

New NYC Construction Codes



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Office of Technical Certification & Research
(OTCR)

A Presentation to:
ICRI Metro NY Chapter
April 16, 2008



Unprecedented Partnership

- 400 professionals from every major stakeholder group in the City, including:
 - Architects & Engineers
 - Construction Industry
 - Labor
 - Real Estate
 - Government
- Working together for over 4 years





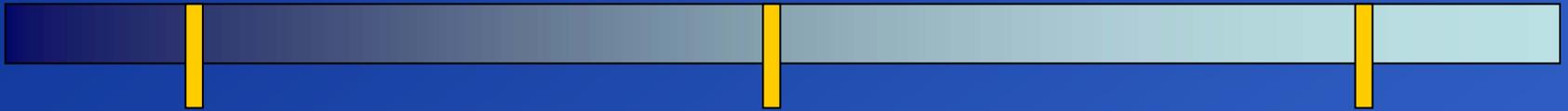
Local Law 33 of 2007

Signed on July 3, 2007





Time Line



Enactment

July

2007

Effective

July

2008

Mandated

July

2009



New NYC Construction Codes

- For new building construction – Alterations may choose after 7/1/2008
- Three-year revision cycle
- Local Law 33/07 Includes:
 - Building Code
 - Fuel Gas Code
 - Mechanical Code
 - Revised administrative & enforcement provisions
- Local Law 99/05, “the Blue Print Bill,” enacted the Plumbing Code and Administrative provisions



New York City Building Code Chapter Organization

2008 Building Code		1968 Building Code
Title 28-Administration (Including Plumbing Code's Chapter 1, Mechanical Code's Chapter 1, Fuel Gas Code's Chapter 1)		Title 26 Subchapter 1-4 Title 27 Subchapter 1
Chapter 2	Definitions	Title 27 Subchapter 2
Chapter 3	Use and Occupancy Classifications	Title 27 Subchapter 3
Chapter 4	Special Detailed Requirements Based on Use and Occupancy	Title 27 Subchapter 7
Chapter 5	General Building Heights and Areas	Title 27 Subchapter 4
Chapter 6	Types of Construction	Title 27 Subchapter 3, 5
Chapter 7	Fire-Resistance-Rated Construction	Title 27 Subchapter 5
Chapter 8	Interior Finishes	Title 27 Subchapter 5
Chapter 9	Fire Protection Systems	Title 27 Subchapter 7, 17
Chapter 10	Means of Egress	Title 27 Subchapter 6, 8
Chapter 11	Accessibility	Title 27 Subchapter 4
Chapter 12	Interior Environment	HMC, MDL, Title 27 Subchapter 12
Chapter 13	Energy Efficiency	NYS Energy Conservation Construction Code
Chapter 14	Exterior Walls	Title 27 Subchapter 5



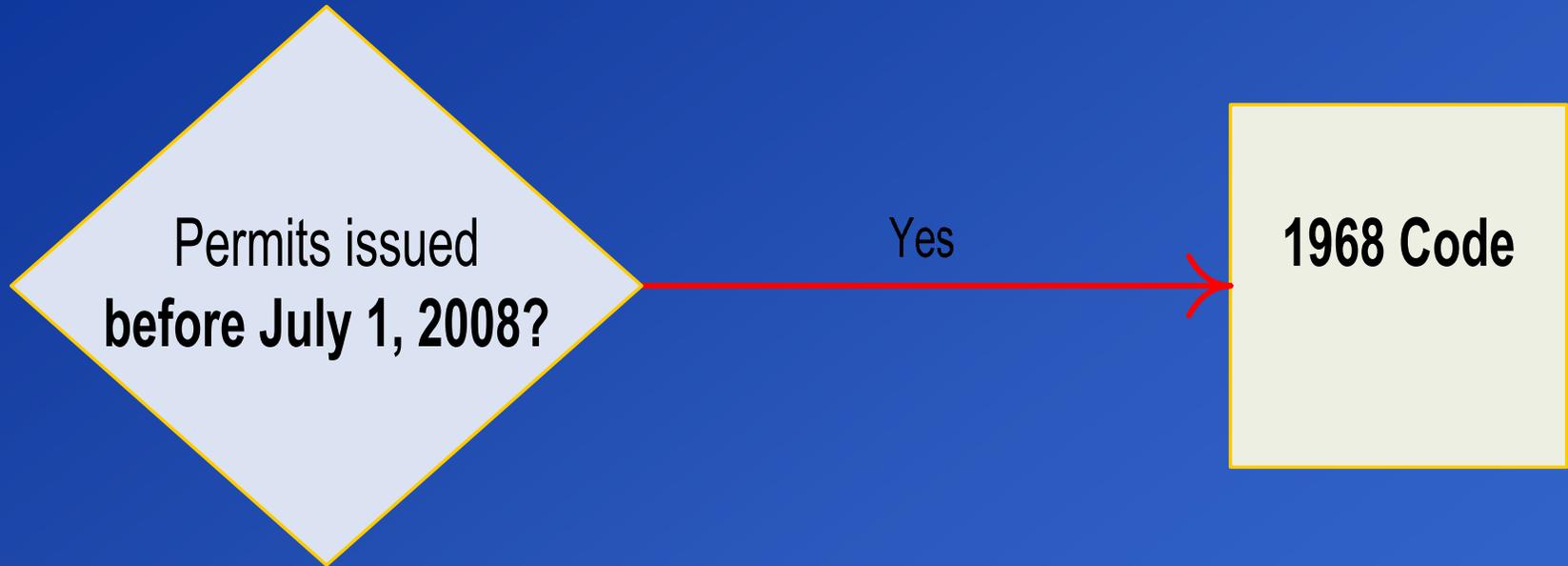
2008 Building Code		1968 Building Code
Chapter 15	Roof Assemblies and Rooftop Structures	Title 27 Subchapter 5
Chapter 16	Structural Design	Title 27 Subchapter 9,10
Chapter 17	Structural Tests and Special Inspections	Title 27 Subchapter 1,10,11
Chapter 18	Soils and Foundations	Title 27 Subchapter 1, 11, 19
Chapter 19	Concrete	Title 27 Subchapter 10, 19
Chapter 20	Aluminum	Title 27 Subchapter 10
Chapter 21	Masonry	Title 27 Subchapter 10, 15
Chapter 22	Steel	Title 27 Subchapter 10
Chapter 23	Wood	Title 27 Subchapter 10
Chapter 24	Glass and Glazing	Title 27 Subchapter 10
Chapter 25	Gypsum Board and Plaster	Title 27 Subchapter 10
Chapter 26	Plastic	Title 27 Subchapter 5
Chapter 27	Electrical	Title 27 Subchapter 6, 7, NYC Electrical Code
Chapter 28	Mechanical Systems	Title 27 Subchapter 13, 14, 15
Chapter 29	Plumbing Systems	Title 27 Subchapter 16
Chapter 30	Elevators and Conveying Systems	Title 27 Subchapter 18
Chapter 31	Special Construction	Title 27 Subchapter 4, 7
Chapter 32	Encroachments Into the Public Right-of-Way	Title 27 Subchapter 3, 4



