



# 550 Madison Avenue

**Certificate of Appropriateness Proposal**  
for NYC Landmarks Preservation Commission

January 15, 2019



Tower Aerial



550 Madison Avenue



Building Podium and Covered Pedestrian Space





**Preserve and Revitalize** the landmarked tower.

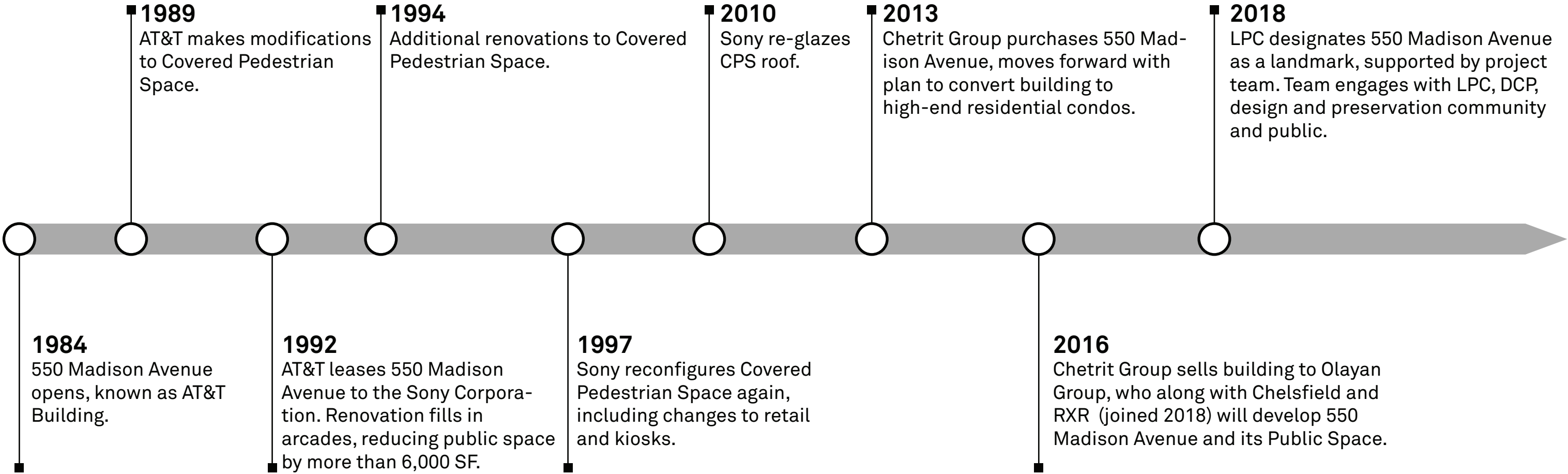
**Restore** the original site design intent.

