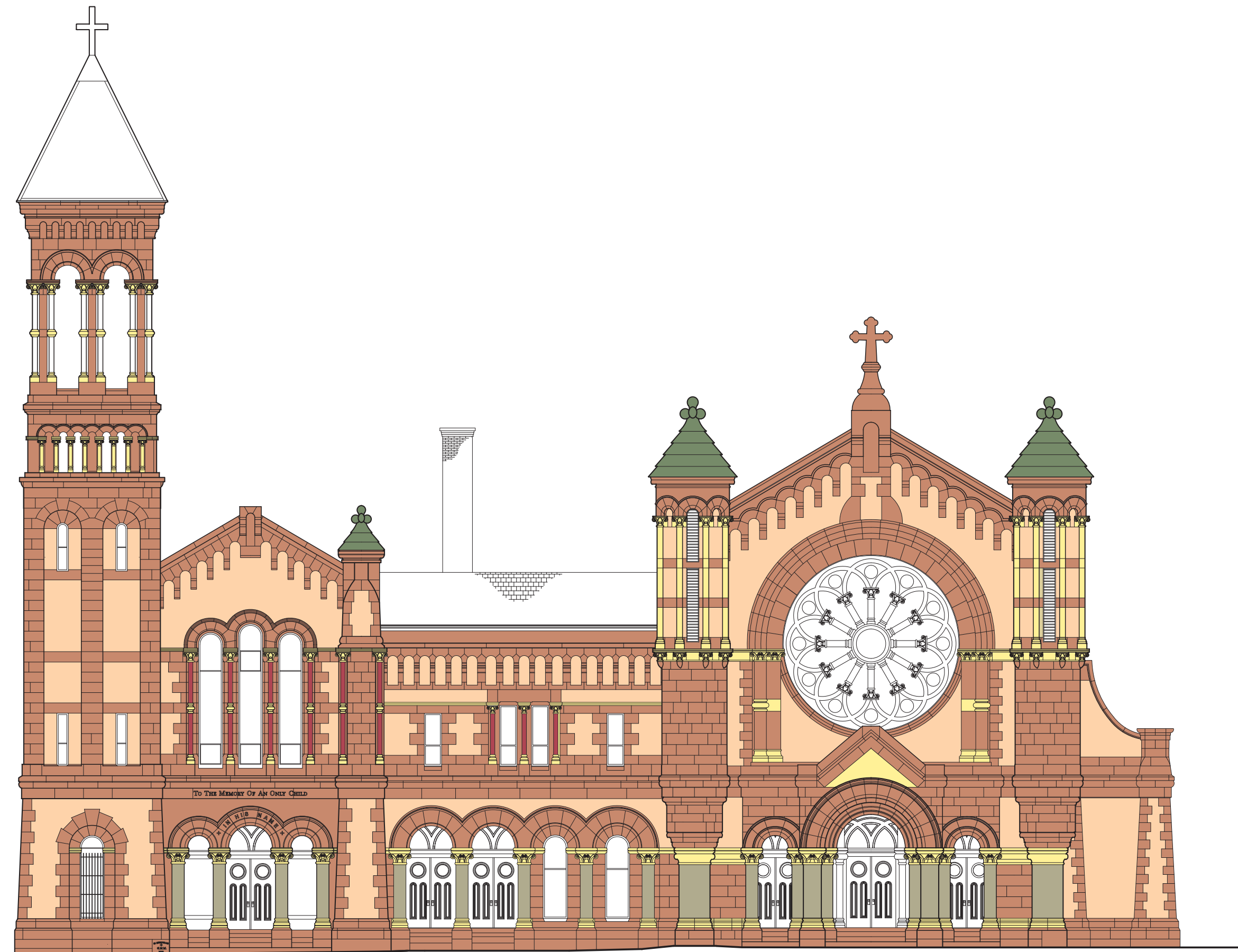


# APPENDIX









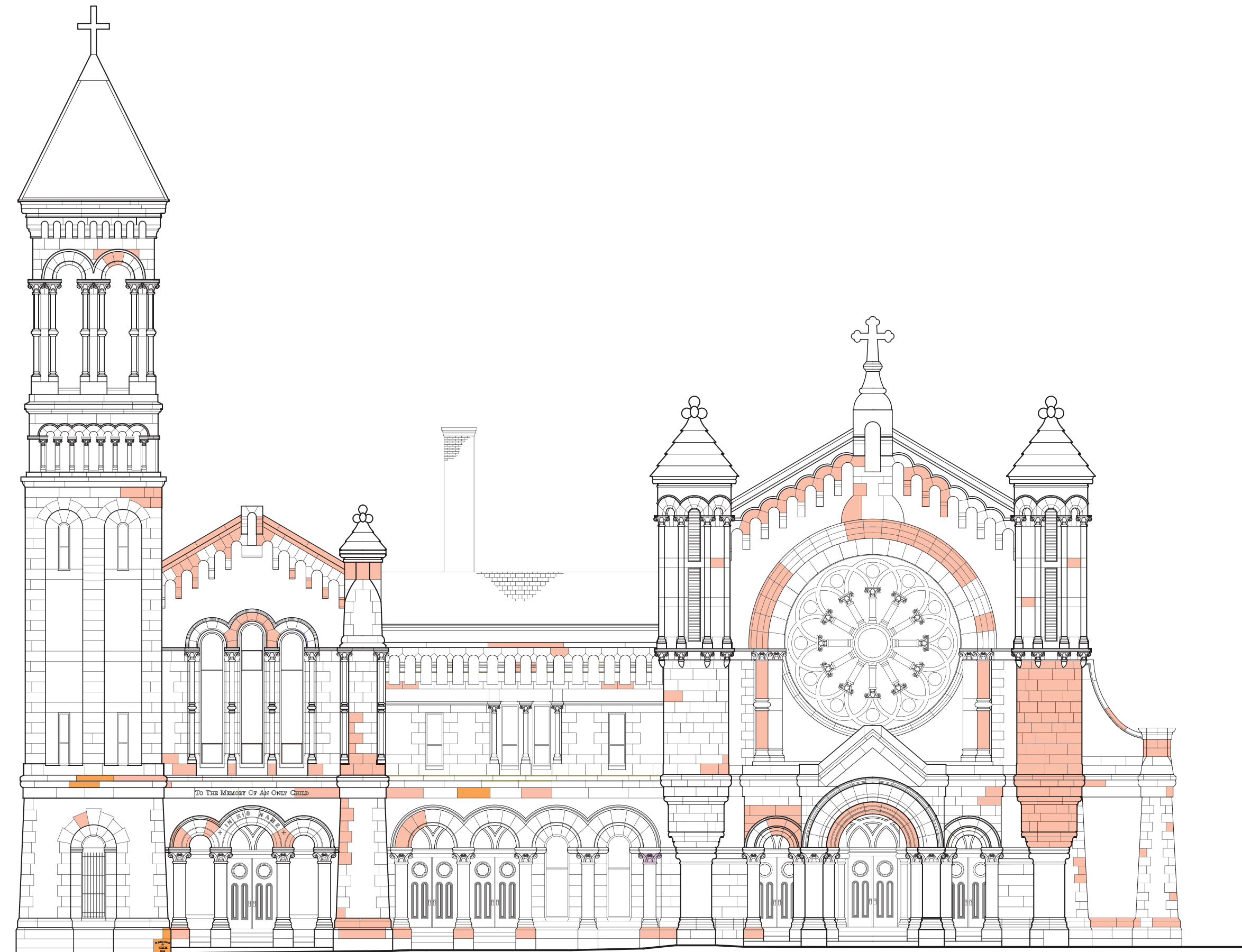




BROWNSTONE PATCH- EROSION & MATERIAL LOSS

KEY

BROWNSTONE COMPOSITE PATCH REPAIR



REPAIR BROWNSTONE CRACK WITH COMPOSITE MORTAR

KEY

- BROWNSTONE COMPOSITE PATCH REPAIR
- BROWNSTONE CRACK REPAIR





BROWNSTONE INCOMPATIBLE  
PATCH REMOVAL AND  
REPLACEMENT

**KEY**

- BROWNSTONE COMPOSITE PATCH REPAIR
- BROWNSTONE CRACK REPAIR
- INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR



BROWNSTONE REPLACEMENT  
WITH NEW CAST STONE TO  
MATCH ORIGINAL BROWNSTONE

**KEY**

- BROWNSTONE COMPOSITE PATCH REPAIR
- BROWNSTONE CRACK REPAIR
- INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
- CAST-STONE REPLACEMENT OF BROWNSTONE



REPOINT DETERIORATE BROWNSTONE JOINTS WITH NEW MORTAR TO MATCH ORIGINAL. INSTALL WEATHER CAPS AT ROOF LEVEL.

**KEY**

- BROWNSTONE COMPOSITE PATCH REPAIR
- BROWNSTONE CRACK REPAIR
- INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
- CAST-STONE REPLACEMENT OF BROWNSTONE
- BROWNSTONE REPOINTING



REMOVE AND REINSTALL SOUND  
TILES OR REPLACE DAMAGED TILES  
IN KIND AT CHURCH, CLOISTER, AND  
CHAPEL ENTRY VESTIBULES

**KEY**

- BROWNSTONE COMPOSITE PATCH REPAIR
- BROWNSTONE CRACK REPAIR
- INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
- CAST-STONE REPLACEMENT OF BROWNSTONE
- BROWNSTONE REPOINTING
- REMOVE, REINSTALL, AND REPLACE ENTRY TILES



REPLACE DAMAGED COPPER GUTTER WITH NEW COPPER GUTTER TO MATCH ORIGINAL. REPLACE DAMAGED SHEET METAL CROSS AND FLASHING ON BELFRY WITH NEW COPPER CROSS AND FLASHING.

KEY

- BROWNSTONE COMPOSITE PATCH REPAIR
- BROWNSTONE CRACK REPAIR
- INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
- CAST-STONE REPLACEMENT OF BROWNSTONE
- BROWNSTONE REPOINTING
- REMOVE, REINSTALL, AND REPLACE ENTRY TILES
- COPPER GUTTER & CROSS REPLACEMENT



COATING REMOVAL, REPAIR,  
AND REPOINTING OF SANDSTONE

KEY	
<span style="color: #f4a460;">■</span>	BROWNSTONE COMPOSITE PATCH REPAIR
<span style="color: #e67e22;">■</span>	BROWNSTONE CRACK REPAIR
<span style="color: #34495e;">■</span>	INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
<span style="color: #e74c3c;">■</span>	CAST-STONE REPLACEMENT OF BROWNSTONE
<span style="color: #f1c40f;">■</span>	BROWNSTONE REPOINTING
<span style="color: #e91e63;">↑</span>	REMOVE, REINSTALL, AND REPLACE ENTRY TILES
<span style="color: #27ae60;">■</span>	COPPER GUTTER & CROSS REPLACEMENT
<span style="color: #a9d0d9;">■</span>	SANDSTONE COATING REMOVAL / REPAIR / REPOINTING



SANDSTONE AND GRANITE  
PATCH REPAIR

KEY	
<span style="color: #E9967A;">■</span>	BROWNSTONE COMPOSITE PATCH REPAIR
<span style="color: #FF8C00;">■</span>	BROWNSTONE CRACK REPAIR
<span style="color: #4169E1;">■</span>	INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
<span style="color: #DC143C;">■</span>	CAST-STONE REPLACEMENT OF BROWNSTONE
<span style="color: #FFD700;">■</span>	BROWNSTONE REPOINTING
<span style="color: red;">↑</span>	REMOVE, REINSTALL, AND REPLACE ENTRY TILES
<span style="color: #008000;">■</span>	COPPER GUTTER & CROSS REPLACEMENT
<span style="color: #90EE90;">■</span>	SANDSTONE COATING REMOVAL / REPAIR / REPOINTING
<span style="color: #9370DB;">■</span>	GRANITE AND SANDSTONE PATCH REPAIR



SCRAPE, PRIME, REPAINT, AND SEAL SHEET METAL WHEEL WINDOW. SAND AND REPAINT WOOD TURRET LOUVERS

KEY	
<span style="color: #f4a460;">■</span>	BROWNSTONE COMPOSITE PATCH REPAIR
<span style="color: #e67e22;">■</span>	BROWNSTONE CRACK REPAIR
<span style="color: #34495e;">■</span>	INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
<span style="color: #e74c3c;">■</span>	CAST-STONE REPLACEMENT OF BROWNSTONE
<span style="color: #f1c40f;">■</span>	BROWNSTONE REPOINTING
<span style="color: #e91e63;">↑</span>	REMOVE, REINSTALL, AND REPLACE ENTRY TILES
<span style="color: #27ae60;">■</span>	COPPER GUTTER & CROSS REPLACEMENT
<span style="color: #a9d0d9;">■</span>	SANDSTONE COATING REMOVAL / REPAIR / REPOINTING
<span style="color: #9b59b6;">■</span>	GRANITE AND SANDSTONE PATCH REPAIR
<span style="color: #8d6e63;">■</span>	SHEET METAL WINDOW AND WOOD LOUVER SCRAPE & PAINT





REMOVE AND REPLACE DAMAGED PROTECTIVE GLAZING. SCRAPE AND PAINT DETERIORATED WOOD WINDOW FRAMES. PROVIDE NEW CAULKING AT WINDOW PERIMETER.

**KEY**

- BROWNSTONE COMPOSITE PATCH REPAIR
- BROWNSTONE CRACK REPAIR
- INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
- CAST-STONE REPLACEMENT OF BROWNSTONE
- BROWNSTONE REPOINTING
- REMOVE, REINSTALL, AND REPLACE ENTRY TILES
- COPPER GUTTER & CROSS REPLACEMENT
- SANDSTONE COATING REMOVAL / REPAIR / REPOINTING
- GRANITE AND SANDSTONE PATCH REPAIR
- SHEET METAL WINDOW AND WOOD LOUVER SCRAPE & PAINT
- STAINED GLASS WINDOW REPAIR & NEW PROTECTIVE GLAZING



REPLACE DAMAGED COPING STONES WITH NEW CAST STONE COPING STONES.  
REPAIR BRICK CRACKS ON CHIMNEY

**KEY**

- BROWNSTONE COMPOSITE PATCH REPAIR
- BROWNSTONE CRACK REPAIR
- INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
- CAST-STONE REPLACEMENT OF BROWNSTONE
- BROWNSTONE REPOINTING
- REMOVE, REINSTALL, AND REPLACE ENTRY TILES
- COPPER GUTTER & CROSS REPLACEMENT
- SANDSTONE COATING REMOVAL / REPAIR / REPOINTING
- GRANITE AND SANDSTONE PATCH REPAIR
- SHEET METAL WINDOW AND WOOD LOUVER SCRAPE & PAINT
- STAINED GLASS WINDOW REPAIR & NEW PROTECTIVE GLAZING
- BRICK CHIMNEY & COPING STONE REPAIR



REPLACE BELFRY ROOF WITH NEW SLATE TO MATCH EXISTING SLATE PRESENT ON CLOISTER ROOF. SELECTIVE REPLACEMENT OF SLATE SHINGLES AT CLOISTER ROOF, ASSUME 10%.

**KEY**

- BROWNSTONE COMPOSITE PATCH REPAIR
- BROWNSTONE CRACK REPAIR
- INCOMPATIBLE PATCH REMOVAL/ COMPOSITE PATCH REPAIR
- CAST-STONE REPLACEMENT OF BROWNSTONE
- BROWNSTONE REPOINTING
- REMOVE, REINSTALL, AND REPLACE ENTRY TILES
- COPPER GUTTER & CROSS REPLACEMENT
- SANDSTONE COATING REMOVAL / REPAIR / REPOINTING
- GRANITE AND SANDSTONE PATCH REPAIR
- SHEET METAL WINDOW AND WOOD LOUVER SCRAPE & PAINT
- STAINED GLASS WINDOW REPAIR & NEW PROTECTIVE GLAZING
- BRICK CHIMNEY & COPING STONE REPAIR
- SLATE REPLACEMENT