2008 Building Code		1968 Building Code
Chapter 33	Safeguards During Construction	Title 27 Subchapter 19
Chapter 35	Referenced Standards	Appendix to Title 27, Chapter 1
Appendix D	Fire Districts	Title 27 Subchapter 3, 4, 5
Appendix E	Supplementary Accessibility	Title 27 Subchapter 4
Appendix F	Rodent Proofing	MDL §80.6, RS 16
Appendix G	Flood-Resistant Construction	Title 27 Subchapter 4
Appendix H	Outdoor Signs	Title 27 Subchapter 7
Appendix K	Elevators	RS 18.1
Appendix M	Supplementary Requirements for One- and Two-Family Dwellings	Directive 6 of 1979
Appendix N	Assistive Listening Systems	Title 27 Subchapter 4, RS 4-6
Appendix P	Toilet & Bathing Facilities in R-2 Occupancies	Title 27 Subchapter 4, RS 4-6, TPPN 8/88, 15/88, 22/88
Appendix Q	Modified National Standards for Automatic Sprinkler, Standpipe, and Fire Alarm Systems	RS 17-1, 17-2, 17-2A, 17-2B, 17-5
Appendix R	Acoustical Tile and Lay-In Panel Ceiling Suspension Systems	RS 5-16

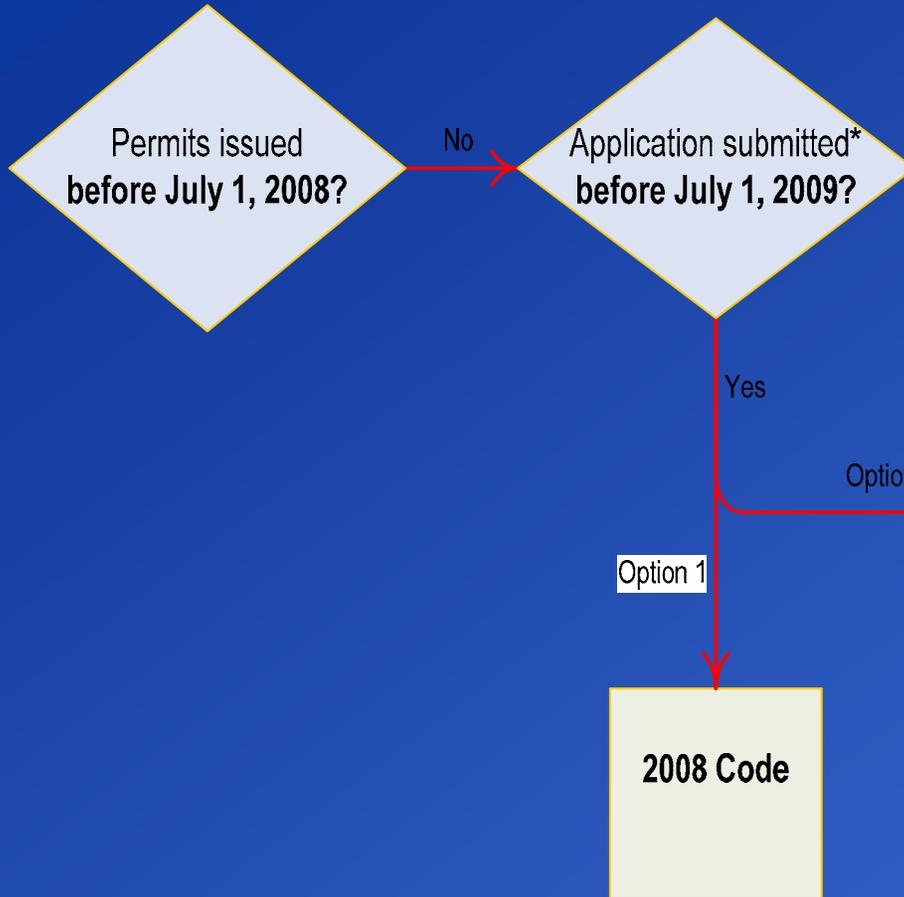


New Codes Applicability: New Buildings





New Buildings



1968 Code**, except that the following must comply with the **2008 Code**:

1. Administration, including:
 - Fees
 - Approval of construction documents
 - Issuance of permits
 - Issuance of certificate of occupancy
 - Special inspections
 - Use of materials
2. Enforcement, violations, fines, penalties
3. Safety of public and property during construction (BC Chapter 33)