**Improve** on multiple alterations at the base.

**Increase and Enliven** the public space.



Key Timeline Milestones

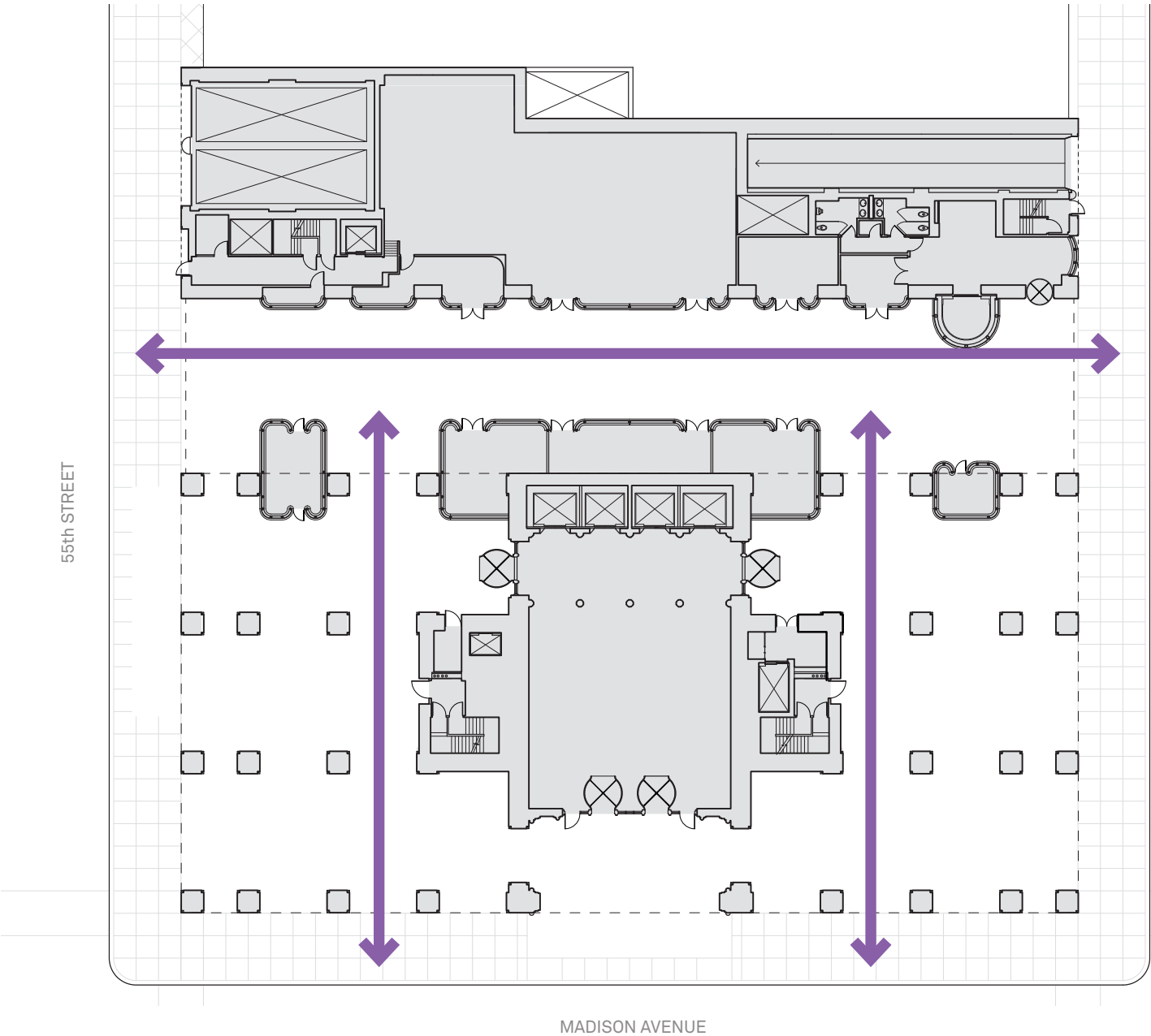




Street Level Approach - Original



ORIGINAL AT&T FACADE, 1984



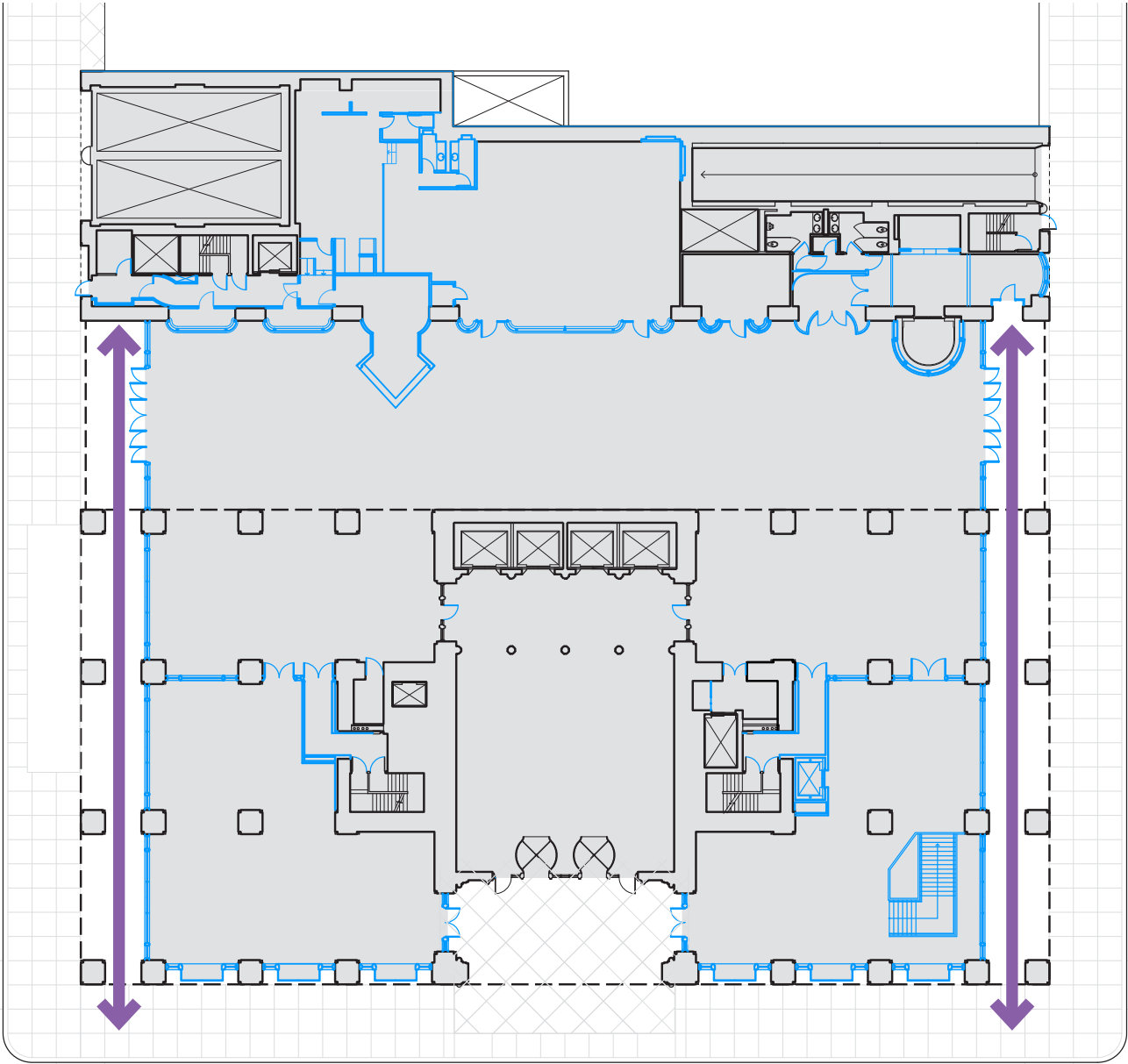
GROUND FLOOR PLAN  
“HYPOSTYLE HALL” CIRCULATION



Street Level Approach - Existing