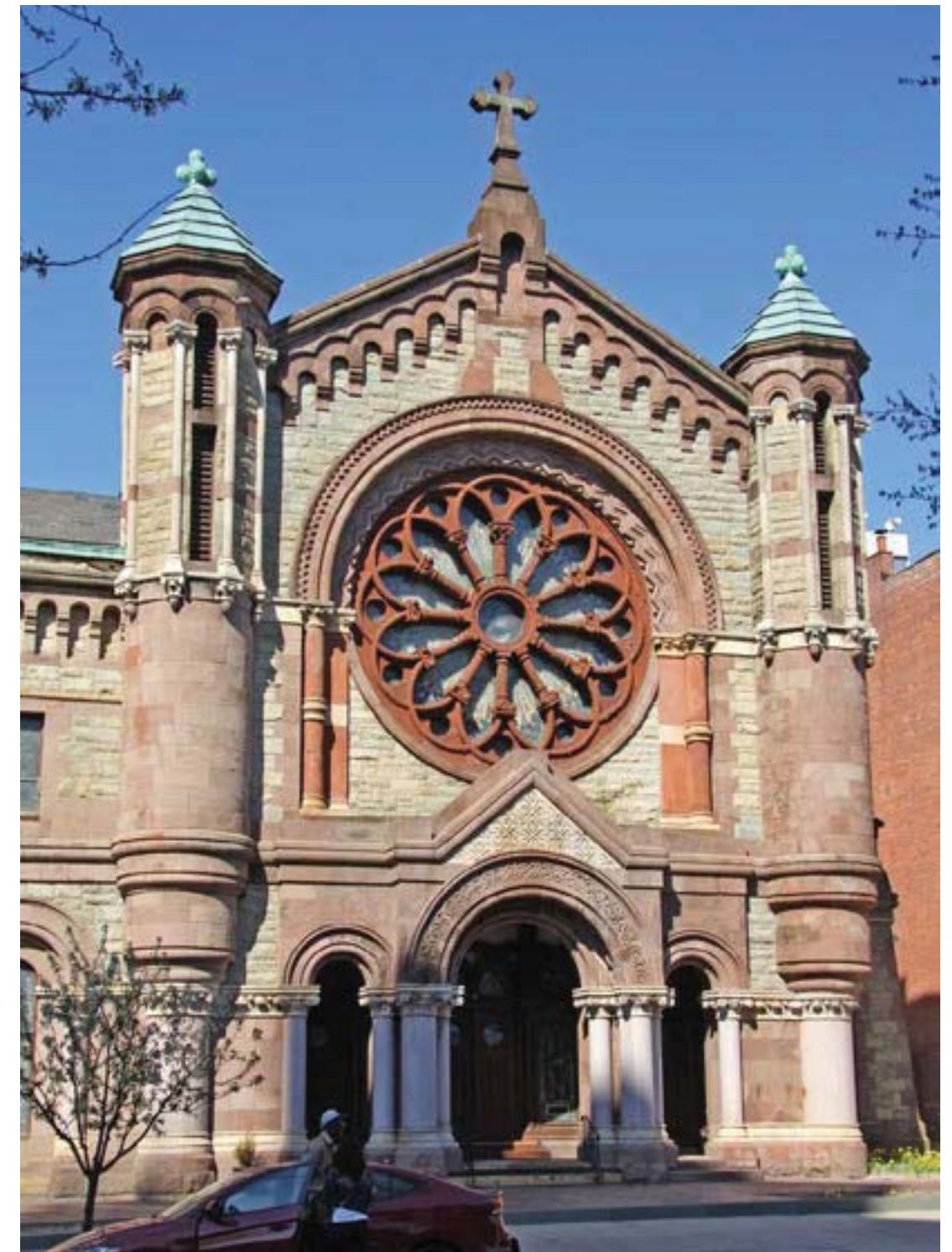
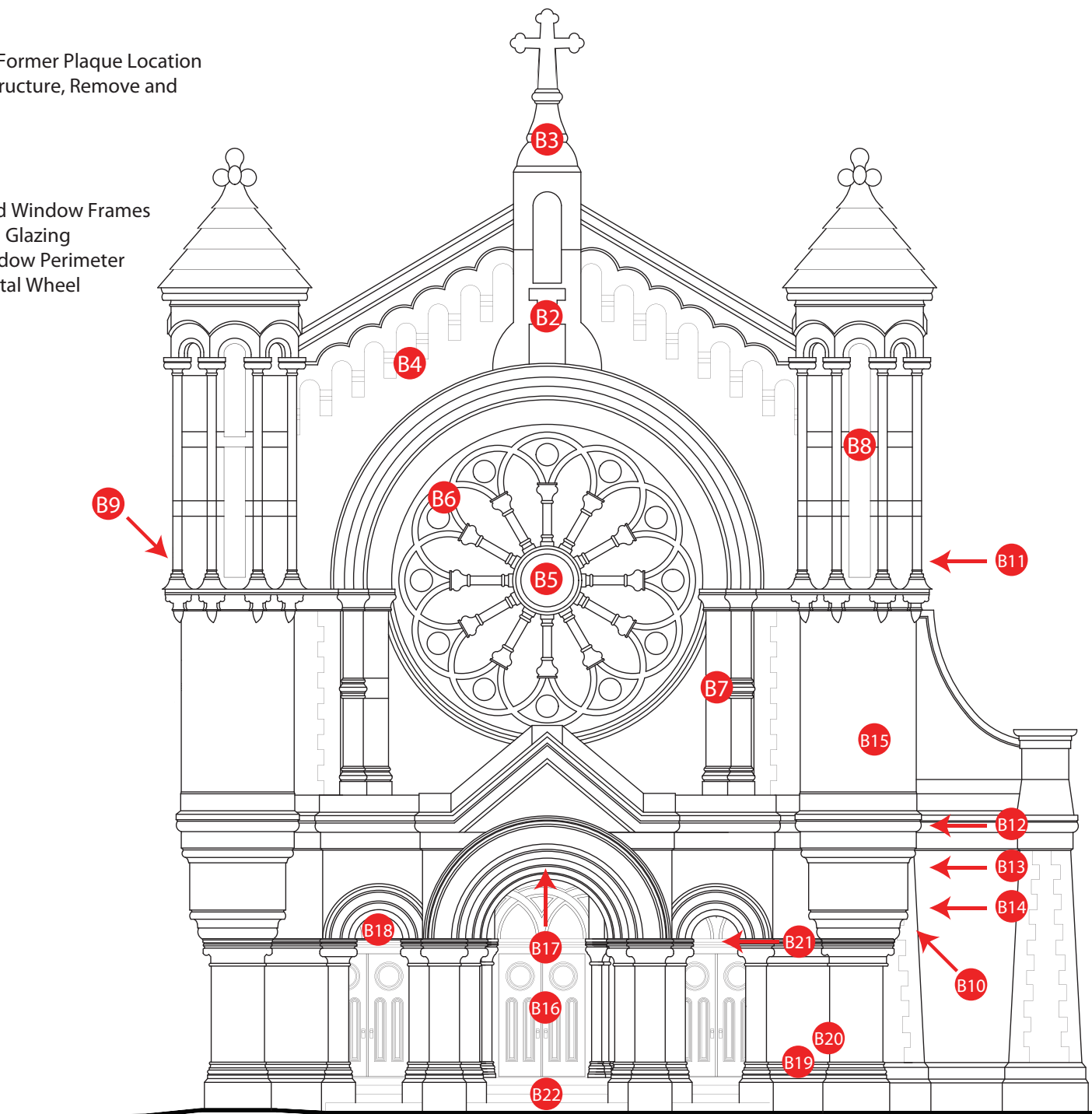
# CHURCH

## MASONRY SCOPE OF WORK:

- Clean Facade
- Repoint Deteriorated Masonry Joints to Match Original Mortar
- Remove Incompatible Patching
- Retool or Composite Patch Deteriorated Stone
- Patch Brownstone/Sandstone to Match Original
- Repair Cracks in Brownstone
- Repair Granite Columns
- Remove Ferrous Materials at Former Plaque Location
- Stabilize Entry Landing Substructure, Remove and Reinstall Tiles.

## WINDOW SCOPE OF WORK:

- Clean Windows
- Scrape and Paint Deteriorated Window Frames
- Replace Damaged Protective Glazing
- Provide New Caulking at Window Perimeter
- Scrape and Repaint Sheet Metal Wheel Window



B1

# CLOISTER

## MASONRY SCOPE OF WORK:

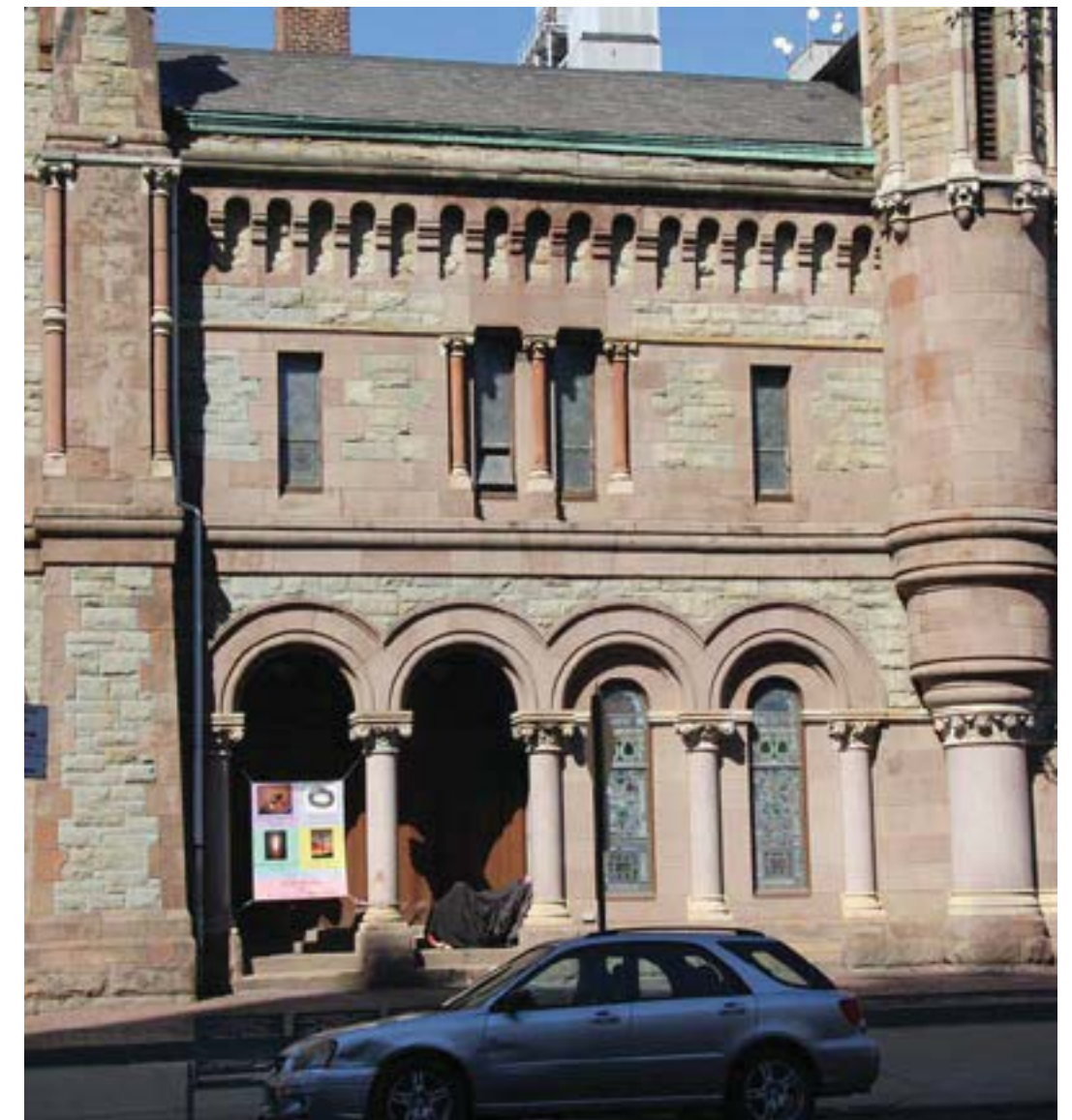
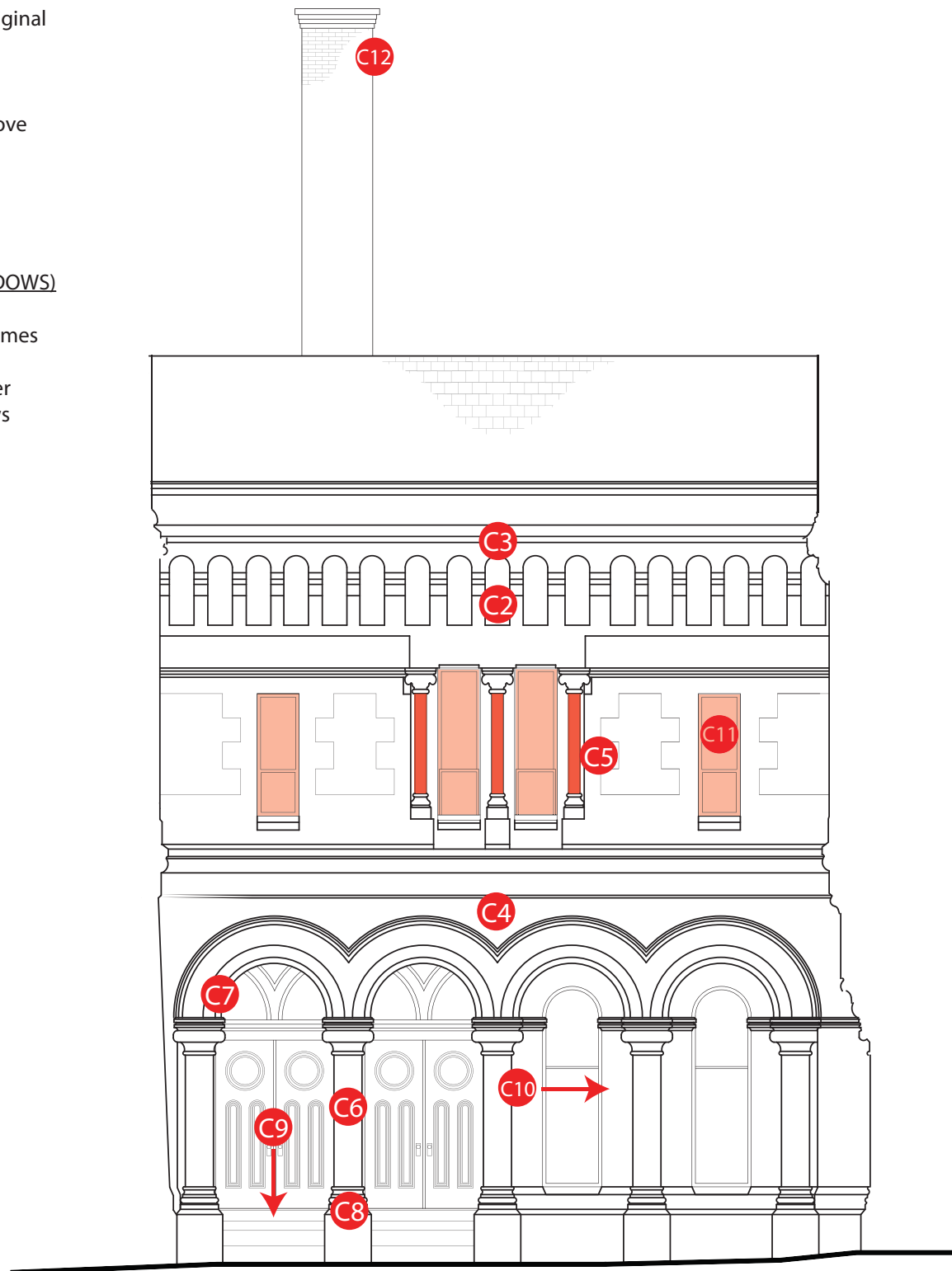
- Clean Facade
- Repoint Deteriorated Masonry Joints to Match Original Mortar
- Remove Incompatible Patching
- Patch Brownstone/Sandstone to Match Original
- Repair Cracks in Brownstone
- Repair Granite Columns
- Replace Brownstone Colonette Shaft
- Stabilize Entry Landing Substructure, Remove and Reinstall Tiles.

## ROOF SCOPE OF WORK:

- Repair/Replace Gutter

## WINDOW SCOPE OF WORK: (SELECTIVE WINDOWS)

- Clean Windows
- Scrape and Paint Deteriorated Window Frames
- Replace Damaged Protective Glazing
- Provide New Caulking at Window Perimeter
- Repair Second Floor Stained Glass Windows