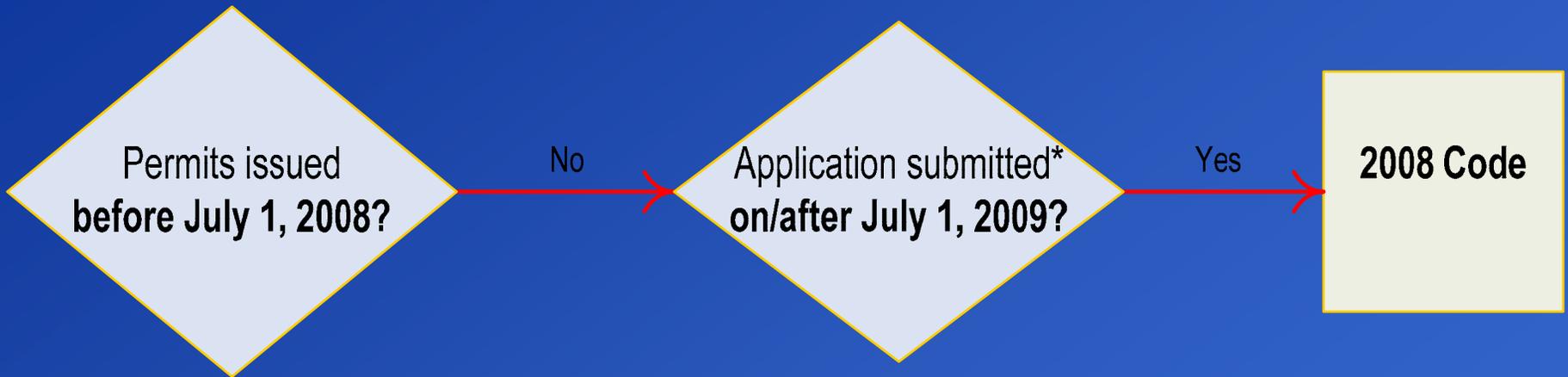
* Submission of application for construction document approval

** In addition, this option remains available only if:

- (1) the application is not abandoned;
- (2) the work is commenced within 12 months of issuance of a permit, and
- (3) the work is diligently carried out to completion

