



DEPARTMENT OF BUILDINGS

EXECUTIVE OFFICES
120 WALL STREET, NEW YORK, N. Y. 10005

CHARLES M. SMITH, Jr., R. A., Commissioner

September 4, 1986

GEORGE E. BERGER, P.E.
Assistant Commissioner
Building Construction
Special Projects

TO: BOROUGH SUPERINTENDENTS

FROM: George E. Berger, P.E.
Assistant Commissioner

SUBJECT: TEMPORARY CERTIFICATES OF OCCUPANCY
FOR HI-RISE CLASS "E" BUILDINGS

NOTE: Underscoring - indicates Modification and
Supplementation.

This memorandum modifies and supplements Item C of Directive No. 33/70 for the minimum requirement for the issuance of Certificates of Occupancy for Hi-Rise Class "E" Buildings.

C. Temporary Certificates of Occupancy for New Non-Residence Buildings.

Temporary Certificates of Occupancy may be issued for new non-residence buildings, provided there is compliance with the following items:

1. All required exits leading from the floors to be occupied to the ground floor and to the street must be completed including exit and directional signs, exit lights, lighting of exit facilities, phosphorescent exit signs and proper protection of all openings. Each floor to be numbered within each stair enclosure and each stair to be lettered. This includes ramps for the use of persons in wheel chairs where they are required by the Code.
2. a) Standpipes, sprinkler and other fire protection systems for those portions of the building to be included on the Temporary Certificate of Occupancy where required, must be completed and must be available for use at all floors and spaces proposed to be occupied under the Temporary Certificate of Occupancy. Such systems or parts of systems shall be tested and accepted

prior to the issuance of a Temporary Certificate. The primary and auxiliary sources of water supply must be completed and must be ready for use. Floor numbering signs, Elevator Landing Signs, Stair Signs, and Re-entry Signs must be in place on occupied floors.

b) Floors below the highest occupied floor that are not covered by the Temporary Certificates of Occupancy - the Elevator Lobby must be protected by a sprinkler system looped around the core, or a 1-hour rated enclosure between the core area and the open floor with one sprinkler head on the unoccupied side of the enclosure. In addition, the stair doors at the floor must be protected by at least one sprinkler head each. The sprinkler must be connected to the water flow alarm and Class E Alarm System, and smoke detectors must be located at the top of each stair and elevator shaft. The above applies to all unoccupied floors below the highest occupied floor, including any unoccupied subgrade spaces.

c) Floors below the highest occupied floor that are not covered by the Temporary Certificate of Occupancy, when the plan is not of the central core type, shall have automatic sprinkler protection, at a minimum, installed in the vicinity of and connecting all required exits and elevator lobbies.

3. The core of the building including stair, elevator, ventilating and other shafts from stories to be occupied to the lowest level of the core must be completed. This includes all required enclosures. All openings on and below the highest floor to be occupied must be protected with the required protective assemblies as shown on the approved plans.

All shaft openings (electrical, utility, communication) shall be sealed with a 2-hour fire rated assembly between construction floors and occupied floors (seals to be removed only when actively working on shaft).

4. Ventilating, heating and where installed air conditioning systems shall be completed and the heating or air conditioning systems, depending on the season, must be operable for the floors to be included on a Temporary Certificate of Occupancy. All HVAC ducts shall comply with Code where they pierce rated construction (dampers, etc.).

Ventilation test reports and affidavits must have been filed and have been accepted for those portions of the building to be included on the Temporary Certificate of Occupancy.

5. All plumbing systems serving those portions of the building to be included on the Temporary Certificate of Occupancy must be completed and must have been tested and accepted prior to the issuance of the Temporary Certificate of Occupancy. The storm and sanitary drainage systems must be completed and connected to the public sewer system or to a private disposal system where this has been accepted on the approved plans. A gas card must have been issued prior to the issuance of a Temporary Certificate of Occupancy where gas service is provided. All temporary gas piping to be removed from Temporary Certificate of Occupancy floors and all floors below highest T.C.O. floor.

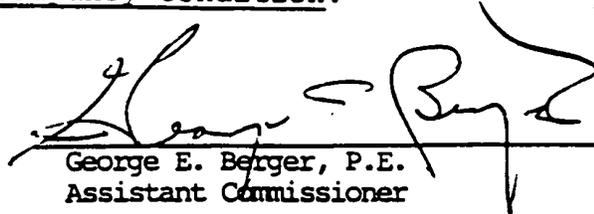
6. In addition to the three elevators required to be available for all occupied floors for which plans call for service by three or more elevators, other elevators may be designated construction elevators. Construction elevators shall be programmed to not stop at occupied floors. All elevator service to occupied floors to conform to Code and Local Law #5/73 and Local Law #16/84 (all elevators to have recall, 3 car firemen service). Tenant elevator service to occupied floors be programmed not to stop at construction floors. (Placing lobby keyed switch in "firemen service" position will override any other programming for car stops, but will not affect elevator circuits - RS-18 Rule 211-3C). Minor items such as inspection card frame and indicator light cover need not be completed. (This does not require more elevator service to be provided than is shown on the approved plans).

7. Electrical work, including lighting in public halls, corridors, stairs, lobbies, other public parts, and fire alarm systems if required must be substantially completed and must be in safe operating condition from highest floor with a Temporary Certificate of Occupancy down.

8. Any lobby or part of a lobby which provides access for the public to elevators or stairs serving those floors or spaces which are to be included on the Temporary Certificate of Occupancy must be substantially completed including finishing of floors, ceilings, and walls. Decorative wall finishing need not be completed for a Temporary Certificate of Occupancy. All openings to the lobby must be

provided with doors and such other protective assemblies as are shown on the approved plans.

9. Tenant changes shall not be required to be completed provided that where work is in progress plans for such changes have been filed and approved and permits have been issued. No work shall be started nor shall be in progress anywhere in the building unless a permit has been issued for such work.
10. There shall be no violation orders, of any nature, on file for any part of the building except that the Borough Superintendent may waive this requirement where the violation is not of a hazardous nature.
11. Floors containing construction offices, storage shanties, and material storage areas shall be fully sprinklered throughout. If the walls extend from the floor slab to ceiling slab above, sprinklers may be omitted within the office, shanty, or storage area. If the walls do not extend from slab to slab, sprinklers shall be provided both within and over the shanty. A shanty, office, or storage area located on a floor higher than 75 feet above grade must be of 1-hour rated incombustible materials or of metal, with sprinkler protection inside.
12. No Temporary Certificate of Occupancy shall be issued unless the fire protection plan per C26-124.1 takes cognizance of the Temporary Certificate of Occupancy condition.


George E. Berger, P.E.
Assistant Commissioner

GEB:RH:rmr

cc: Executive Staff
Chief Inspectors
Fire Department, Chief J. DeMeo
Industry
B.I.A.C.