C1

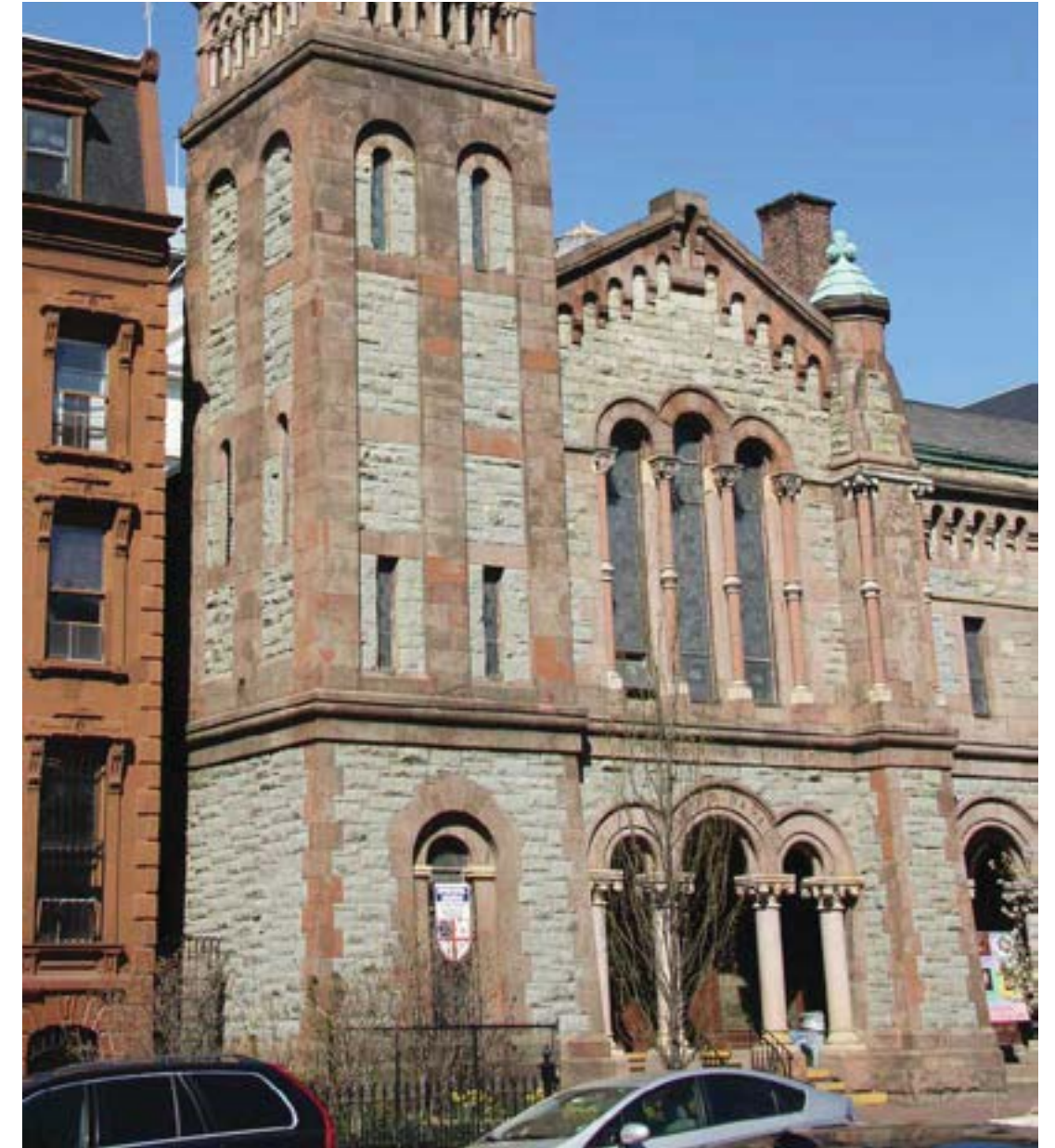
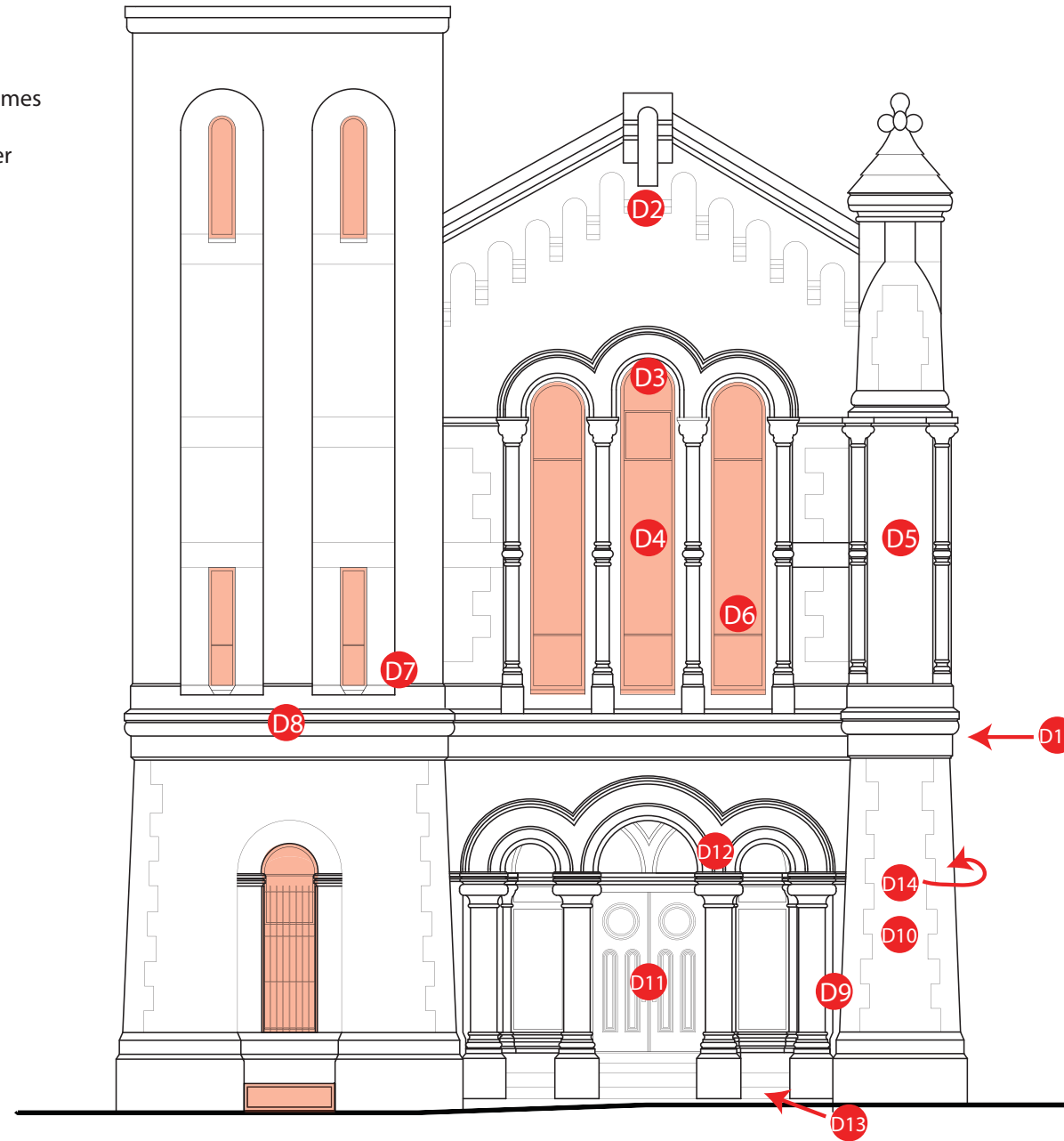
# CHAPEL

## MASONRY SCOPE OF WORK:

- Clean Facade
- Repoint Deteriorated Masonry Joints to Match Original Mortar
- Remove Incompatible Patching
- Retool or Composite Patch Deteriorated Stone
- Patch Brownstone/Sandstone to Match Original
- Repair Cracks in Brownstone
- Repair Granite Columns
- Replace Missing Stone Cross

## WINDOW SCOPE OF WORK:

- Clean Windows
- Scrape and Paint Deteriorated Window Frames
- Replace Damaged Protective Glazing
- Provide New Caulking at Window Perimeter



D1

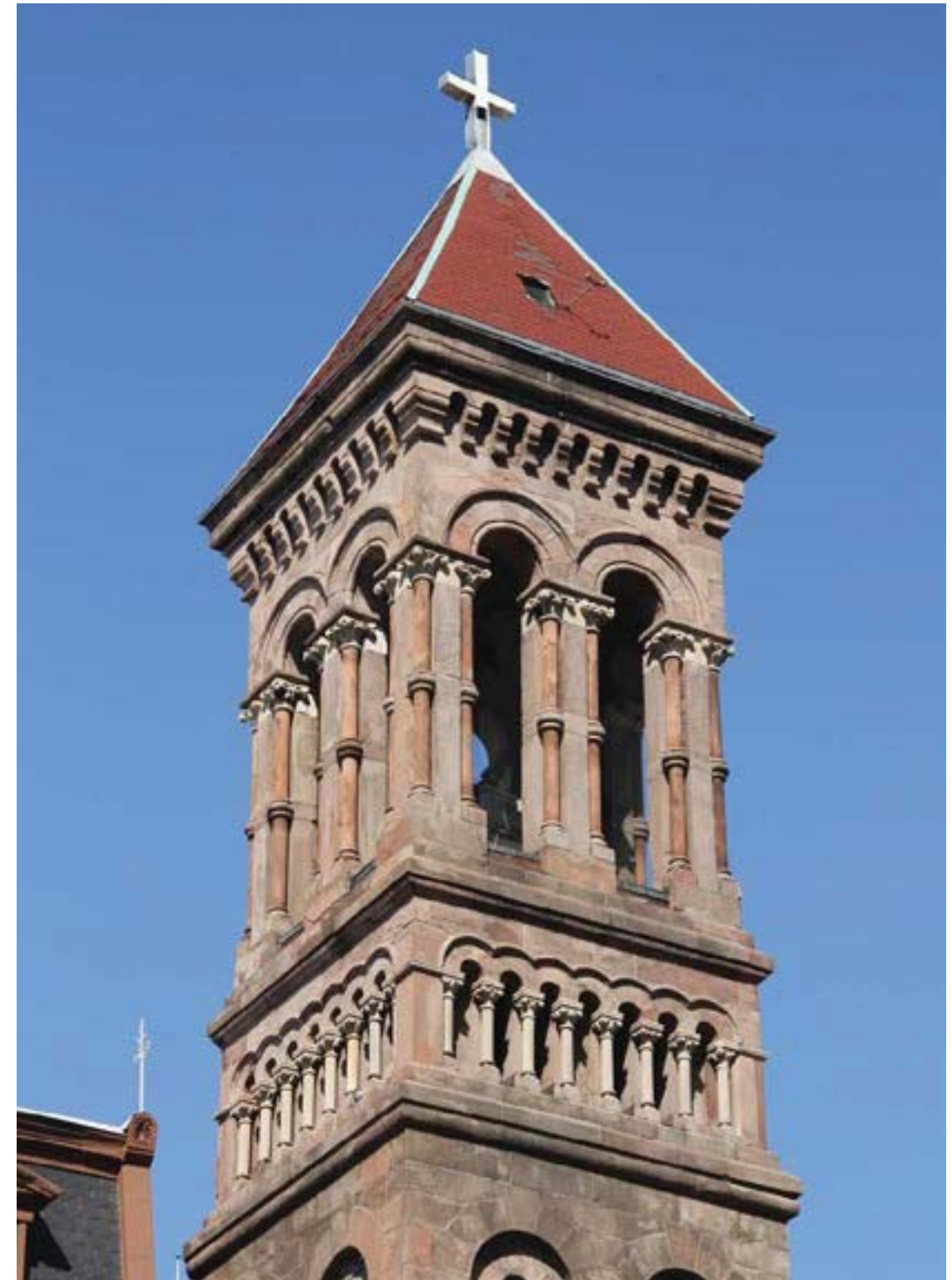
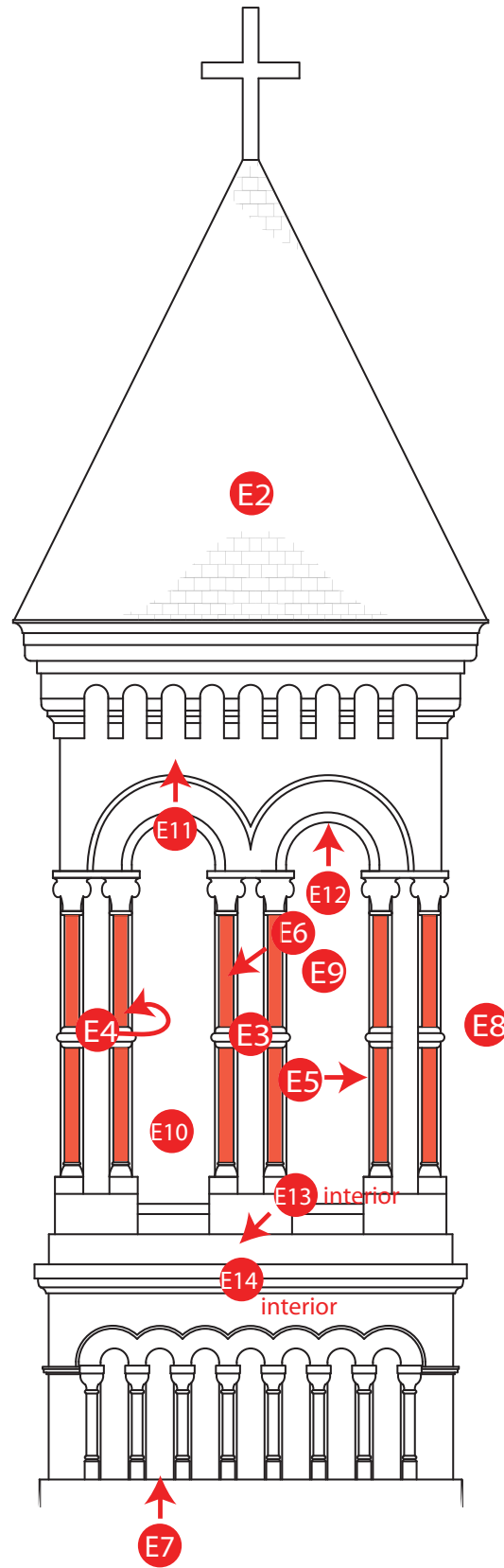
# BELFRY

## MASONRY SCOPE OF WORK:

- Create Structurally Stable Conditions
- Facade Cleaning
- Rebuild Deteriorated Brownstone to Match Original
- Rebuild Deteriorated Brick to Match Original
- Repair Cracks in Brownstone
- Remove Incompatible Patching
- Patch Brownstone/Sandstone to Match Original
- Repoint Deteriorated Masonry Joints to Match Original Mortar

## ROOF/WATERPROOFING SCOPE OF WORK:

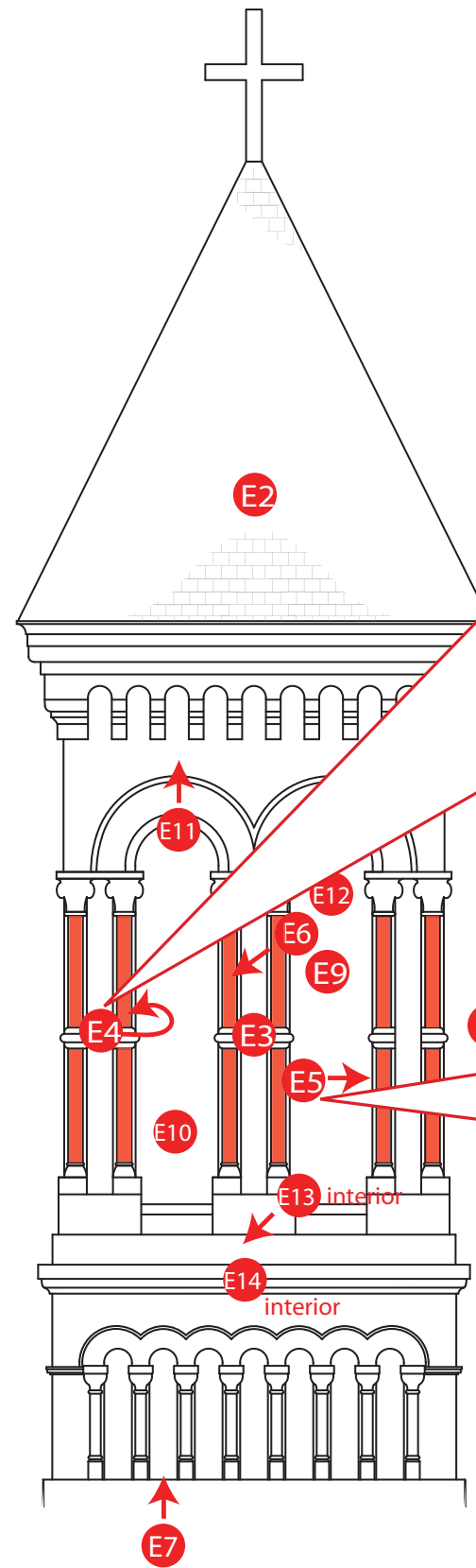
- Replace Roofing to Match Historic Material
- Repair Beaded Board Wood Ceiling
- Add new Infill Substrate, Pitched to Drain, and Flashing with Drip Edge at Juncture of Stone Exterior and Belfry Floor



# BELFRY

## DETAILS:

- E4 Repair Crack in Brownstone
- E5 Repair Crack in Brownstone



E4



E5

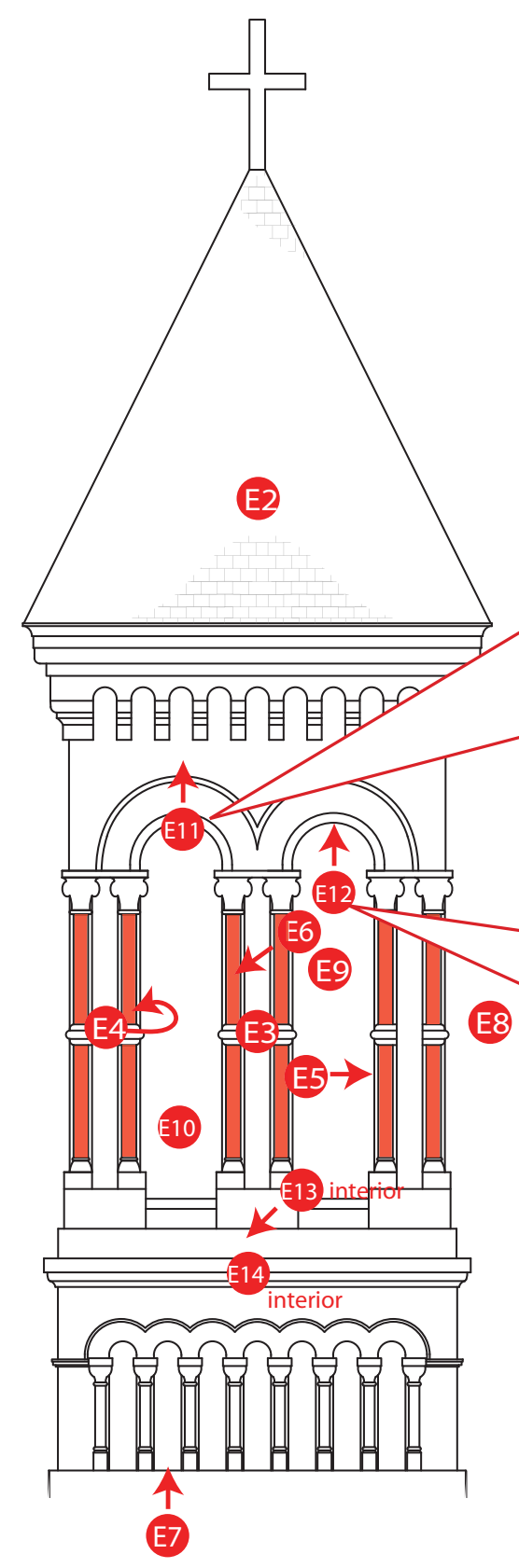




# BELFRY

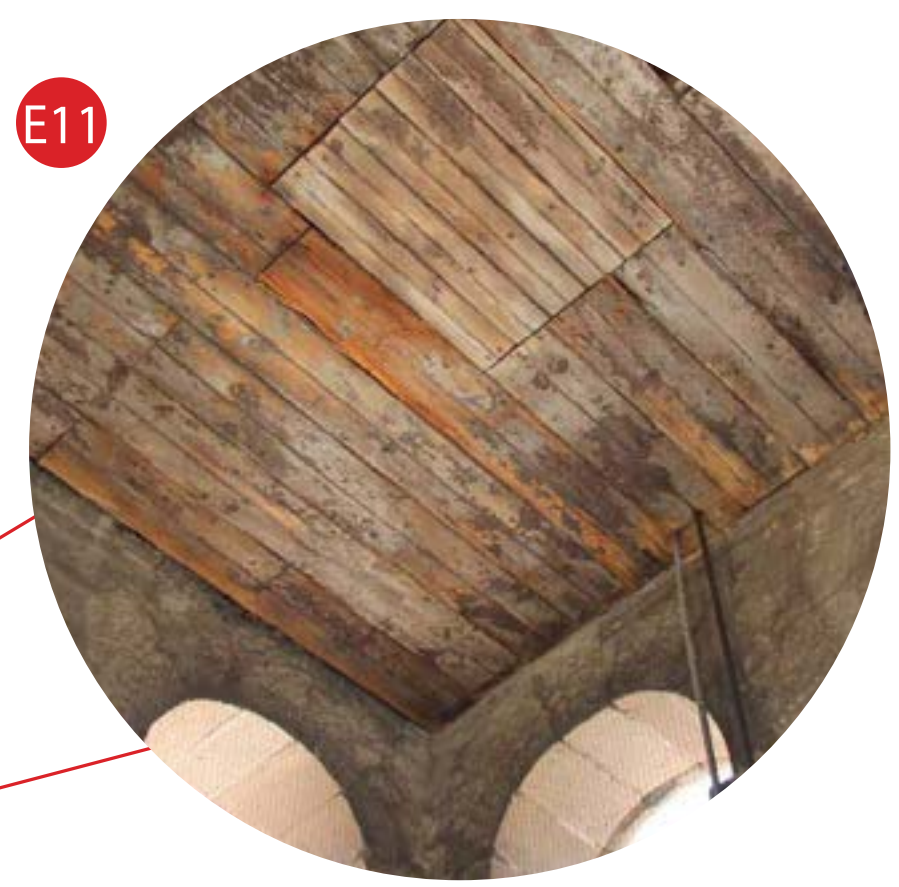
## DETAILS:

- E11 Repair Beaded Board Wood Ceiling
- E12 Repoint Deteriorated Masonry Joints to Match Original Mortar



E11

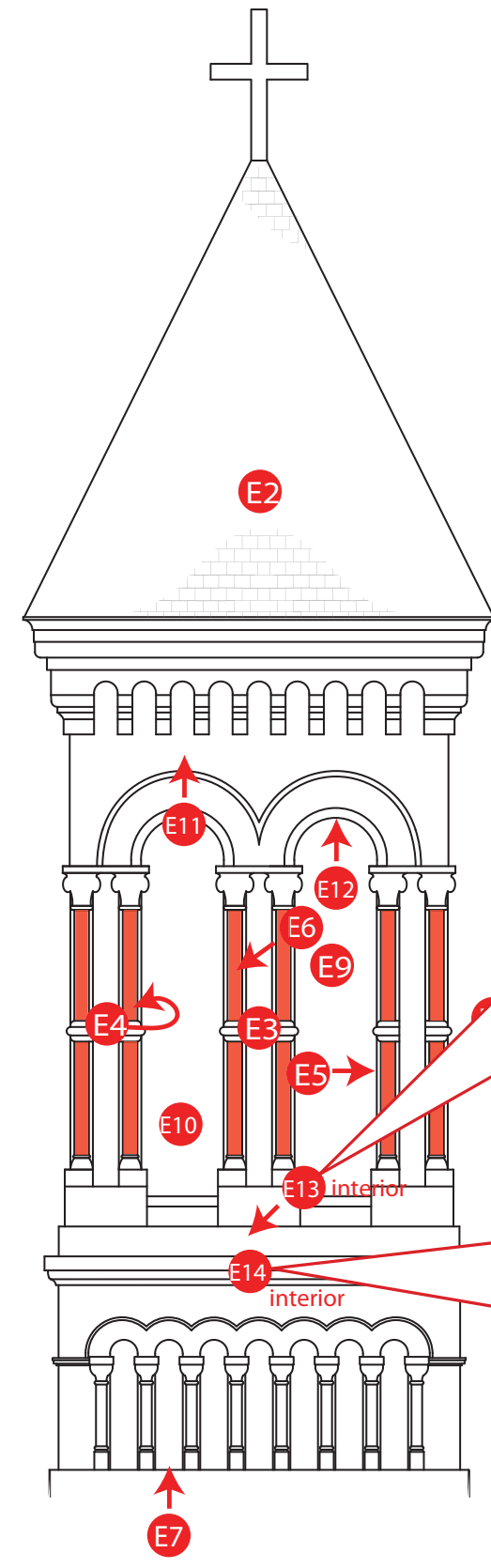
E12



# BELFRY

## DETAILS:

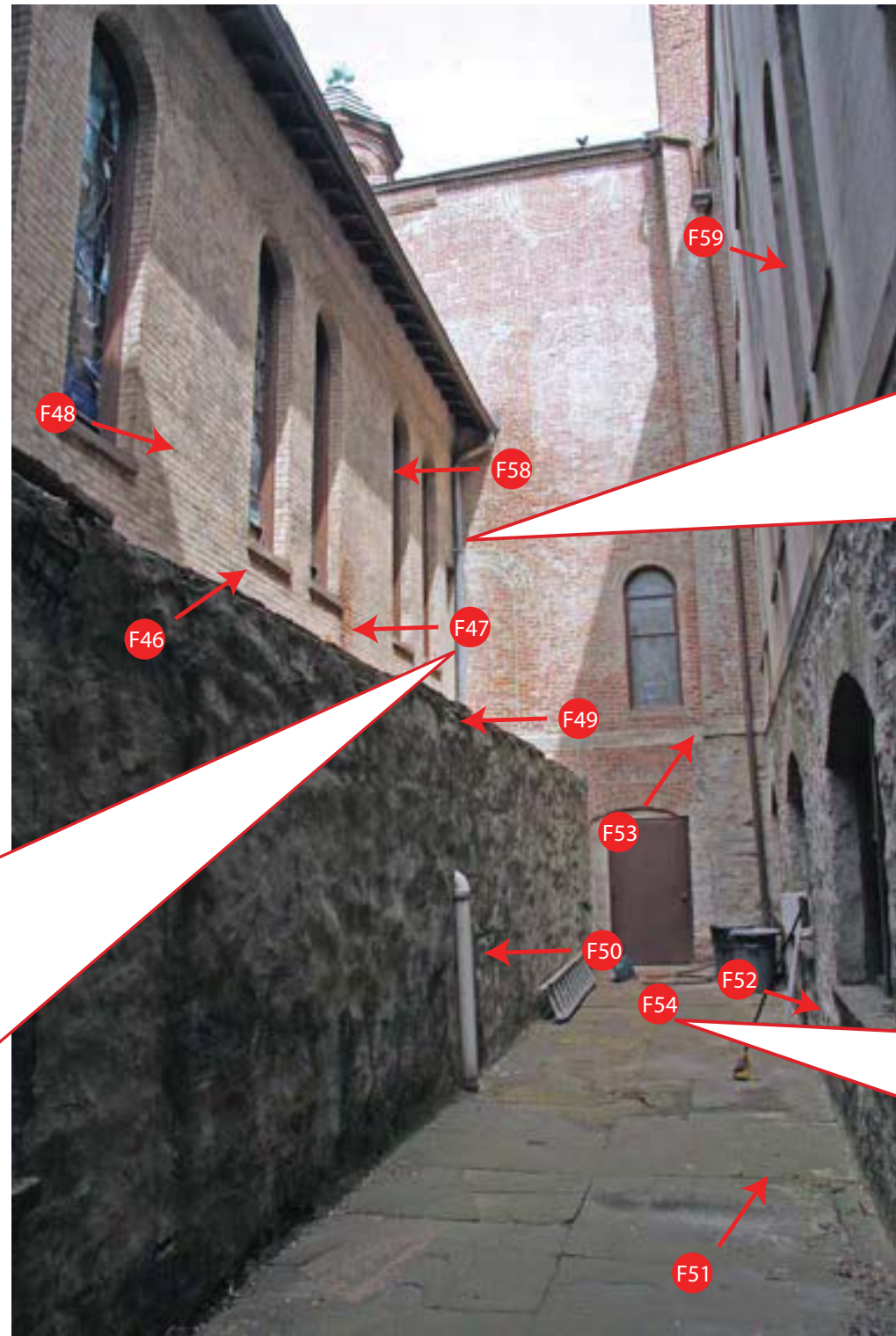
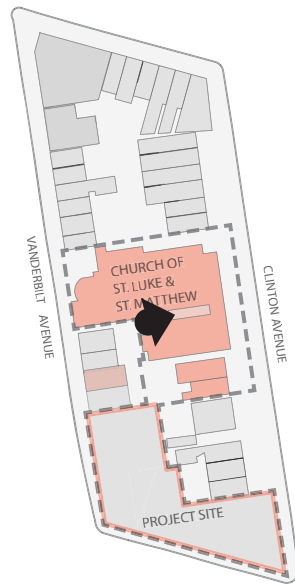
- E13 Provide Structural Reinforcement at Floor Level
- E14 Rebuild Deteriorated Brick Pier  
Create Structurally Stable Conditions



# COURTYARD

## DETAILS:

- F47 Repoint Deteriorated Masonry Joints
- F54 Restore Drainage System From Church Roof to Courtyard Pavers
- F58 Major Restoration Work Required at Sanctuary Window 113
- F59 Repair and Secure All Operable Windows in Parish Hall



F54

F54

F47

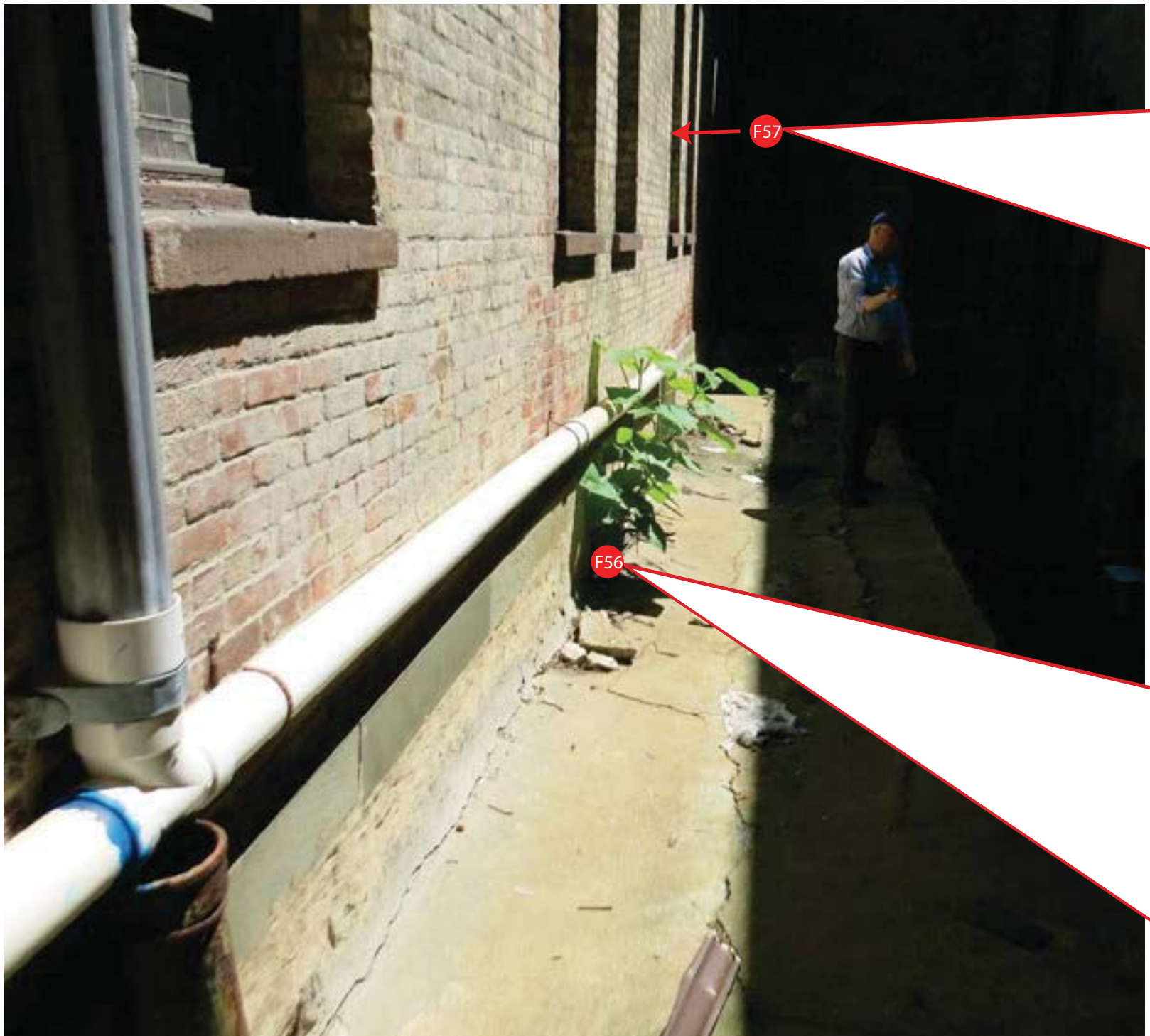
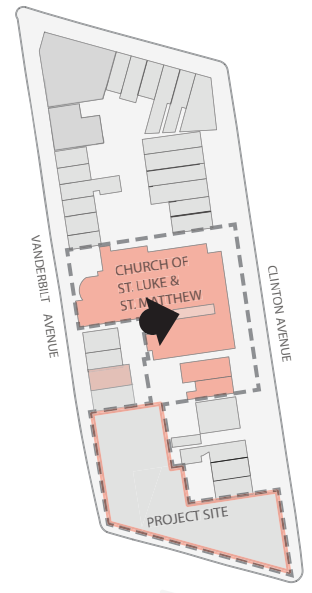


VIEW FROM LOWER COURTYARD AREA

# COURTYARD

**DETAILS:**

- F49 Provide New Roof /Concrete on Elevated Area Adjacent to Sanctuary
- F56 Seal Openings Along Exterior Wall
- F57 Stained Glass Windows in Sanctuary Facing Courtyard to Receive Protective Glazing