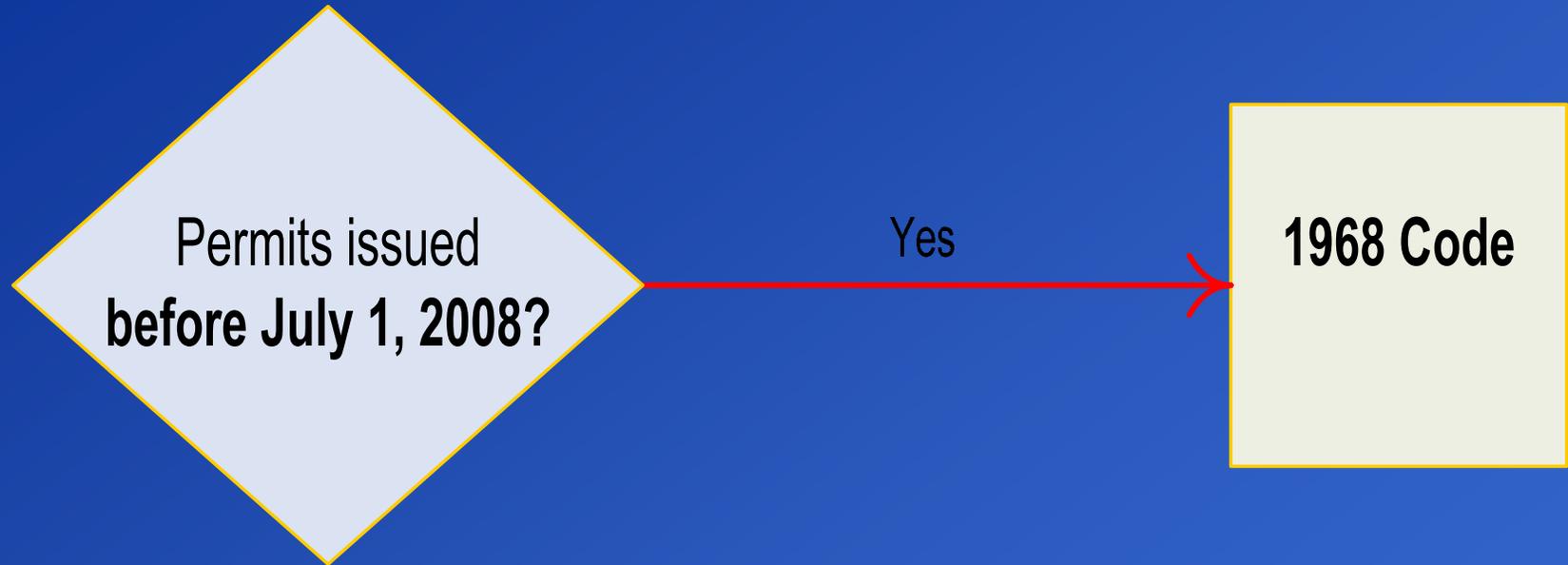


New Buildings



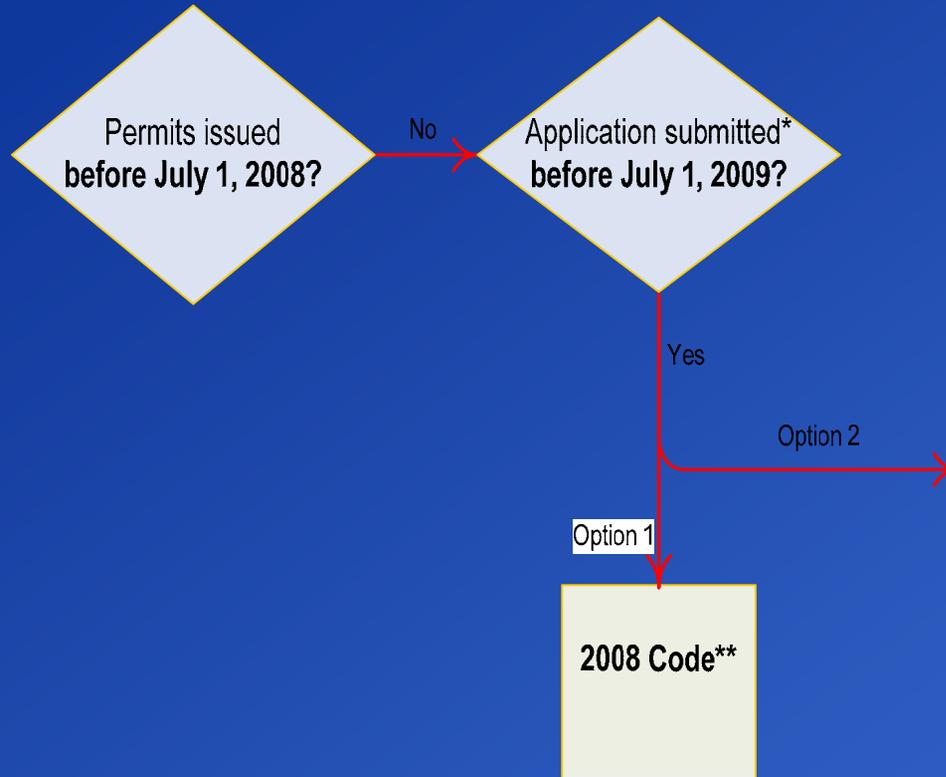


Alterations to Existing Buildings





Alterations to Existing Buildings



1968 Code***, except that the following must comply with the **2008 Code**:

1. Administration, including:
 - Fees
 - Approval of construction documents
 - Issuance of permits
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 - Special inspections
 - Use of materials
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* Submission of application for construction document approval

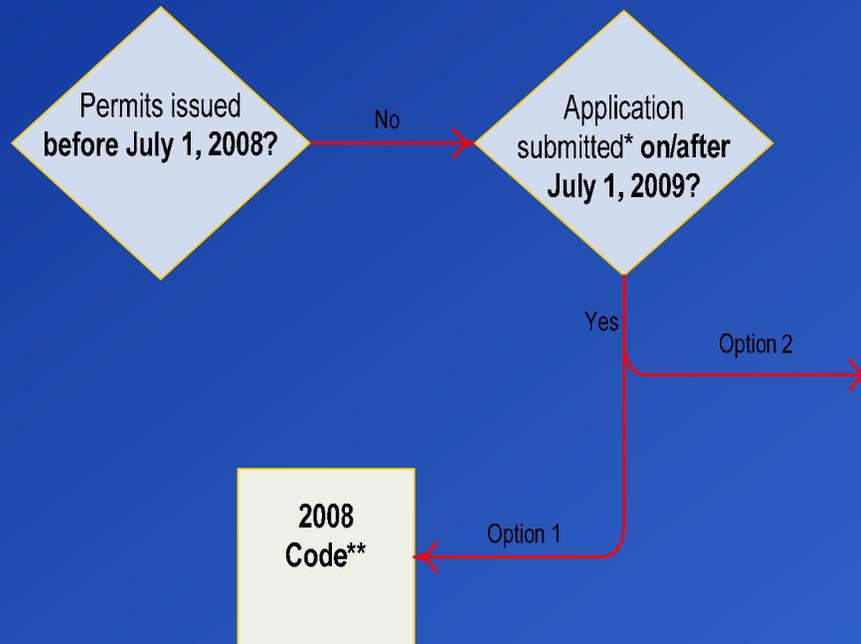
** The 2008 Code cannot be elected where the 2008 Code provisions as applied to the particular building would result in a reduction in fire safety or structural safety. As an alternative, the entire building may be made to comply with 2008 Code

*** In addition, this option remains available only if:

- (1) the application is not abandoned;
- (2) the work is commenced within 12 months of issuance of a permit, and
- (3) the work is diligently carried out to completion



Alterations to Existing Buildings



1968 Code, including provisions that allow in certain instances the use of the 1938 Code, **except that the following must comply with the 2008 Code:**

1. Administration, including:
 - Fees
 - Approval of construction documents
 - Issuance of permits
 - Issuance of certificate of occupancy
 - Special inspections
 - Use of materials
2. Enforcement, violations, fines, penalties
3. Safety of public and property during construction (BC Chapter 33)
4. Plumbing work (PC)
5. Fuel gas work (FGC)
6. Mechanical work (MC)
7. Fire protection (sprinkler, standpipe, alarms) (BC Chapter 9)
8. Elevators, conveyors and amusement (BC Chapter 30)
9. Accessibility for the entire building as if hereafter erected when exceeding 50% of building value or when changing the main use or dominant occupancy (BC Chapter 11)
10. Encroachments into the public right of way (BC Chapter 32)

* Submission of application for construction document approval

** The 2008 Code cannot be elected where the 2008 Code provisions as applied to the particular building would result in a reduction in fire safety or structural safety. As an alternative, the entire building may be made to comply with 2008 Code

Chapter 16 – Structural Design





Chapter 16 – Structural Design

- Governs the structural design of buildings and structures.
 - Based on:
 - International Building Code (IBC), 2003
 - ASCE 7 “Minimum Design Loads for Buildings and Other Structures”, 2002 edition
 - New York City Model Code Committee, Structural/Foundation Subcommittee modifications
 - Establishes general design Methods:
 - ASD Method
 - LRFD Method



Chapter 16 – Structural Design

- Provides minimum design loads, load combinations, and procedures for determining:
 - Dead Loads
 - Live Loads
 - Snow Loads
 - Wind Loads
 - Earthquake Loads
 - Structural Integrity Loads
 - Flood loads (BC Appendix G, ASCE 24)
 - Serviceability Limits (Deflection, Drift)