EXISTING 550 MADISON FACADE



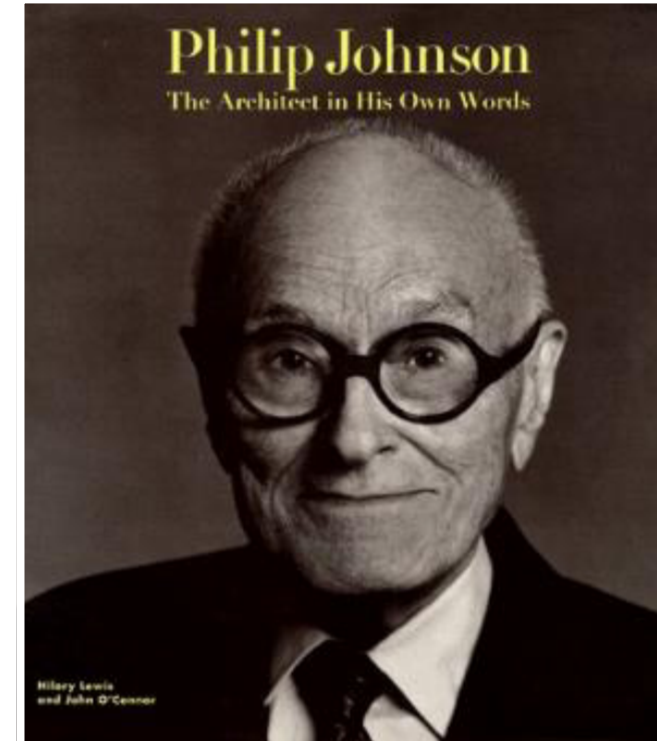
GROUND FLOOR PLAN  
ARCADE AND COVERED PEDESTRIAN SPACE CIRCULATION



## Public Space Challenges - Original



55TH STREET ARCADE - 1980's



Philip Johnson conceded about his design for 550 Madison:

“...the area at the base wasn't used and became cold and unfriendly.”