VIEW FROM UPPER AREA ADJACENT TO SANCTUARY



NORTH TRANSEPT

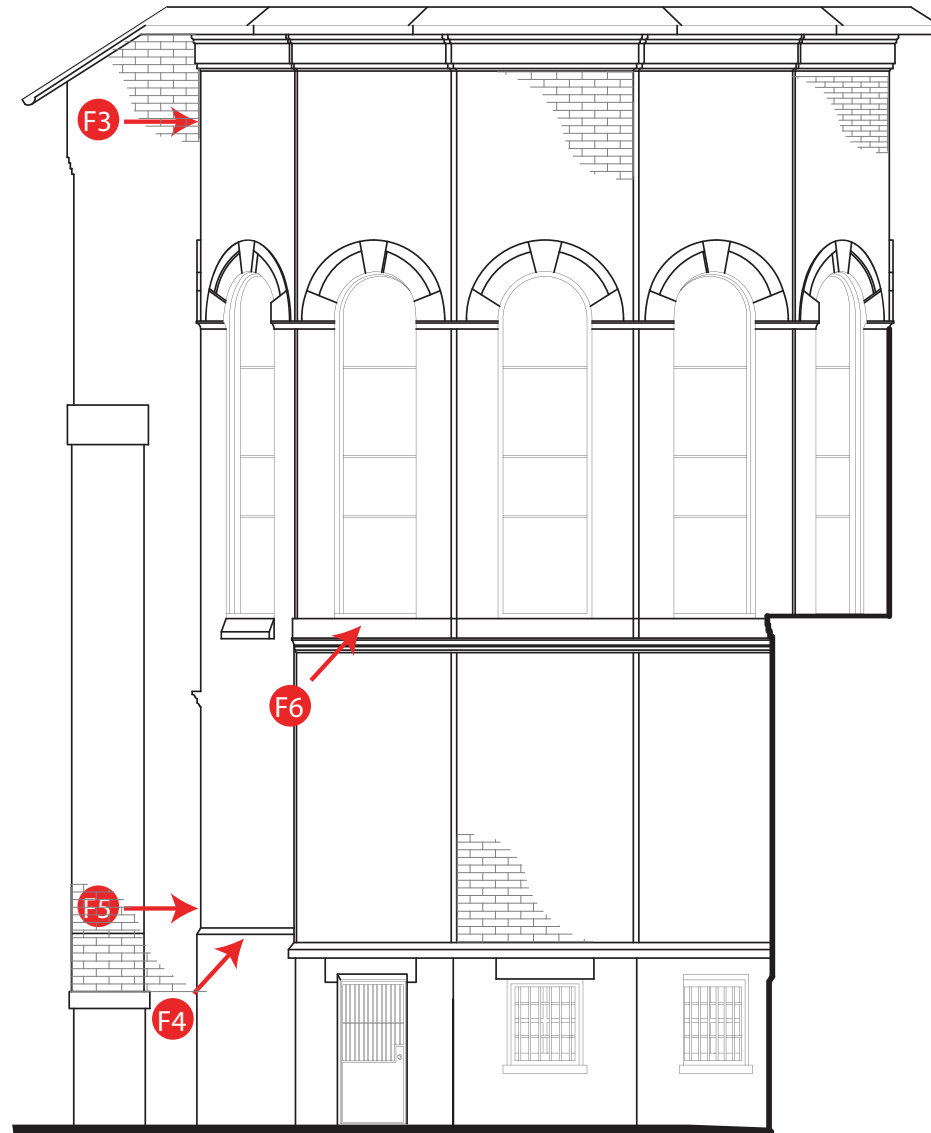
CHANCEL

RECTORY

# CHANCEL

## MASONRY SCOPE OF WORK:

- Patch Brownstone Match Original
- Rebuild Brownstone to Match Original

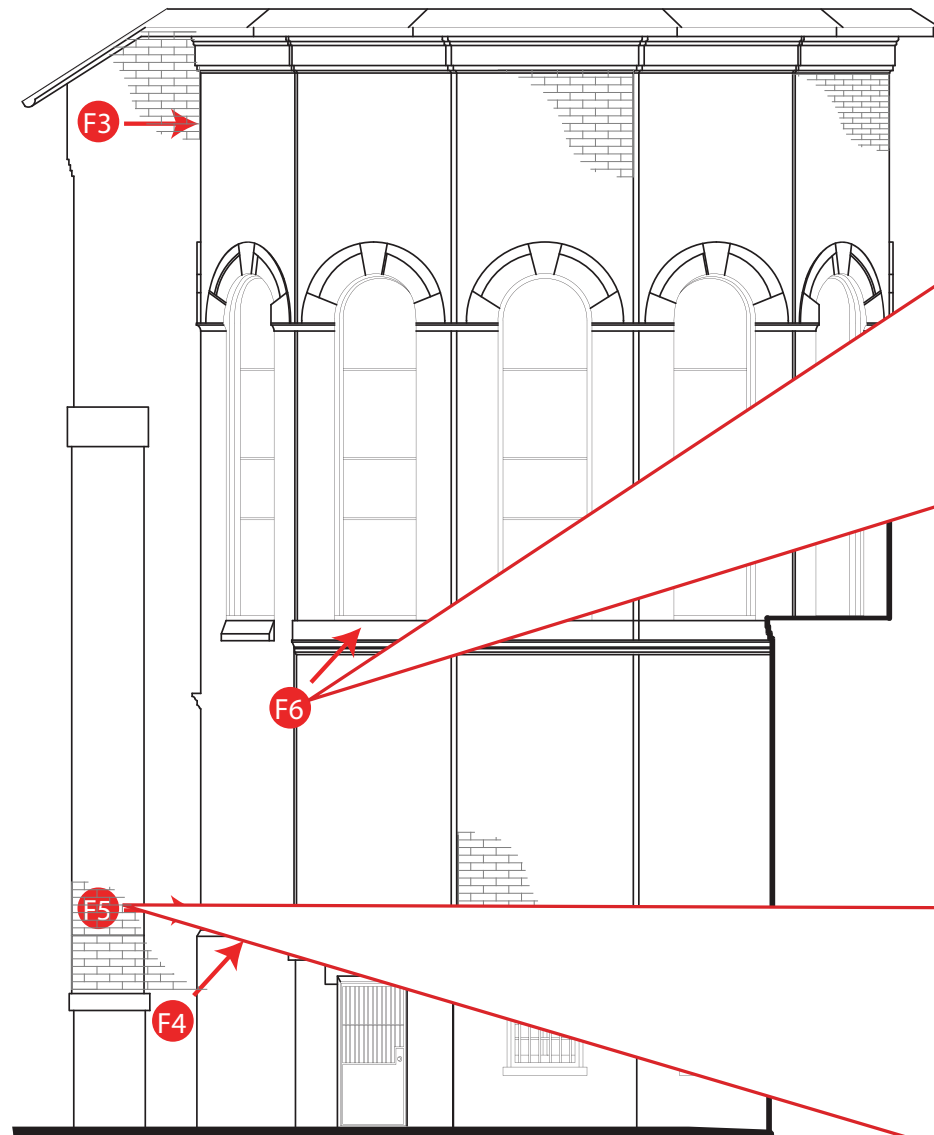


F2

# CHANCEL

## DETAILS:

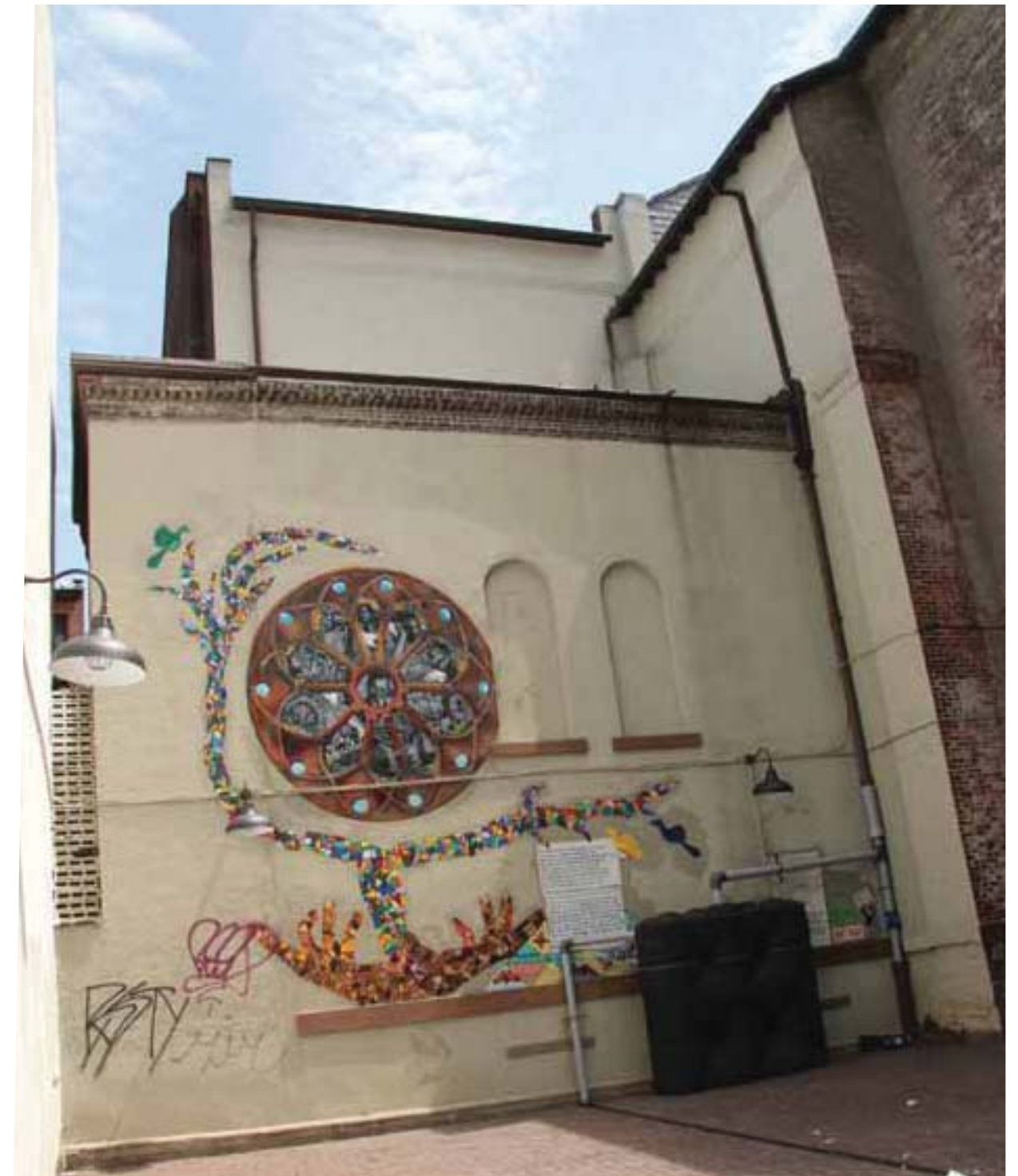
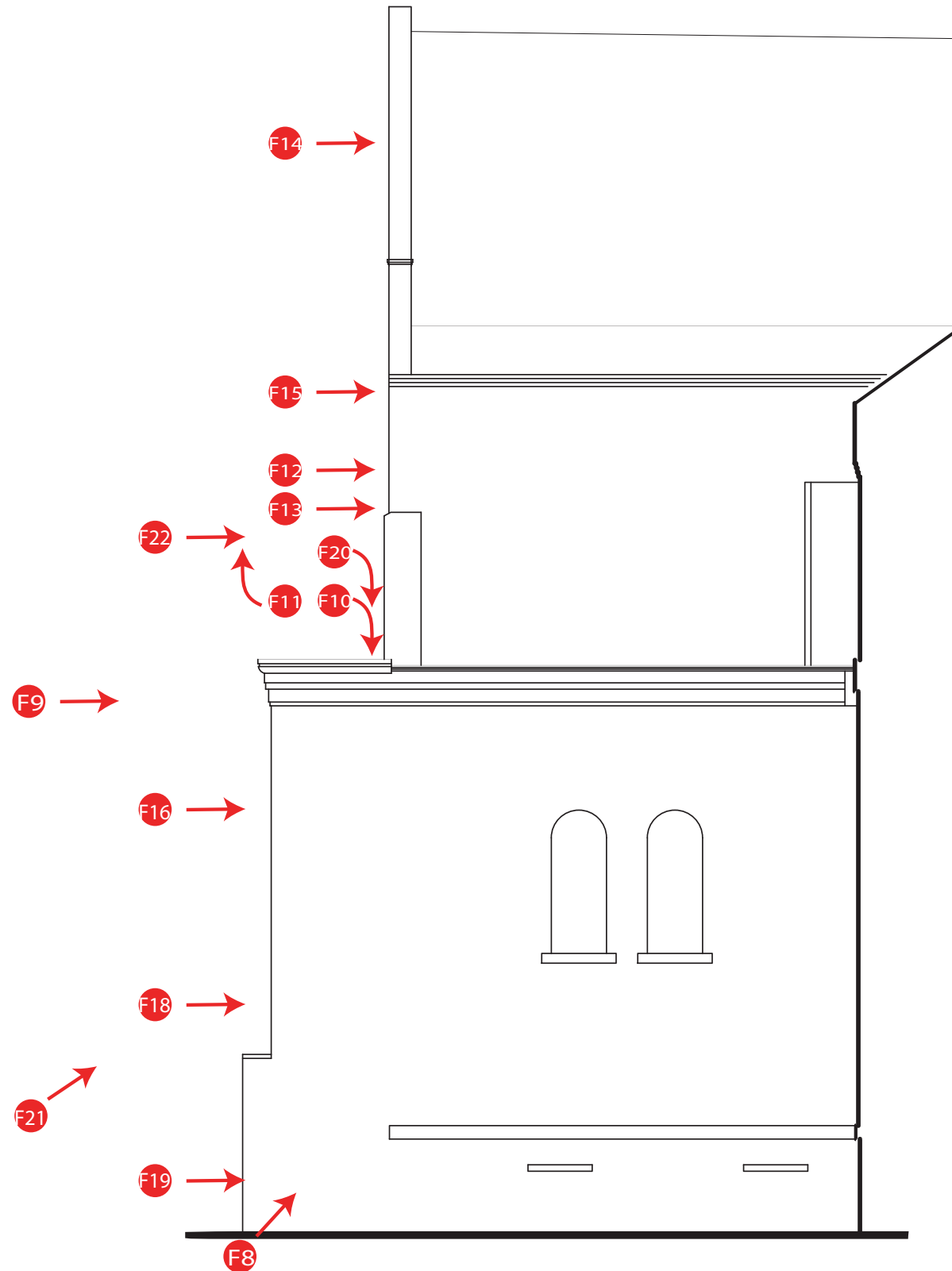
- F5 Rebuild Areas of Deteriorated Brownstone
- F6 Patch Brownstone to Match Original



# NORTH TRANSEPT

## MASONRY SCOPE OF WORK:

- Remove Graffiti



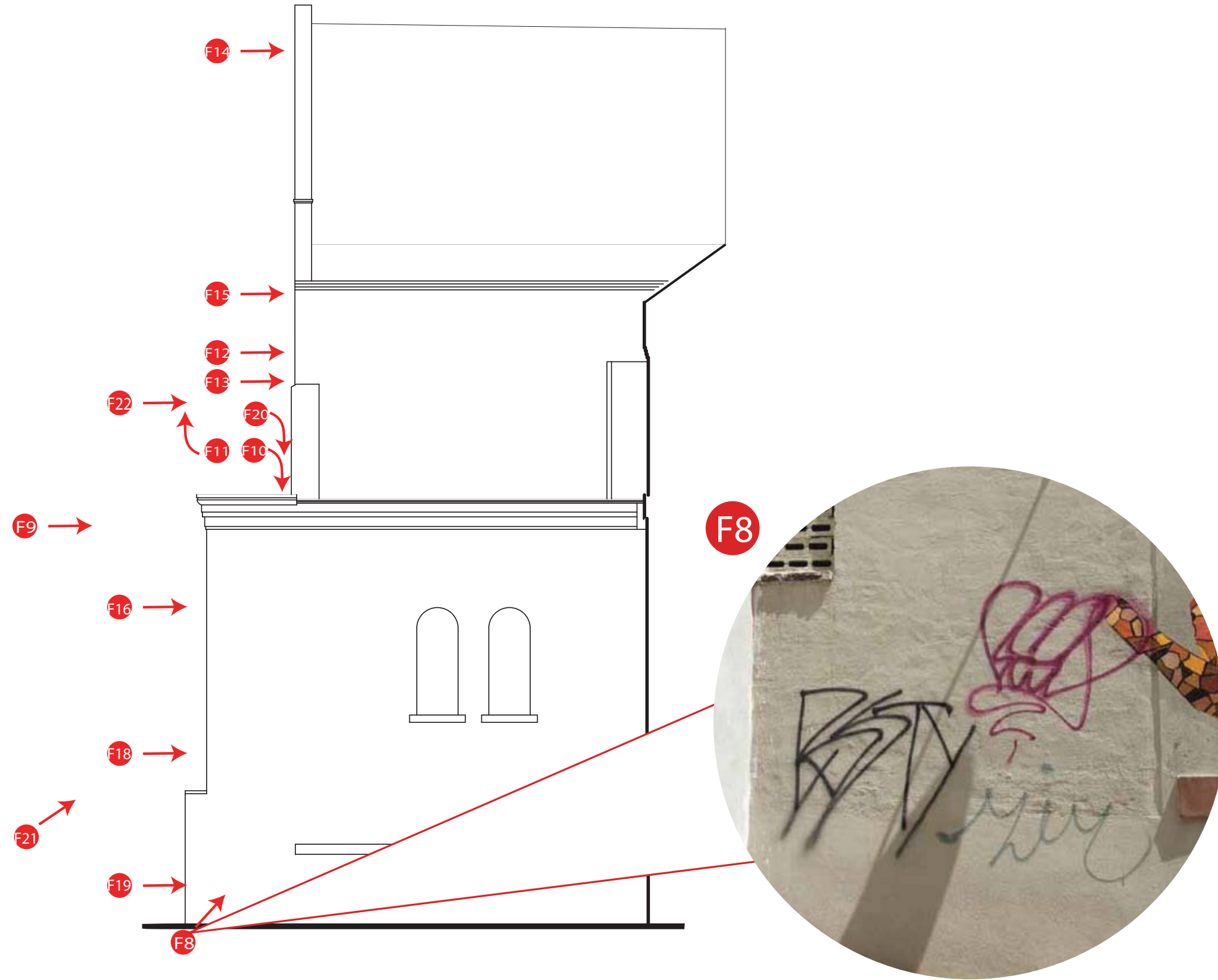
F7



# NORTH TRANSEPT

## DETAILS:

- F8 General Facade Cleaning/Remove Graffiti



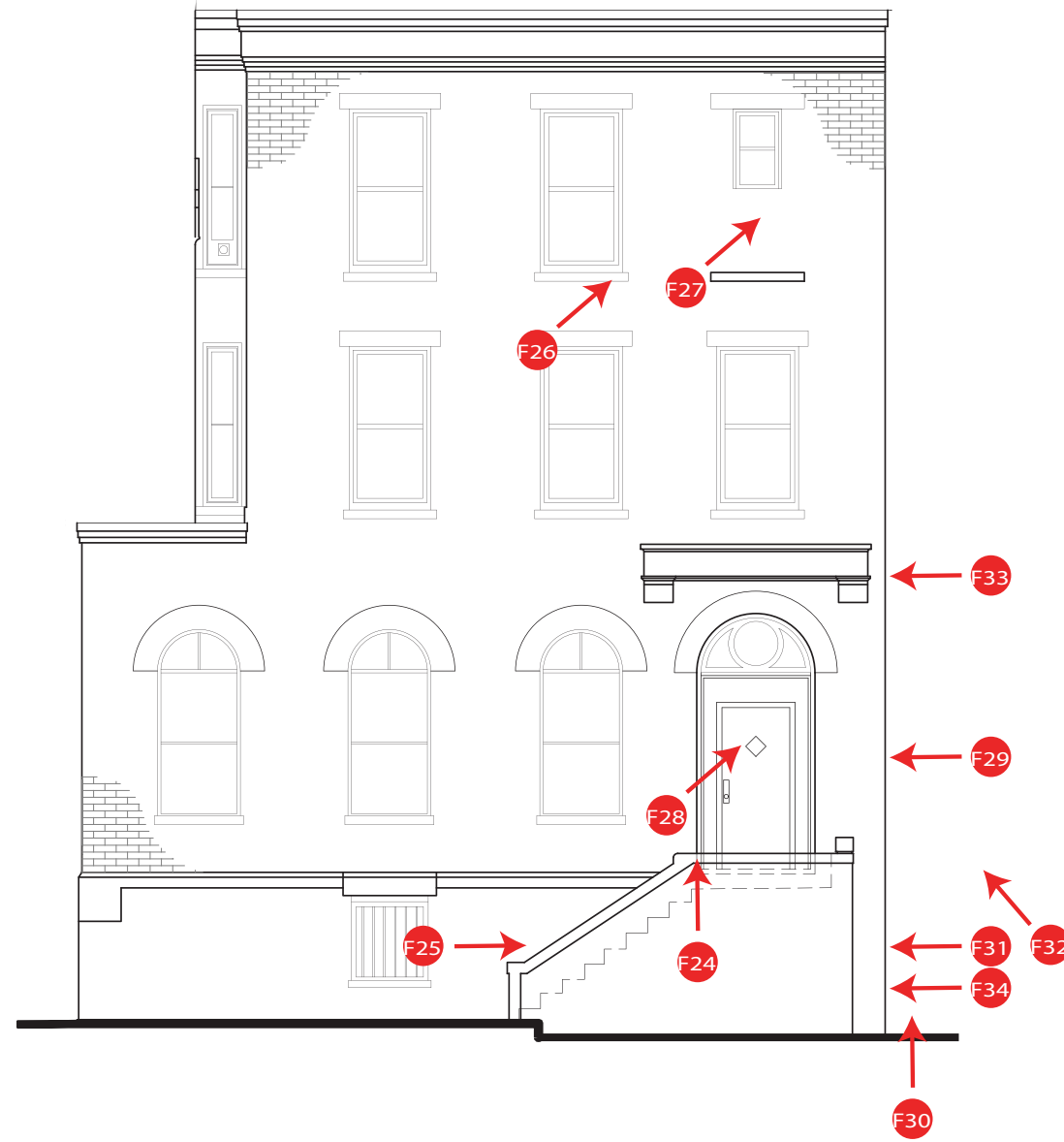
# RECTORY (Vanderbilt Avenue)