Structural Occupancy Category

Section 1604.5

Based on Building Occupancy

Table 1604.5	Importance Factor		
Str. Occ. Category	Snow (I_S)	Wind (I_W)	Seismic (I_E)
I	0.80	0.87	1.00
II	1.00	1.00	1.00
III	1.10	1.15	1.25
IV	1.20	1.15	1.50

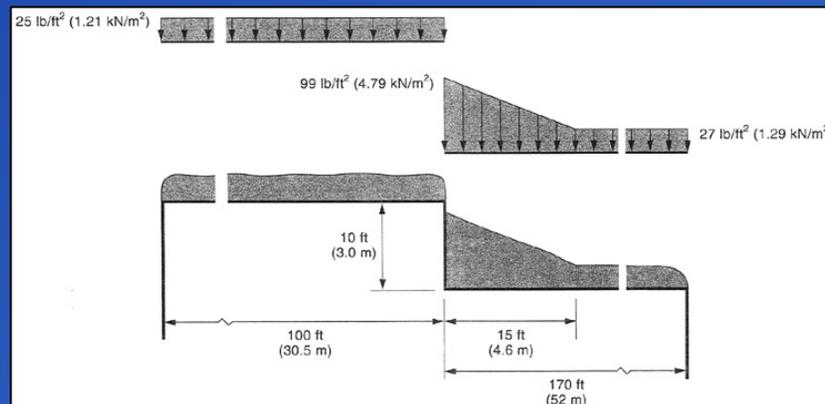
- **Category I** – Structures that present a substantially low hazard to human life in the event of failure
- **Category II** – Buildings not listed in Categories I, III, and IV
- **Category III** – Buildings that present a substantial hazard to human life in the event of failure
- **Category IV** – Essential Facilities: Facilities housing Fire, Police, and Emergency Response personnel, Emergency Shelters



Chapter 16 – Structural Design

Section 1608 Snow Loads

- Based on NYC regional climate
- Thermal factors for heated and unheated buildings
- Provisions for snow drifts caused by parapets and adjacent structures





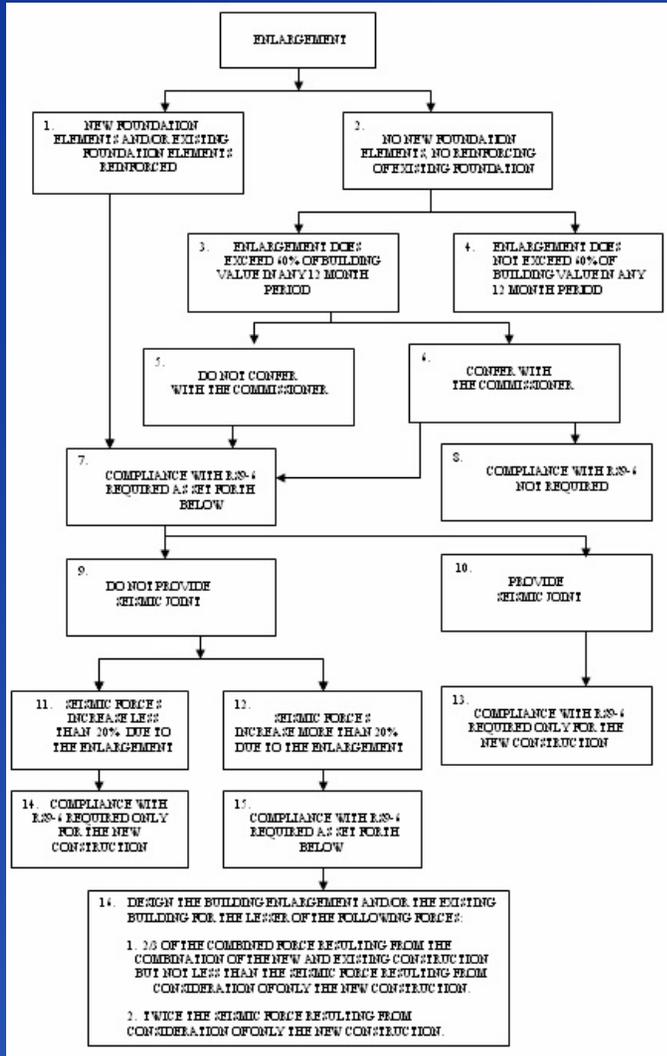
Chapter 16 – Structural Design

Section 1609 Wind Loads

- Based on NYC regional climate value for basic wind speed (V)
 - $V = 98$ mph
- Exposure Categories
 - Exposure Category A is permitted
- Two Simplified Methods
 - Method I: Based on ASCE 7 simplified method
 - Limited to Low-Rise Buildings (60 feet or less in Height)
 - Method II: Based on RS 9-5 of the 1968 NYC Code
 - Prescriptive Pressures based on height
 - Limited based on Height: 300 ft in Manhattan, 200 ft elsewhere
 - Not allowed within 2000 ft of river, bay or ocean shore line



Earthquake Loads Sections 1613 - 1623

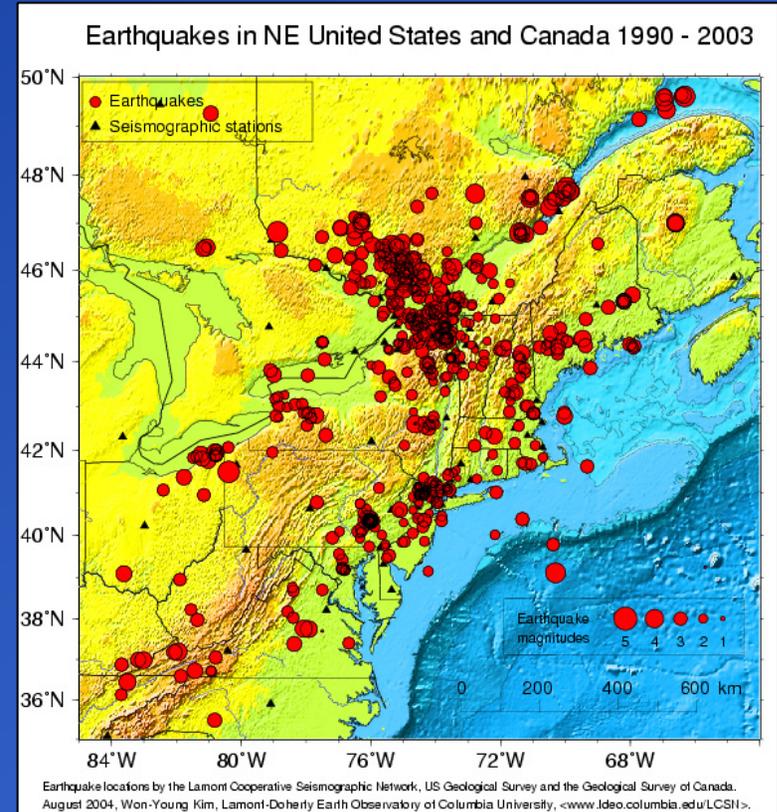


- One- and Two-family homes
 - Exceptions retained for One- and Two-family homes three stories or less in height
- Existing Buildings
 - Subject to the Current Code Requirements for Seismic Retrofit (TPPN #4/1999)



Earthquake Loads Sections 1613 - 1623

- Buildings are assigned Seismic Design Categories (SDC) based on:
 - 1-second and 0.2-second spectral response accelerations
 - Site classification
 - Structural Occupancy Category
- SDC Determines
 - Requirements for Detailing of connections
 - Maximum Building Heights for specific structural systems
 - Minimum design forces for structural elements
 - Seismic resistance requirements of non-structural components





Seismic Design Categories

Section 1616.3

Seismic Design Category (Based on NYCBC Minimum Values)

Site Class		S_{DS}	S_{D1}	I & II	III	IV
				I	II	III
A	Hard Rock	0.195	0.038	B	B	C
B	Rock	0.243	0.047	B	B	C
C	Very dense soil and soft rock	0.292	0.080	B	B	C
D	Stiff soil profile	0.367	0.114	C	C	D
E	Soft soil profile	0.518	0.166	D ^a	D ^a	D
F	Site-specific analysis required					

Structural Occupancy Category (NYCBC Table 1604.5)

Seismic Use Group (NYCBC Table 1604.5, note a)

Note a: Building structures in Seismic Use Groups I or II and on Site Class E may be designed in Seismic Design Category C if their Fundamental Period of Vibration is not between 1 and 2 seconds or a dynamic structural analysis based on a site specific spectrum is performed.



Structural Integrity Requirements

- Provisions Applicable to all buildings
 - Vehicular Impact
 - Section 1625.5 Design load requirement
 - High-pressure Gas Explosion
 - Section 1625.6 Design requirements
 - Continuity and Ties
 - Requiring additional strength and detailing of members and their connections
 - **Steel Construction:** Section 2213
 - Structural Steel Members
 - Composite Concrete Slabs on Metal Deck
 - **Concrete Construction:** Section 1917
 - Cast-In-Place Concrete
 - Precast Concrete
 - **Masonry Construction:** Section 2114
 - Bearing walls
 - Piers & Columns



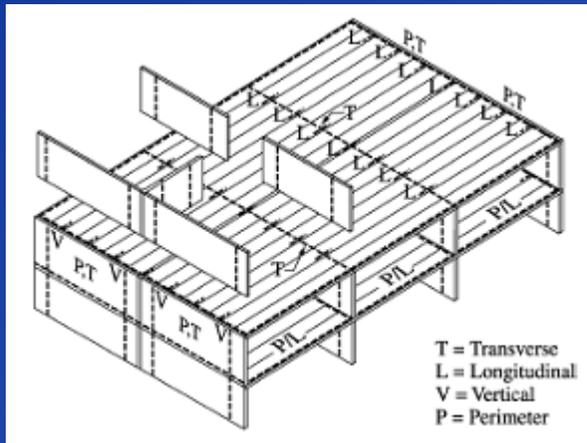


Structural Integrity – Key Element Analysis

Section 1626

Key Element Analysis

- Developed by the Structures/Foundations Subcommittee
- **Key Element:** Structural Member supporting three or more stories, or bracing such a member



Two Design Options

- **Alternate Load Path Method:** Design to prevent a disproportionate collapse assuming a “Key Element” will fail due to an extreme event
 - **Specific Local Resistance Method:** Design key elements for code prescribed loads.
- **Structural Peer Review**
 - Required to be performed by a qualified independent structural engineer



Structural Integrity – Key Element Analysis

Section 1626

Key Element Analysis Required For:

- Buildings more than 600 feet (183 m) tall or more than 1,000,000 square feet (92 903 m²)
- Essential Facilities larger than 50,000 square feet (4645 m²)
- Building with an Aspect Ratio greater than 7
- Buildings taller than 7 stories where one structural member supports more than 15% of the aggregate building area
- Buildings designed using non-linear time history analysis or utilizing special seismic energy dissipation systems (Base Isolation or Dampers)

Peer Reviewer

- Qualified by the Department, based on
 - Experience with similar structures
 - Licensure a NYS Professional Engineer
- Signed and Sealed Peer Review report to be submitted prior to plan approval
- Report scope to include review of plans and specifications for general compliance with the structural and foundation provisions of the NYC Construction Codes

Chapter 17 – Structural Tests and Special Inspections





Chapter 17 Special Inspections

- What are they?
 - Successor to Controlled Inspections
 - Inspections and testing at critical points in the construction process to safeguard against life and safety risks
 - Replace Controlled Inspections July 1, 2008
- What are the changes?
 - Set new and enhanced qualifications and standards
 - Capable of being performed by qualified individuals other than PEs & RAs