## MASONRY SCOPE OF WORK:

- Patch Brownstone Match Original
- Repair Cracks in Brownstone

## DOOR SCOPE OF WORK:

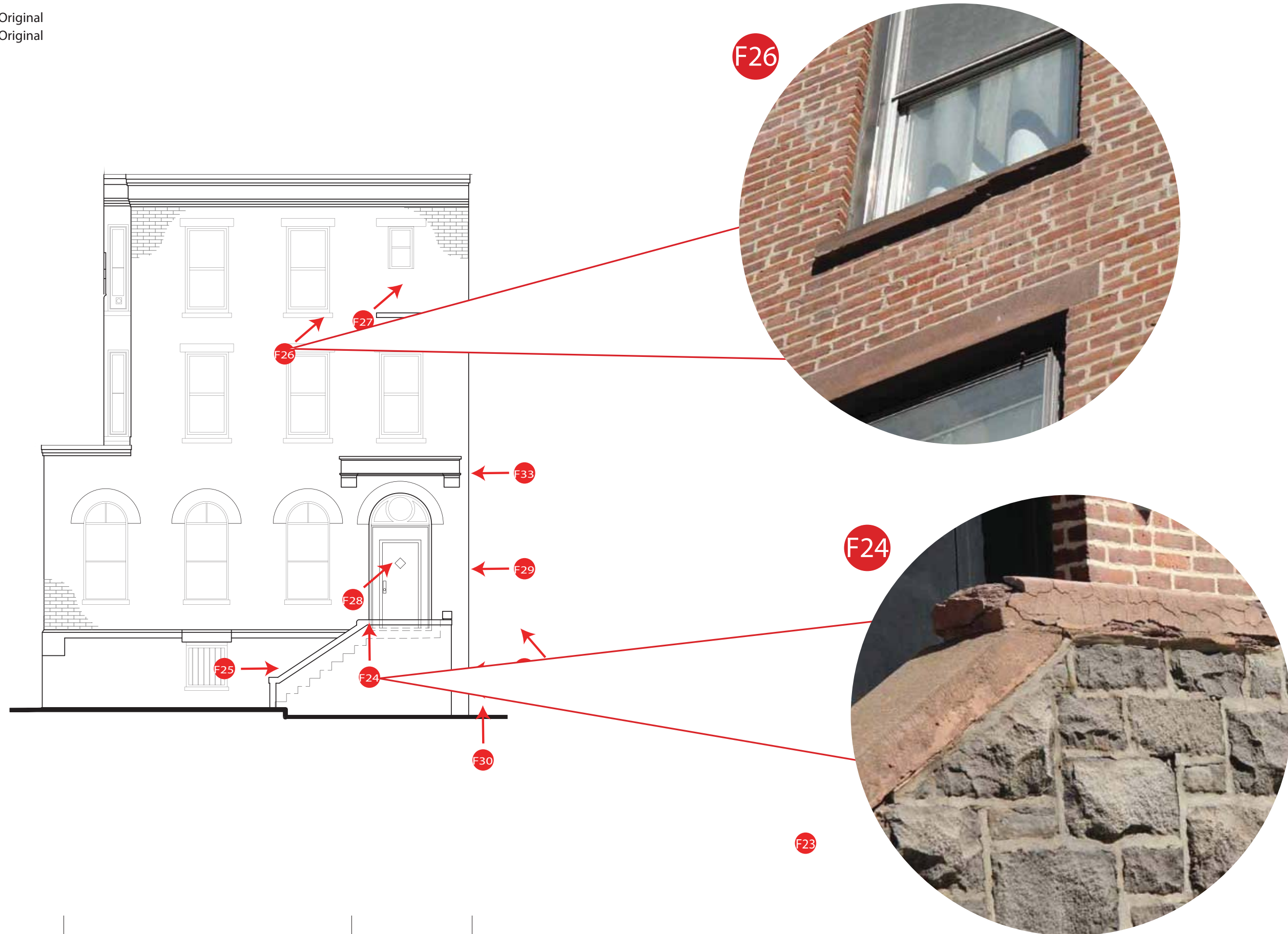
- Replace Metal Door with Historically Appropriate Wood Door



# RECTORY

## DETAILS:

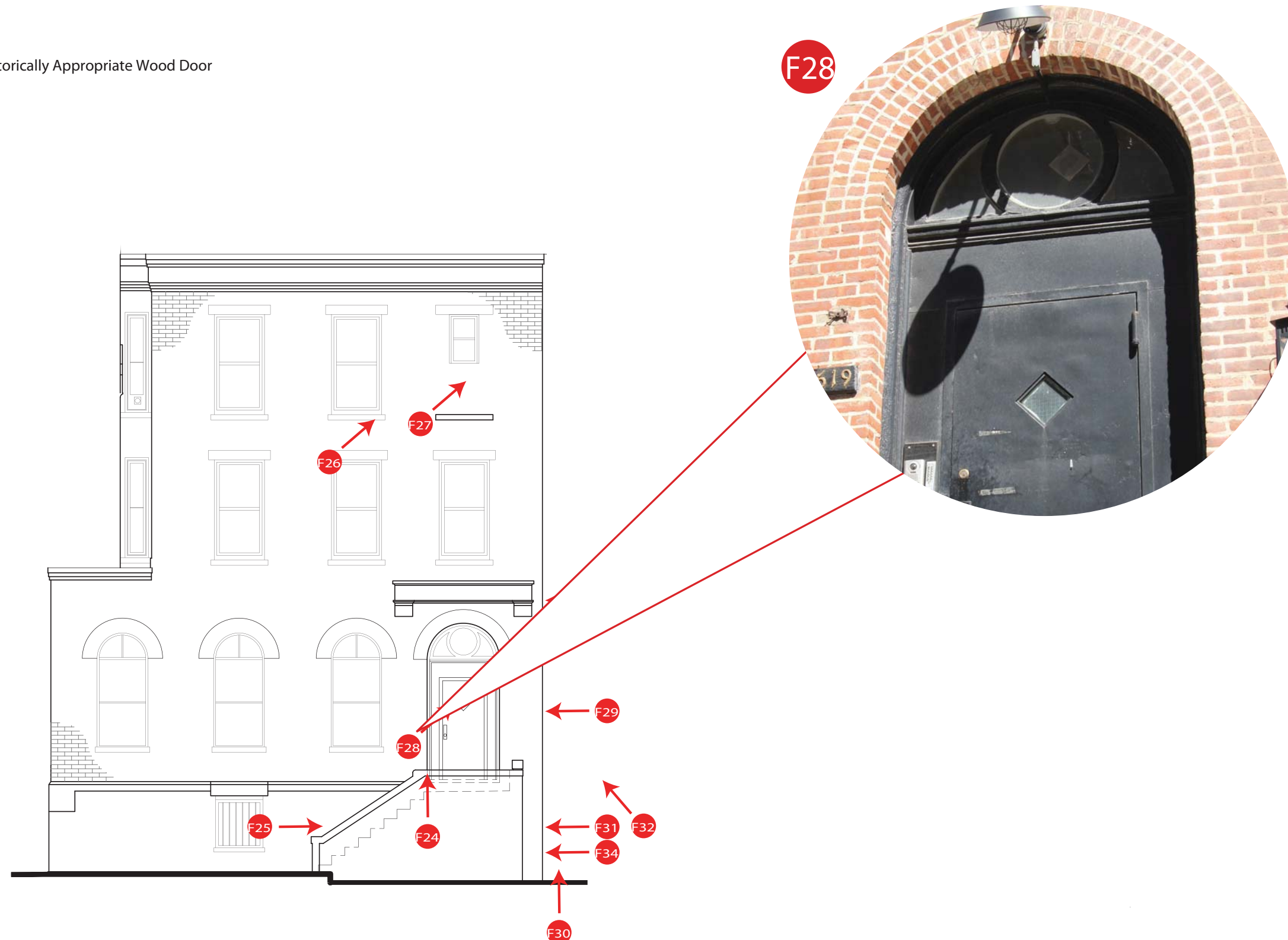
- F24 Patch Brownstone to Match Original
- F26 Patch Brownstone to Match Original