Qualifications

- **Special Inspections** can only be performed by **Special Inspectors** working for a **DOB-Approved Special Inspection Agency**
- **Special Inspectors** will be qualified for the specific task which adds safety and quality to construction:
 - **Inspection Supervisor:** Typically a Registered Design Professional with the appropriate qualifications based on:
 - Licensure (RA or PE in specific field)
 - Experience relevant to the inspection task
 - **Supplementary Inspectors:** may also perform special inspections if performed under the direct supervision of the **Inspection Supervisor**



Sample Qualifications

Special Inspection Category	Inspection Supervisor	Supplemental Inspector (Option 1) Under direct supervision of Inspection Supervisor	Supplemental Inspector (Option 2) Under direct supervision of Inspection Supervisor
Concrete	<ul style="list-style-type: none"> •PE or RA; and •1 year relevant experience 	<ul style="list-style-type: none"> •ACI Certification as Concrete Construction Special Inspector (ACI-CCSI) OR <ul style="list-style-type: none"> •ICC Certification as Concrete Special Inspector (ICC-CSI) 	<ul style="list-style-type: none"> •ACI Certification as an Associate Special Inspector; and •On-site supervision by Inspection Supervisor, ACI-CCSI, or ICC-CSI
Masonry	<ul style="list-style-type: none"> •PE or RA; and •1 year relevant experience 	<ul style="list-style-type: none"> •Bachelor's degree in engineering or architecture; and •ICC Certification as a Structural Masonry Special Inspector; and •1 year relevant experience 	<ul style="list-style-type: none"> •ICC Certification as a Structural Masonry Special Inspector; and •2 years relevant experience



Duties and Responsibilities

Verification and Inspection	Continuous	Periodic	Referenced Standard	NYC Building Code Reference
1. Inspection of reinforcing steel, including prestressing tendons, and placement.	—	X	ACI 318:3.5, 7.1 – 7.7	1903.5, 1907.1, 1907.7, 1914.4
2. Inspection of reinforcing steel welding in accordance with table 1704.3, Item 5B.	—	—	AWS D1.4 ACI 318:3.5.2	1903.5.2
4. Verifying use of required design mix.	—	X	ACI 318: Ch. 4, 5.2-5.4	1904, 1905.2-1905.4, 1914.2, 1914.3
5. At the time fresh concrete is sampled to fabricate specimens for strength tests, perform slump and air content tests, and determine the temperature of the concrete.	X	—	ASTM C 172 ASTM C 31 ACI 318: 5.6, 5.8 (Note a, b, c)	1905.6, 1914.10
6. Inspection of concrete and shotcrete placement for proper application techniques.	X	—	ACI 318: 5.9, 5.10	1905.9, 1905.10, 1914.6, 1914.7, 1914.8



New Items

- **New Special Inspections**

- Mechanical Demolition
- Seismic Isolation Systems
- Exterior Insulation Finish Systems (EIFS)
- Smoke control systems

- **Approved Fabricators**

- Fabricators performing work subject to special inspection in plant can become certified by DOB as Approved Fabricators in lieu of providing special inspection at plant
- Approved Fabricators will instead be periodically inspected by approved agency

- **Concrete**

- Concrete plants and Truck Drivers must be NRMCA certified



Estimated Timeline

- **July 1, 2008**
 - Special Inspection Agencies attest that their staff meet the required qualifications
 - Staff must meet relevant experience, but Certifications must be obtained by July 1, 2009
- **January 1, 2009**
 - Special Inspection Agencies Have to Register with the Department
- **July 1, 2009**
 - All Certifications must be obtained by Special Inspectors
- **July 1, 2010**
 - Special Inspection Agencies must be accredited by a Nationally Recognized program

Chapter 33 – Safeguards During Construction or Demolition





Building Code Chapter 33

- Covers the safety of the public and property during construction and demolition operations
- Mandated **July 1, 2008** for **ALL CONSTRUCTION**
- Replaces Subchapter 19 of the 1968 Code
- Updated Reference Standards
 - Deleted reference to outdated NYS Labor Law



Chapter 33 Section Index

Section	Title
3301	General
3302	Definitions
3303	Safeguards and Maintenance of Site
3304	Excavation
3305	Erection Operation
3306	Demolition
3307	Protection of Pedestrians
3308	Safety Netting
3309	Protection of Adjoining Property
3310	Requirements for the Construction or Demolition of Major Buildings



Chapter 33 Section Index

Section	Title
3311	Explosive Powered & Projectile Tools
3312	Explosives and Blasting
3313	Flammable & Combustible Mixtures, Compressed Gases, & Other Hazardous Materials
3314	Scaffolds
3315	Structural Ramps, Runways, & Platforms
3316	Hoisting Equipment
3317	Material Hoists & Bucket Hoists
3318	Personnel Hoists
3319	Cranes & Derricks
3320	Material Handling Equipment



Tenant Protection Plan

- **Section 3303.10 Repair or alteration operations in occupied buildings.**
 - in Work performed in buildings with occupied dwelling units require a tenant protection plan
- **28-104.8.4 Tenant Protection Plan**
 - Establishes the minimum requirements and mandates construction documents
- **1704.19.2 Site structural safety design documents**
 - Mandates design documents prepared by a PE/RA
- **Section 1704.19.5 Special Inspections**
 - Requires Special Inspector for Structural Safety in construction operations to verify compliance with Tenant Protection Plan.



28 – 104.8.4 Tenant Protection Plan

- **Minimum Tenant Protection Plan Details:**
 - **Egress:** adequate egress shall be maintained
 - **Fire Safety**
 - **Health Requirements, including:**
 - Dust control
 - Debris removal
 - Lead & Asbestos
 - **Compliance with housing standards:**
 - NYC Housing Maintenance Code
 - NYS Multiple Dwelling Law
 - **Structural safety**
 - compliance with Site Structural Safety design documents
 - **Noise Restrictions per the NYC Noise Control Code**



Section 3304 Excavations

- **Notification of Department: Section 3304.3.1**

- Notification of Department required at least 24 hours in advance, but no more than 48 hours prior to commencement of earthwork operations
- Exceptions:
 - Hand excavation 5 feet or less, and 2 feet or more from an existing footing, and not in a basement or cellar that adjoin an existing foundation
 - Geotechnical test pits 10 feet or less in plan
 - Burials in cemeteries
 - HPD Emergency Work



Section 3304 Excavations

- **Notification of Adjacent Building Owners: Section 3304.3.2**
 - Notification to Adjacent Building Owners are required in writing not less than 10 days in advance of certain earthwork operations:
 - Excavations between 5 feet and 10 feet deep, and within 10 feet of an adjacent building
 - All excavations over 10 feet deep
 - Notification must provide:
 - Description of work
 - Timeframe and schedule
 - Contact information of person causing excavation and DOB



Section 3304 Excavations

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Section 3304 Excavations

- Protection of sides of excavations Section 3304.4
 - Excavations 5 feet or greater in depth require protection methods, including:
 - Shoring
 - Bracing
 - Sheeting
 - Sheet piling
 - Special Inspection required when protection methods employed
 - Alternative: Slope sides of excavation per Soils Report with DOB approval



Section 3309 Protection of Adjoining Property

- **Section 3309.4 Responsibility for Protection:**
 - The person causing the excavation or fill is responsible to protect adjoining properties, regardless of depth
 - If the adjoining property owner refuses access to person causing excavation, adjacent property owner is responsible for protection and can be issued violations for failing to do so
 - NYS State law already in effect



Section 3309 Protection of Adjoining Property

- Section 3309.3: Physical Examination of adjoining properties is required
 - Prior to commencement of work
 - During the progress of work
- Conditions observed are required to be documented and made available to DOB upon request.



Pre-Construction Survey

Section 3309.4: Pre-construction surveys of adjoining properties are required to be submitted to DOB prior to commencement for:

- Excavations between 5 and 10 feet deep within 10 feet of an adjacent building
- All excavations > 10 feet deep



Section 3306 Demolition

- **Categories**
 - **Full Demolition:** the dismantling, razing, or removal of all of a building or structure, and all operations incidental thereto.
 - **Partial Demolition:** the dismantling, razing, or removal of structural members, floors, interior bearing walls, and/or exterior walls or portions thereof, including all operations incidental thereto.
- **The demolition safety requirements apply whenever any demolition operations are being performed, regardless of the permit type issued**



Section 3306.3 Demolition Notification

- **Department Notification**
 - At least 24 hours in advance, but not more than 48 hours prior to commencing either full or partial demolition operations
- **Adjacent property Owners**
 - Written notice at least 10 days in advance of full or partial demolition operations
 - Exception: Partial interior demolition operations, where only hand-held mechanical demolition equipment is used



Section 3306.4 Mechanical Demolition

- The use of mechanical demolition equipment, other than hand-held equipment, in full and partial demolition operations
 - Construction documents shall be filed by a registered Professional Engineer
 - Mechanical Partial and Full Demolition within the building are subject to Special Inspection



Section 3306.5 Demolition Submittals

- **Mechanical Demolition – Full or Partial**
 - Plans showing extent, sequence, means and methods and compliance with Demo requirements
 - Description of all equipment other than hand-held devices
 - Calculations showing adequacy of the existing structure
 - Bracing and shoring necessary



Section 3306.5 Demolition Submittals

- **Partial Demolition – when mechanical means and methods are not used:**
 - Plans showing extent, sequence, means and methods and compliance with Demo requirements
 - Bracing and shoring necessary



Section 3310 Major Buildings

New NYC Construction Code (Building Code Section 3310.2)	Current NYC Building Code (Rules and Regulations Chapter 26 Appendix A)
<ol style="list-style-type: none">1. 10 or more stories, or2. 125 feet or more in height, or3. 100,000 ft² or more of lot coverage regardless of height, or4. Any other building as designated by the commissioner	<ol style="list-style-type: none">1. 15 or more stories, or2. 200 feet or more in height, or3. 100,000 ft² or more of lot coverage regardless of height, or4. Any other building as designated by the commissioner



Section 3310 Major Buildings

- Site Safety Plan, Program and Designation of Site Safety Manager or Coordinator are required for major buildings undergoing:
 - New Construction
 - Full Demolition
 - Façade Alterations needing a sidewalk shed
 - Partial Demolition
- Exceptions:
 - Interior Partial Demo using only hand tools
 - Buildings less than 14 stories, and less than 200 feet tall



Section 3310.5 Designation of Site Safety Manager or Coordinator

	New Building, Full Demolition	Partial Demolition	Façade Alteration requiring a sidewalk shed	Interior Partial Demolition with no Mechanical Equipment
Major Buildings: <ul style="list-style-type: none"> •15 Stories or more, •200' or more, •100,000 SF or more 	Site Safety Manager	Site Safety Manager	Site Safety Manager	N/A
Major Buildings: <ul style="list-style-type: none"> •Less than 15 stories, & •Less than 200', & •Less than 100,000 SF 	Site Safety Manager or Site Safety Coordinator	Site Safety Manager or Site Safety Coordinator	N/A	N/A



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BUILDINGS INFORMATION SYSTEM (BIS)

CAREER OPPORTUNITIES

NEW NYC CONSTRUCTION CODES
(FORMERLY MODEL CODE PROGRAM)

- Building Code Revisions
- Electrical Code Revisions
- New Code Chapters

LICENSES & RENEWALS

NEW NYC CONSTRUCTION CODES



New NYC Construction Codes

The Buildings Department worked with more than 400 volunteers from industry, real estate, labor and government who dedicated 300,000 pro bono hours to successfully streamline and modernize New York City's 1968 Building Code and Electrical Code. The result: the new NYC Construction Codes.

New NYC Construction Codes

The Foundation for a Safe, Sustainable NYC



ConstructionCodes@buildings.nyc.gov

www.nyc.gov/buildings