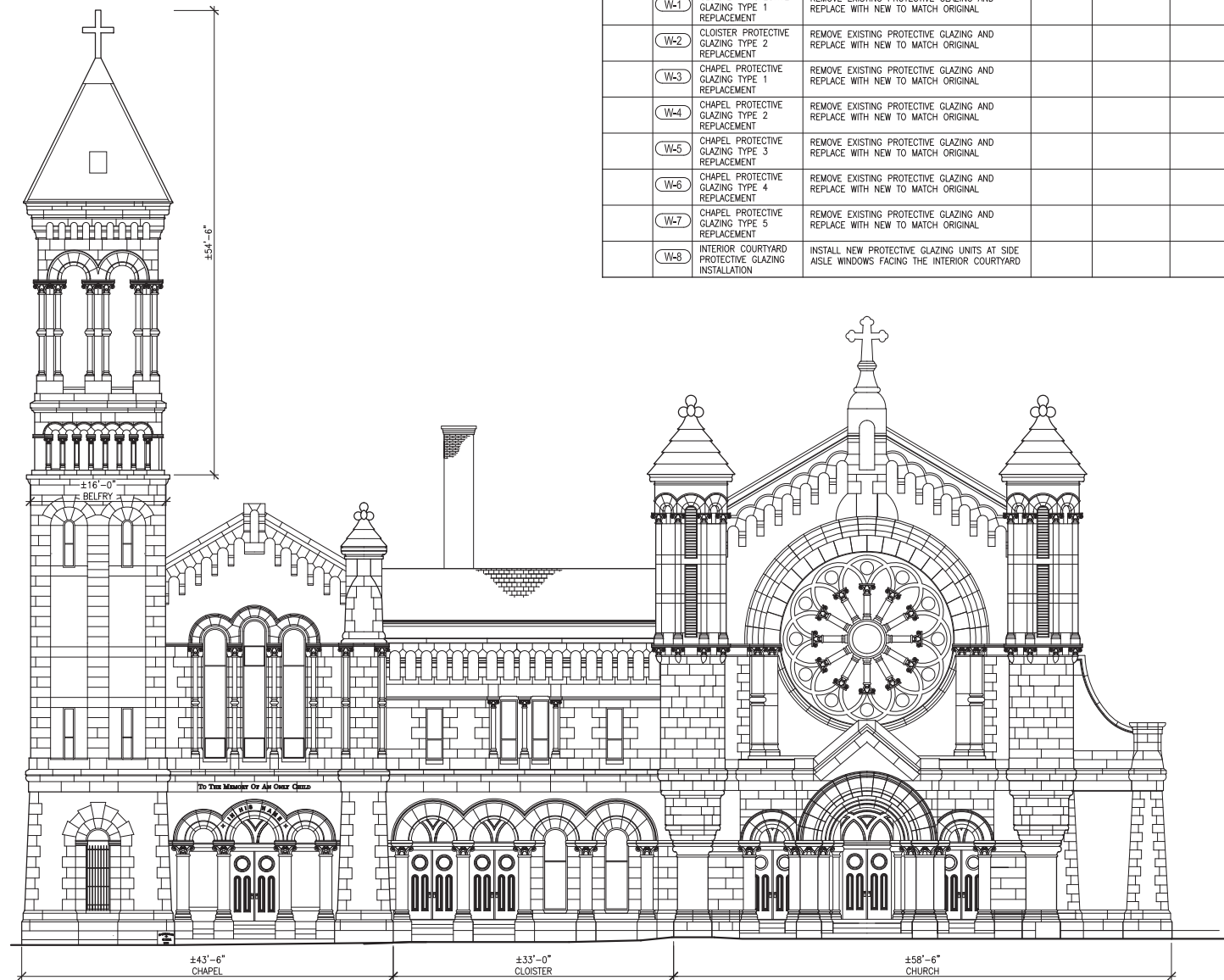


# RECTORY

## DETAILS:

- F28 Replace Metal Door with Historically Appropriate Wood Door



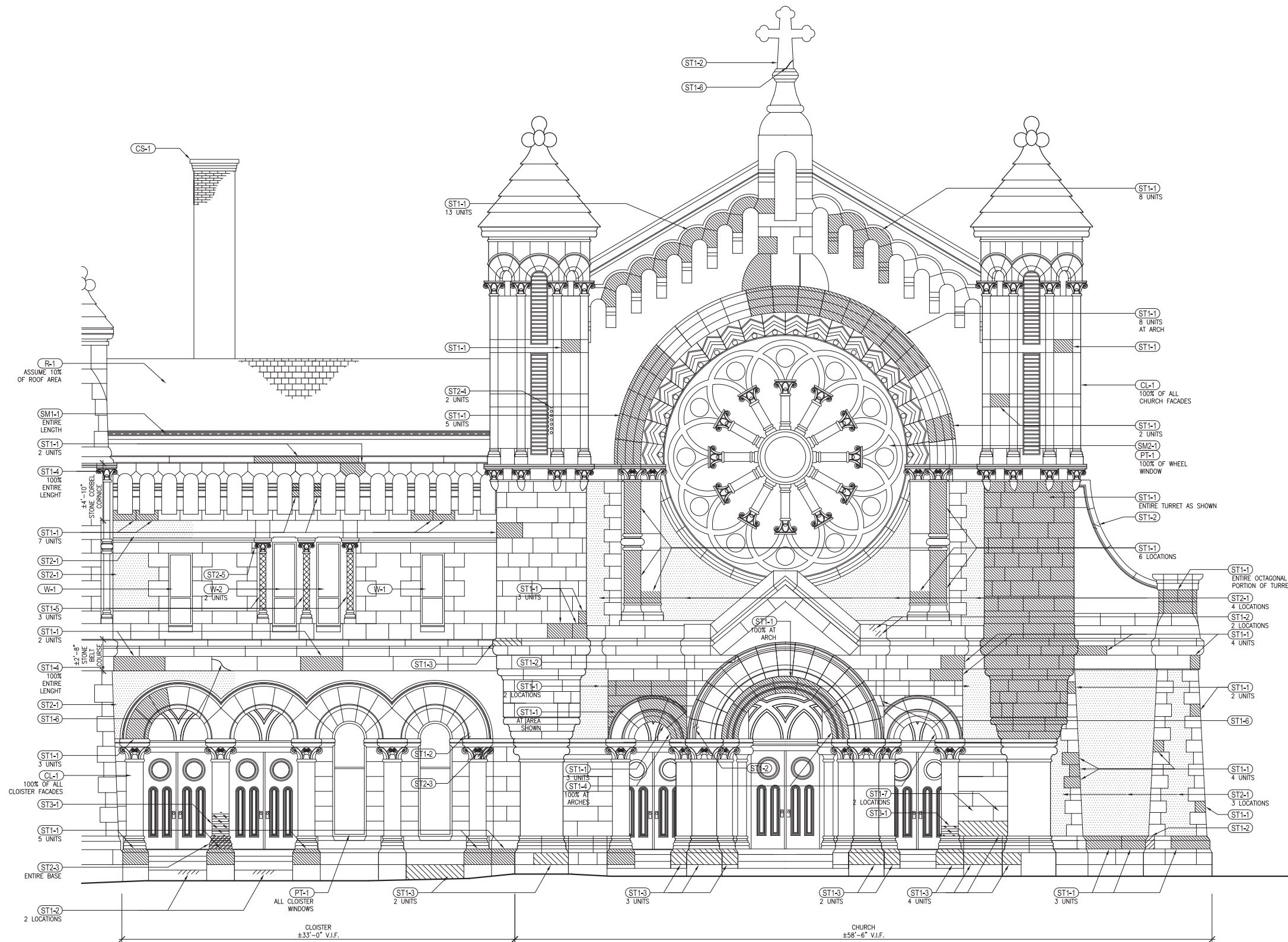


1 CHURCH OF ST. LUKE & ST. MATTHEW ELEVATION KEY  
 G-004 SCALE: 1/8"=1'-0"

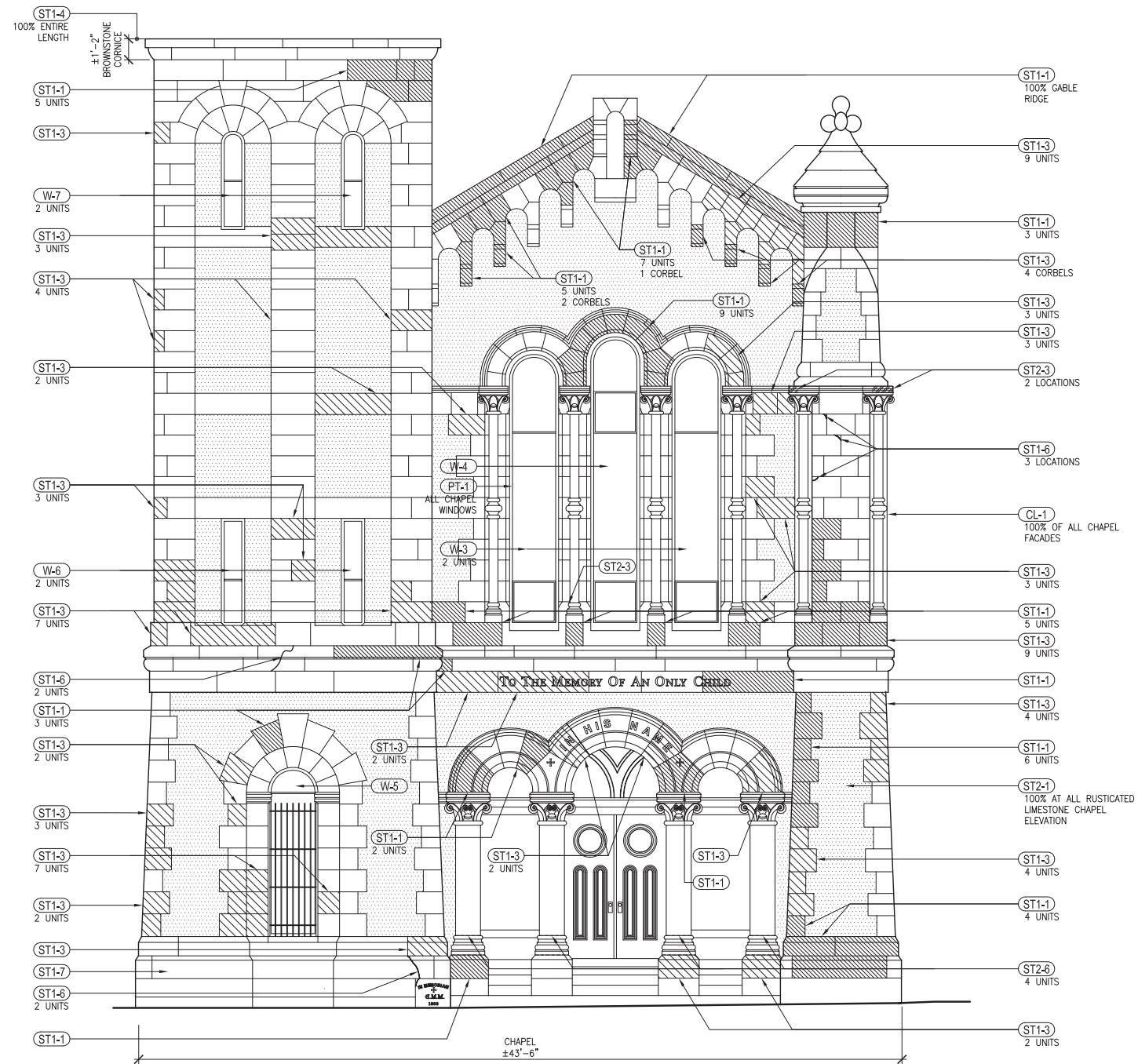
WOOD (WD)					
(WD-1)	BEADED BOARD WOOD CEILING REPAIR	INSPECT AND REPAIR BEADED BOARD WOOD CEILING OF BELFRY AS REQUIRED.			
(WD-2)	WOOD WINDOW SILL REPLACEMENT	REPLACE DAMAGED AND DETERIORATED WOOD WINDOW SILL WITH NEW TO MATCH ORIGINAL.			
(WD-3)	WOOD DOOR REPLACEMENT	REPLACE EXISTING HOLLOW METAL DOOR WITH NEW HISTORIC STYLE WOOD DOOR SET WITHIN EXISTING HISTORIC WOOD FRAME. DESIGN TO BE PROVIDED BY THE ARCHITECT.			
(WD-4)	WOOD FRAMED FLOOR REPAIR	STRUCTURAL ENGINEER TO INSPECT EXISTING WOOD FRAMED FLOOR OF BELFRY. REPAIR OR REPLACE AS PER ENGINEER'S RECOMMENDATIONS.			
ROOFING (R)					
(R-1)	SLATE SHINGLE REPLACEMENT	INSPECT ENTIRE ROOF FOR DAMAGED OR IMPROPERLY INSTALLED SLATE SHINGLES. REPLACE SHINGLES AS NEEDED, INCLUDING REPLACING UNDERLAYMENT AS REQUIRED. SLATE TO MATCH HISTORIC GRAY SLATE ON CLOISTER ROOF.			073126
(R-2)	NEW FLUID-APPLIED MEMBRANE ROOF	INSTALL NEW COLD FLUID APPLIED ROOF SYSTEM			
GLAZING (GZ)					
(GZ-1)	STAINED GLASS WINDOW REPAIR AND CONSERVATION	INSPECT DAMAGED STAINED GLASS WINDOW WITH STAINED GLASS RESTORATION SPECIALIST. SCOPE OF REPAIR/CONSERVATION WORK TO BE DETERMINED BASED ON FINDINGS			
(GZ-2)	GLAZING PANEL REPLACEMENT	REPLACE MISSING GLASS PANEL WITH NEW TO MATCH ORIGINAL			
(GZ-3)	STAINED GLASS IN-SITU REPAIR	REPAIR STAINED GLASS WINDOW IN SITU IN ORDER TO RESTORE FULL OPERABILITY AND RE-LEAD AS REQUIRED. SEE FEMENELLA & ASSOCIATES REPORT FOR SPECIFIC SCOPE OF WORK PER WINDOW.			
PROTECTIVE GLAZING (W)					
(W-1)	CLOISTER PROTECTIVE GLAZING TYPE 1 REPLACEMENT	REMOVE EXISTING PROTECTIVE GLAZING AND REPLACE WITH NEW TO MATCH ORIGINAL			
(W-2)	CLOISTER PROTECTIVE GLAZING TYPE 2 REPLACEMENT	REMOVE EXISTING PROTECTIVE GLAZING AND REPLACE WITH NEW TO MATCH ORIGINAL			
(W-3)	CHAPEL PROTECTIVE GLAZING TYPE 1 REPLACEMENT	REMOVE EXISTING PROTECTIVE GLAZING AND REPLACE WITH NEW TO MATCH ORIGINAL			
(W-4)	CHAPEL PROTECTIVE GLAZING TYPE 2 REPLACEMENT	REMOVE EXISTING PROTECTIVE GLAZING AND REPLACE WITH NEW TO MATCH ORIGINAL			
(W-5)	CHAPEL PROTECTIVE GLAZING TYPE 3 REPLACEMENT	REMOVE EXISTING PROTECTIVE GLAZING AND REPLACE WITH NEW TO MATCH ORIGINAL			
(W-6)	CHAPEL PROTECTIVE GLAZING TYPE 4 REPLACEMENT	REMOVE EXISTING PROTECTIVE GLAZING AND REPLACE WITH NEW TO MATCH ORIGINAL			
(W-7)	CHAPEL PROTECTIVE GLAZING TYPE 5 REPLACEMENT	REMOVE EXISTING PROTECTIVE GLAZING AND REPLACE WITH NEW TO MATCH ORIGINAL			
(W-8)	INTERIOR COURTYARD PROTECTIVE GLAZING INSTALLATION	INSTALL NEW PROTECTIVE GLAZING UNITS AT SIDE AISLE WINDOWS FACING THE INTERIOR COURTYARD			

RESTORATION AND REPAIR SCHEDULE

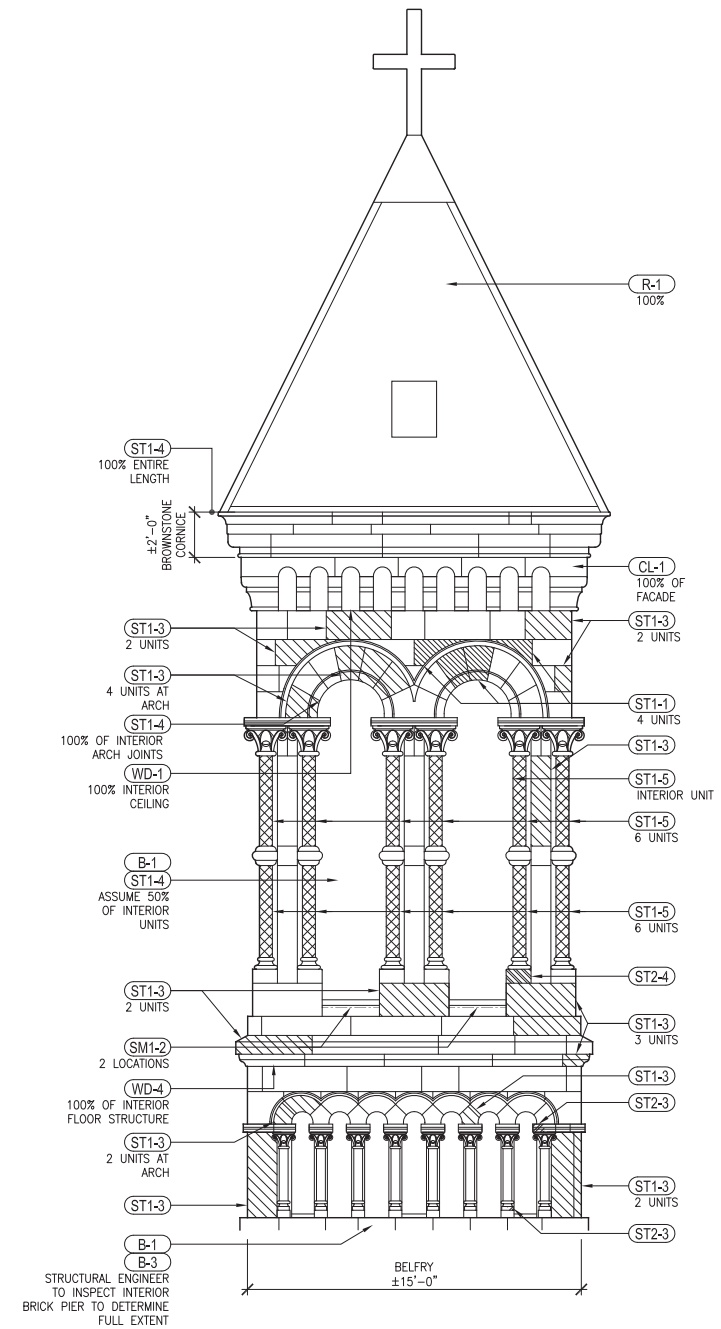
SYMBOL	TAG	ITEM	TREATMENT	DWG. REF.	PHOTO REF.	SPEC. REF.	NOTES
GENERAL FACADE CLEANING (CL)							
(CL-1)		FACADE CLEANING	CLEAN FACADE ELEMENTS BASED ON RESULTS OF TESTING	N/A		040310	
(CL-2)		GRAFFITI REMOVAL	REMOVE GRAFFITI BASED ON RESULTS OF TESTING	N/A		040310	
BROWNSTONE (ST1)							
(ST1-1)		BROWNSTONE PATCH PATCHING - EROSION REPAIR	REPLACE AREAS OF EROSION WITH NEW COMPOSITE PATCH TO MATCH ORIGINAL TOOLING			040342	
(ST1-2)		BROWNSTONE PATCH PATCHING - MATERIAL LOSS REPAIR	REPLACE AREAS OF MATERIAL LOSS WITH NEW COMPOSITE PATCH TO MATCH ORIGINAL. REPLICATE ORIGINAL TOOLING AS REQUIRED.			040342	
(ST1-3)		BROWNSTONE INCOMPATIBLE PATCH REMOVAL	REMOVE AREAS OF INCOMPATIBLE PATCHING AND REPLACE WITH NEW COMPOSITE PATCH TO MATCH ADJACENT ORIGINAL BROWNSTONE. REPLICATE ORIGINAL TOOLING AS REQUIRED.			040342	
(ST1-4)		BROWNSTONE REPOINTING	REPOINT WITH MORTAR MATCHING ORIGINAL.			040343	
(ST1-5)		BROWNSTONE REPLACEMENT	REMOVE EXISTING DETERIORATED BROWNSTONE AND REPLACE WITH NEW TO MATCH ORIGINAL IN SIZE, SHAPE, APPEARANCE, AND TEXTURE.			040342	
(ST1-6)		BROWNSTONE CRACK REPAIR	REPAIR CRACK WITH COMPOSITE MORTAR PATCH. MATCH ADJACENT BROWNSTONE COLOR & TOOLING.			040342	
(ST1-7)		FERROUS MATERIAL REMOVAL FROM BROWNSTONE	REMOVE EXISTING FERROUS MATERIAL EMBEDDED WITHIN BROWNSTONE. DETERGENT CLEAN BROWNSTONE UNIT TO REMOVE STAINING			040342	
(ST1-8)		BROWNSTONE SILL COURSE REPLACEMENT	REMOVE EXISTING DETERIORATED BROWNSTONE SILL COURSE AND REPLACE WITH NEW TO MATCH EXISTING IN SIZE, SHAPE, PROFILE, AND TEXTURE. SHORE AS REQUIRED.			040342	
SANDSTONE (ST2)							
(ST2-1)		SANDSTONE COATING REMOVAL AND REPOINTING	REMOVE EXISTING COATING ON SANDSTONE SURFACE BASED ON TESTING TO EXPOSE ORIGINAL COLOR AND TEXTURE. REPOINT JOINTS 100%.			040343 040310	
(ST2-2)		RUSTICATED SANDSTONE EROSION REPAIR	CHIP FLAKING SANDSTONE BACK TO SOUND STONE. IF APPROPRIATE PATCH STONE TO MATCH ORIGINAL RUSTICATED APPEARANCE			040342	
(ST2-3)		SANDSTONE PATCH PATCHING - MATERIAL LOSS REPAIR	REPLACE AREAS OF MATERIAL LOSS WITH NEW COMPOSITE PATCH TO MATCH ORIGINAL. REPLICATE ORIGINAL TOOLING OR PROFILES AS REQUIRED.			040342	
(ST2-4)		SANDSTONE INCOMPATIBLE PATCH REMOVAL	REMOVE AREAS OF INCOMPATIBLE PATCHING AND REPLACE WITH NEW COMPOSITE PATCH TO MATCH ADJACENT. REPLICATE ORIGINAL TOOLING AS REQUIRED.			040342	
(ST2-5)		SANDSTONE CRACK REPAIR	REPAIR CRACK WITH COMPOSITE MORTAR PATCH. MATCH ADJACENT SANDSTONE COLOR & TOOLING.			040342	
(ST2-6)		SANDSTONE COLUMN BASE REPOINTING	REMOVE EXISTING MORTAR AND REPOINT WITH MORTAR MATCHING ORIGINAL AT TOP AND BOTTOM JOINTS OF SANDSTONE COLUMN BASE			040343	
(ST2-6)		SANDSTONE COLUMN BASE REPLACEMENT	REMOVE EXISTING DETERIORATED SANDSTONE COLUMN BASE ELEMENT IN SIZE, SHAPE, APPEARANCE, AND TEXTURE			040342	
(ST2-7)		SANDSTONE COLUMN ELEMENT REPLACEMENT	REMOVE EXISTING DETERIORATED SANDSTONE COLUMN ELEMENT IN SIZE, SHAPE, APPEARANCE, AND TEXTURE			040342	
GRANITE (ST3)							
(ST3-1)		GRANITE PATCHING - MATERIAL LOSS REPAIR	REPLACE AREAS OF MATERIAL LOSS WITH NEW COMPOSITE PATCH TO MATCH ORIGINAL. REPLICATE ORIGINAL TOOLING AND PROFILES AS REQUIRED.			040342	
CAST STONE (CS)							
(CS-1)		CHIMNEY COPING STONE REPLACEMENT	REMOVE EXISTING CHIMNEY COPING STONES AND REPLACE WITH NEW CAST STONE COPING STONES TO MATCH ORIGINAL IN SIZE, SHAPE, AND PROFILE			047200	
BRICK (B)							
(B-1)		BRICK REPOINTING	REPOINT EXISTING BRICK MORTAR JOINTS TO MATCH ORIGINAL. ASSUME 60% OF FACADE INCLUSIVE OF LOCATED AREAS INDICATED ON DRAWINGS			040323	
(B-2)		BRICK CRACK REPAIR	REPLACE CRACKED BRICK UNIT(S) TO MATCH ORIGINAL			040322	
(B-3)		MISCELLANEOUS BRICK REPLACEMENT	REPLACE DAMAGED OR MISSING BRICK UNIT(S) TO MATCH ORIGINAL			040322	
(B-4)		PARGING REMOVAL AT BRICK	REMOVE LOOSE PARGING VIA MECHANICAL MEANS TO EXPOSE BRICK FACE				
CONCRETE (C)							
(C-1)		CONCRETE SLAB REPLACEMENT	REMOVE EXISTING CONCRETE SLAB IN INTERIOR COURTYARD AND REPLACE WITH NEW 6" THICK CONCRETE SLAB. PITCH TO DRAIN				
STUCCO (S)							
(S-1)		ONE OR TWO-COAT STUCCO REPLACEMENT	REMOVE AND REPLACE LOOSE, CRACKED, OR BLISTERED STUCCO AT INTERIOR COURTYARD WALL			092400	
SHEET METAL/COPPER (SM1)							
(SM1-1)		GUTTER REPLACEMENT AT CLOISTER ROOF	REMOVE EXISTING GUTTER & INSTALL COPPER GUTTER, INCLUDING NEW DRAIN OUTLETS AND GUTTER SCREENS. MATCH EXISTING PROFILES				
(SM1-2)		BELFRY LEDGE FLASHING INSTALLATION	INSTALL NEW INFILL SUBSTRATE, PITCHED TO DRAIN, AND COPPER FLASHING WITH DRIP EDGE AT JUNCTURE OF EXTERIOR STONE AND BELFRY FLOOR				
(SM1-3)		COPPER CROSS REPLACEMENT	REMOVE EXISTING DAMAGED SHEET METAL CROSS AT BELFRY AND INSTALL NEW COPPER CROSS. REPLICATE ORIGINAL.				
(SM1-4)		COPPER LEADER REPLACEMENT	REMOVE EXISTING LEADER AND REPLACE WITH NEW COPPER LEADER TO MATCH ORIGINAL				
(SM1-5)		NEW COPPER LEADER	INSTALL NEW COPPER LEADER				
(SM1-6)		COPPER GUTTER REPLACEMENT	INSTALL NEW COPPER GUTTER INCLUDING NEW DRAIN OUTLETS				
(SM1-7)		COPPER GUTTER INSPECTION AND DEBRIS REMOVAL	INSPECT EXISTING COPPER GUTTER AND REMOVE ANY DEBRIS FOUND TO ENSURE PROPER WATER FLOW AND DRAINAGE				
SHEET METAL/STEEL (SM2)							
(SM2-1)		SHEET METAL WHEEL WINDOW PRIME & PAINTING	SCRAPE, PRIME, & PAINT SHEET METAL WHEEL WINDOW			040310	
PAINT (PT)							
(PT-1)		WINDOW FRAME PAINTING	PAINT EXISTING WOOD OR SHEET METAL WINDOW FRAME WITH BENJAMIN MOORE "BROWNSTONE CSP-240"				



1 CLINTON AVENUE ELEVATION - CHURCH AND CLOISTER  
 A-200 SCALE: 1/4" = 1'-0"



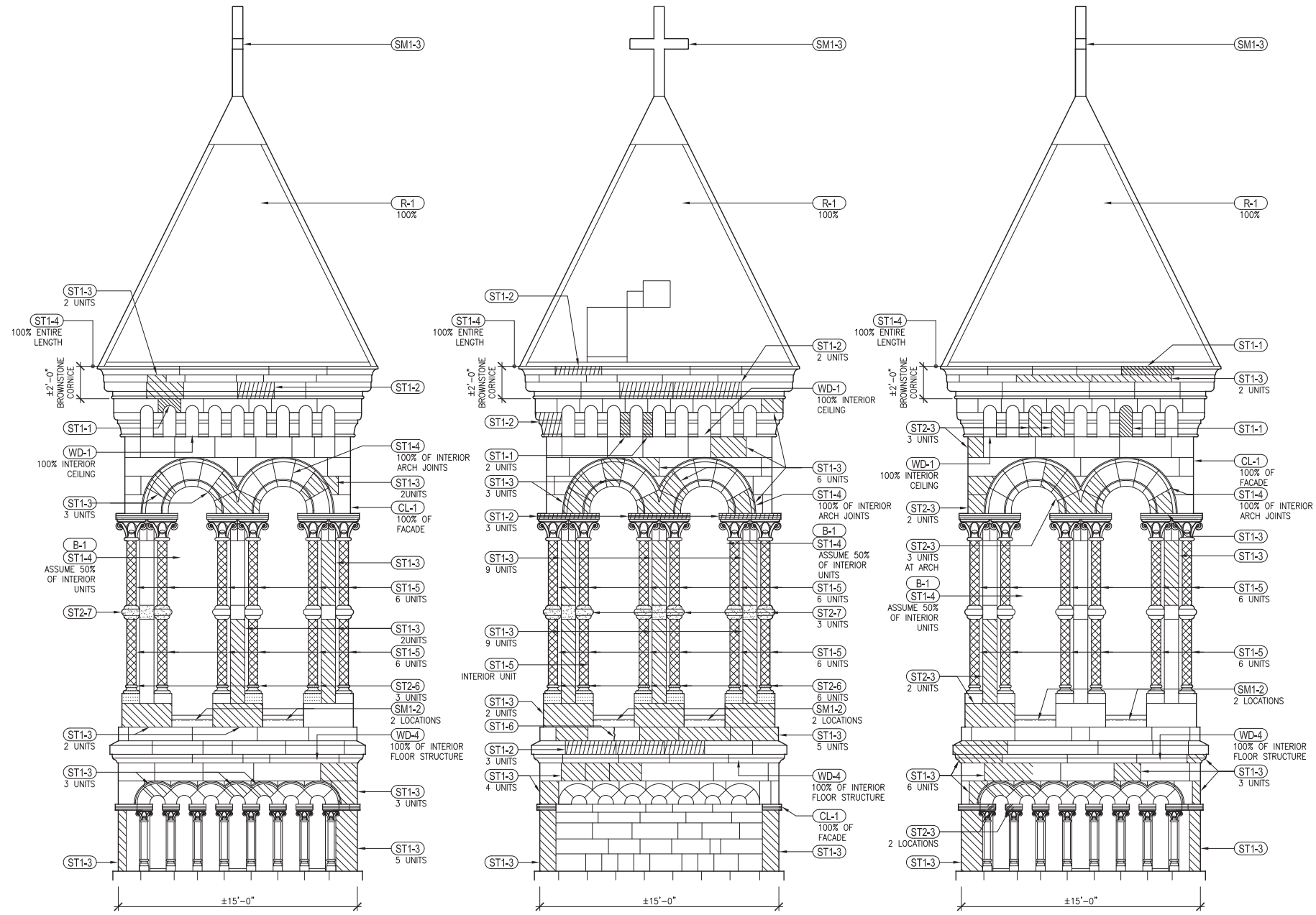
1 CLINTON AVENUE ELEVATION - CHAPEL  
A-201 SCALE: 1/4"=1'-0"



2 BELFRY - EAST ELEVATION  
A-201 SCALE: 1/4"=1'-0"



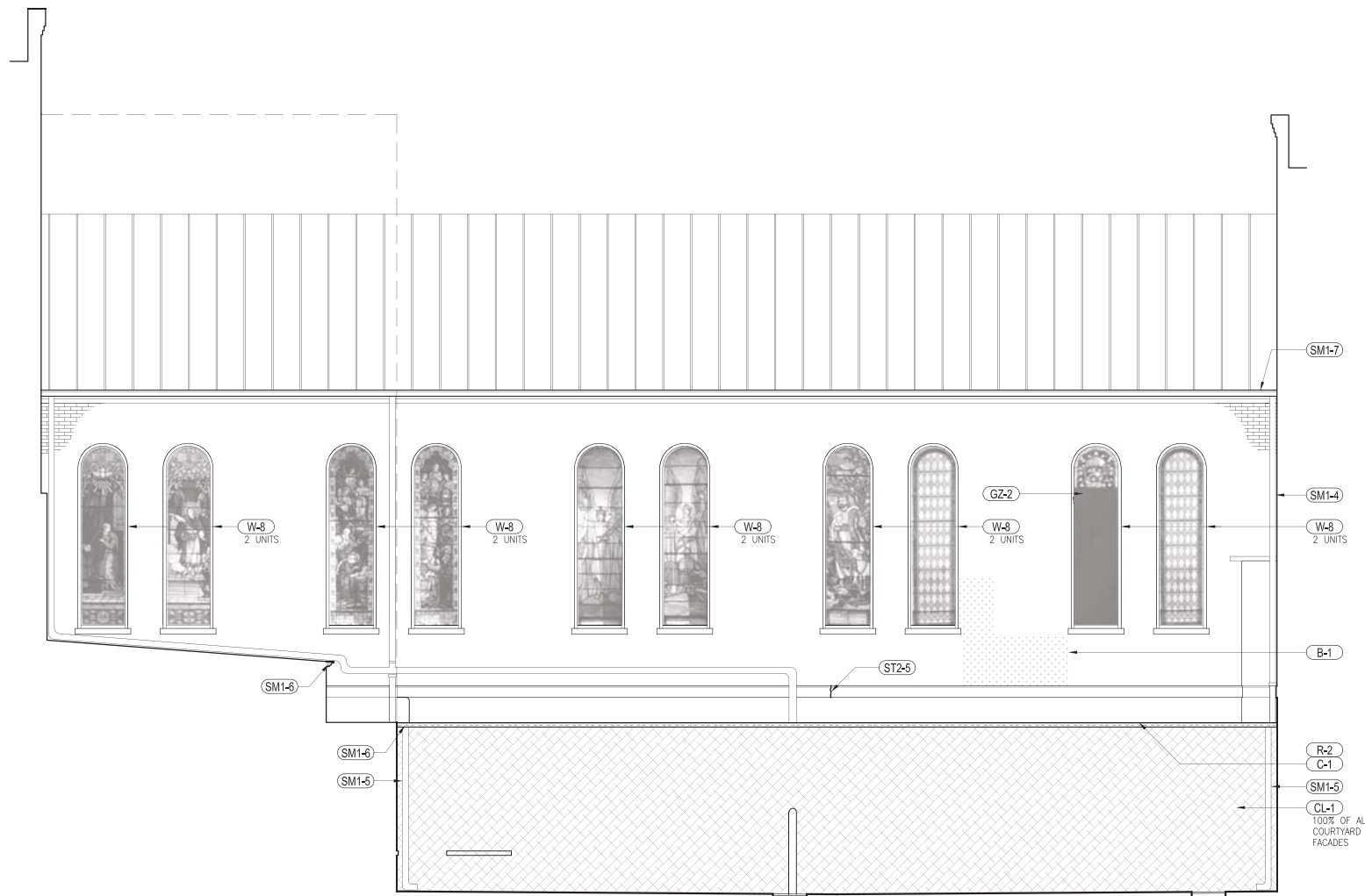




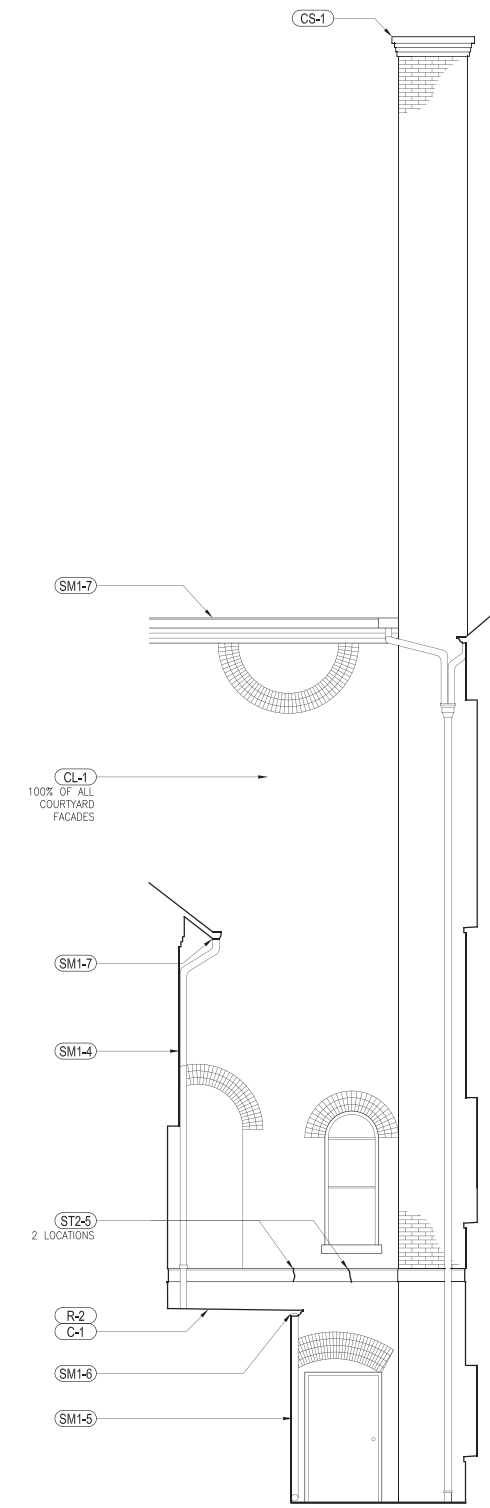
1 BELFRY - SOUTH ELEVATION  
A-203 SCALE: 1/4"=1'-0"

2 BELFRY - WEST ELEVATION  
A-203 SCALE: 1/4"=1'-0"

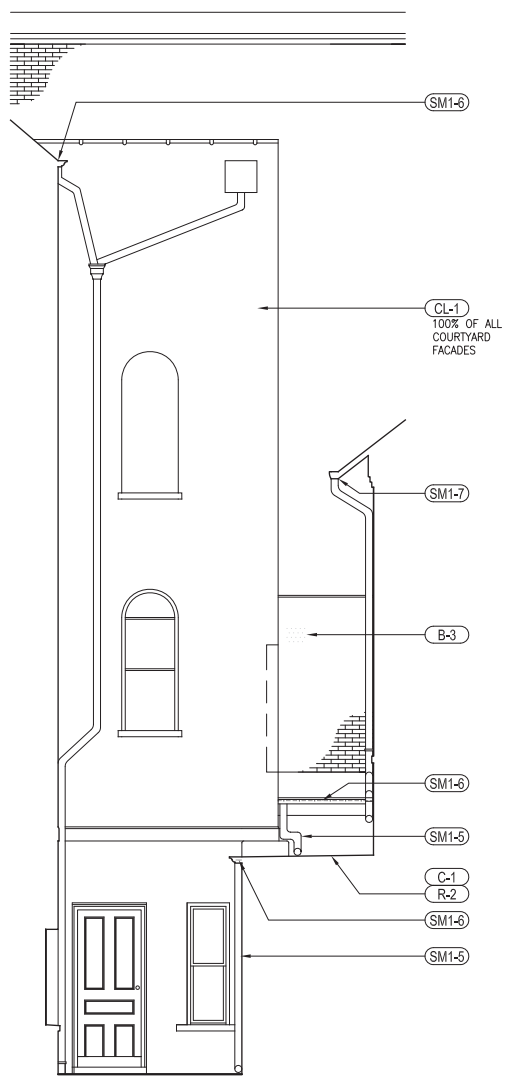
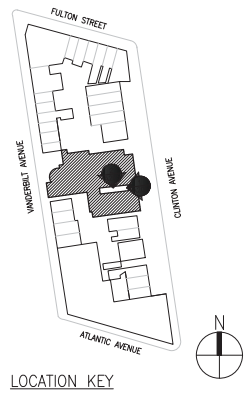
3 BELFRY - NORTH ELEVATION  
A-203 SCALE: 1/4"=1'-0"



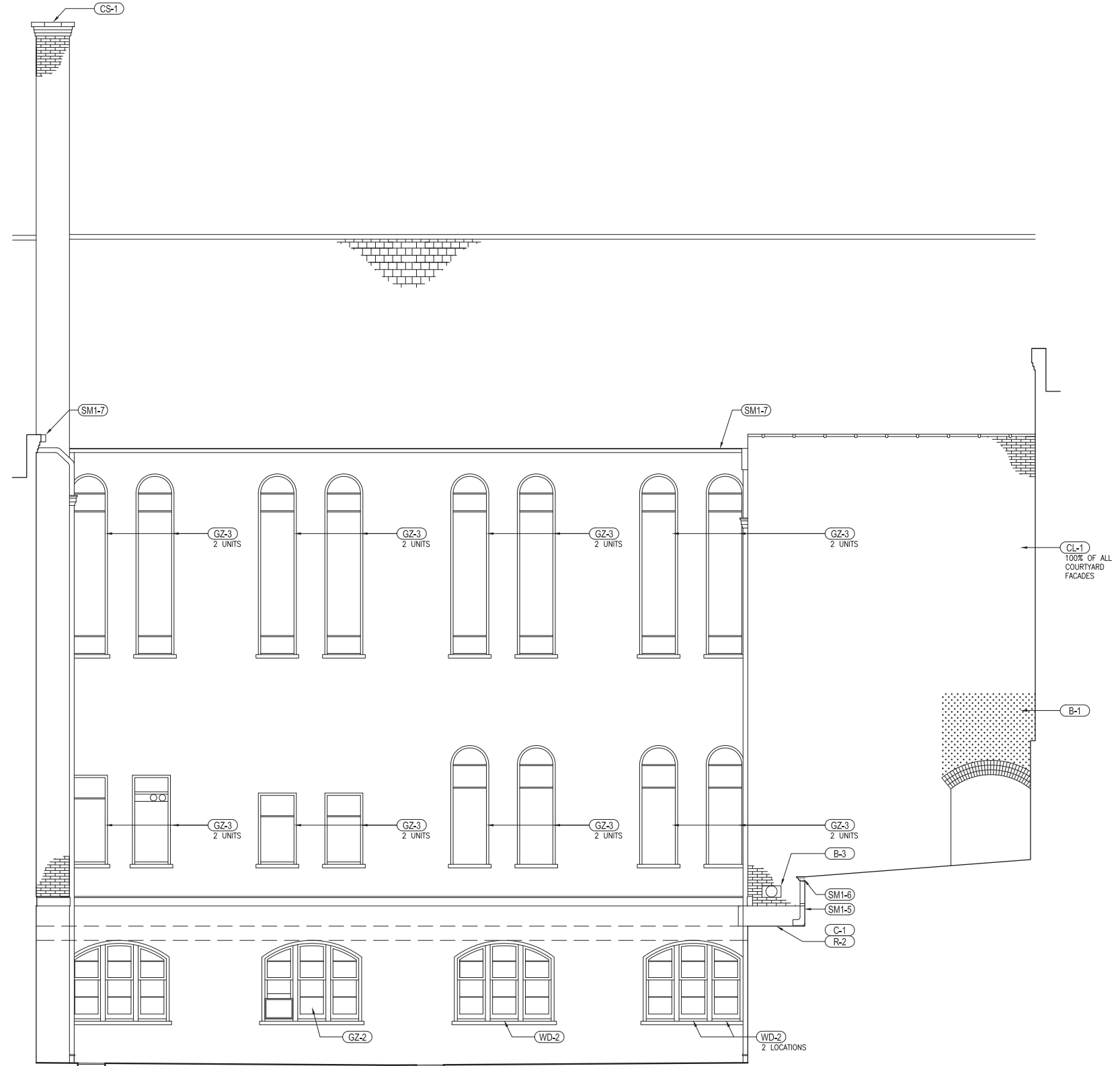
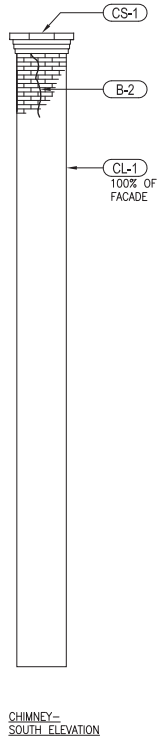
1 INTERIOR COURTYARD SOUTH ELEVATION  
A-204 SCALE: 1/4"=1'-0"



2 INTERIOR COURTYARD EAST ELEVATION  
A-204 SCALE: 1/4"=1'-0"



1 INTERIOR COURTYARD WEST ELEVATION  
SCALE: 1/4"=1'-0"



2 INTERIOR COURTYARD NORTH ELEVATION  
SCALE: 1/4"=1'-0"



1 VANDERBILT AVENUE ELEVATION  
A-206 SCALE: 1/4"=1'-0"

**As-of-Right – 8 STORIES**

75' Max Base Height  
95' Max Building Height

*per 23-664, assuming a qualifying ground floor and 20% on-site affordable housing*