Source: Philip Johnson The Architect in His Own Words, Lewis and O'Connor, 1994



The Covered Pedestrian Space and Annex



OPEN AIR COVERED PEDESTRIAN SPACE, 1984



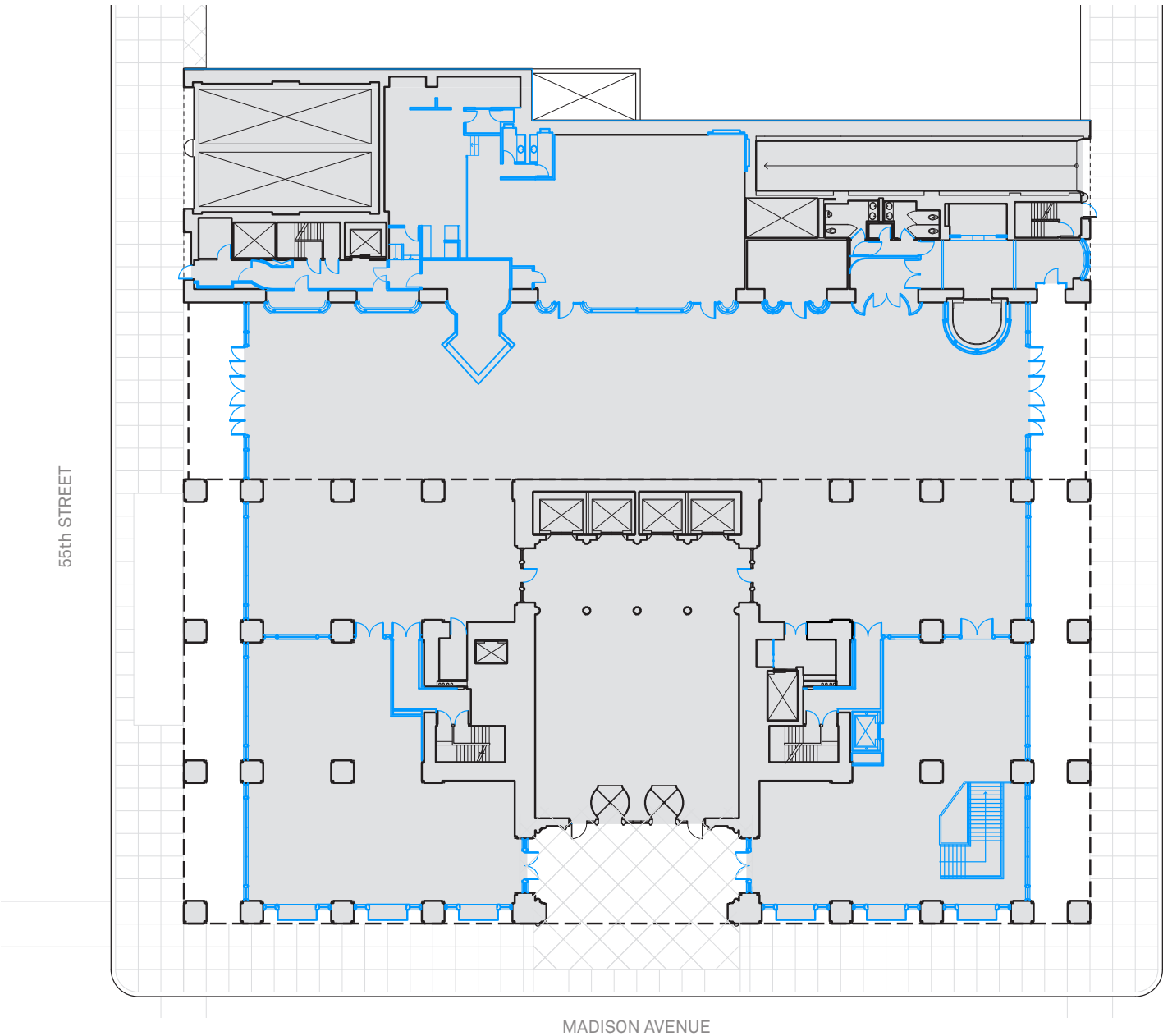
OPEN AIR COVERED PEDESTRIAN SPACE, 1989



ENCLOSED COVERED PEDESTRIAN SPACE, 1994

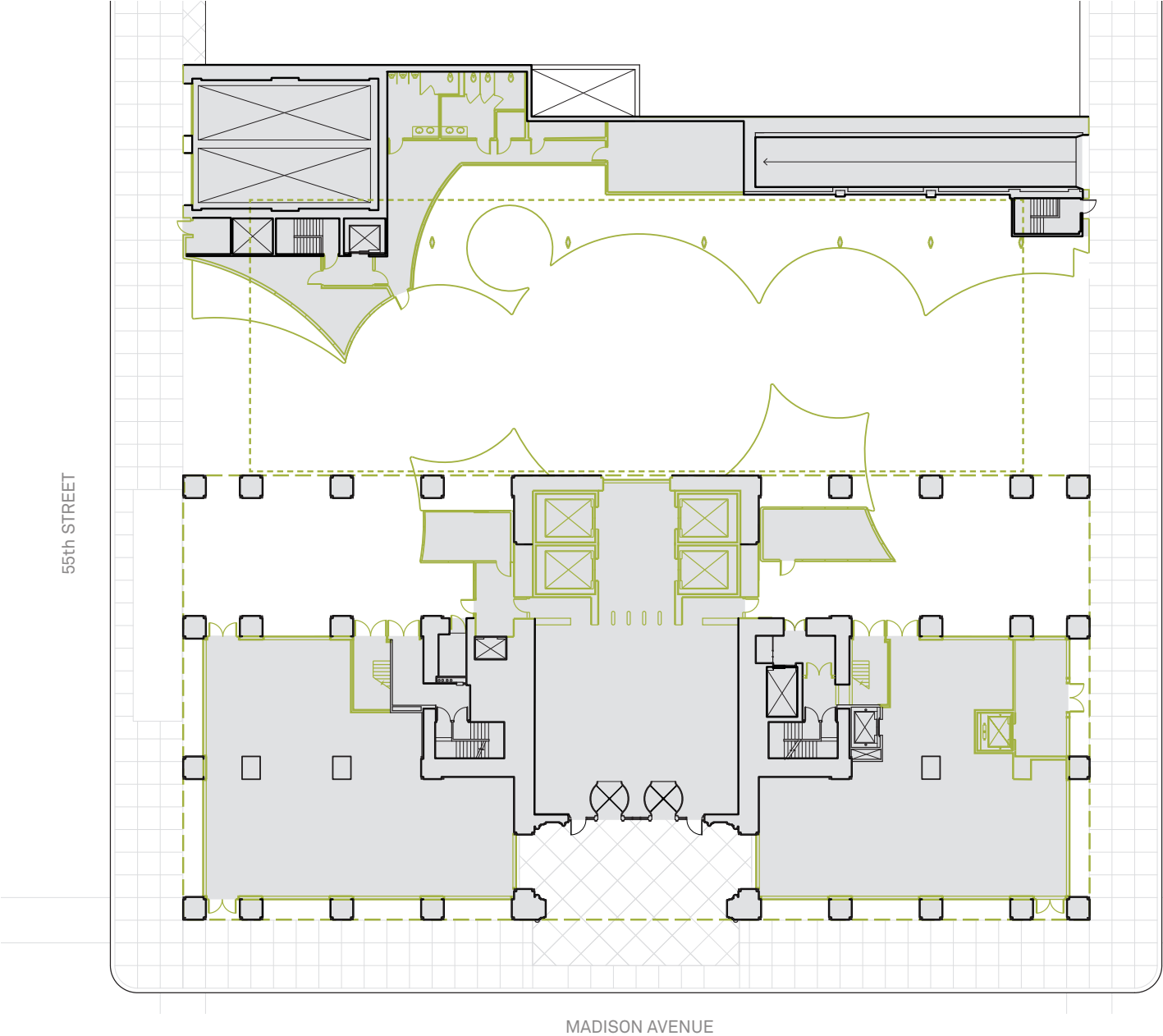


# Existing and Proposed Plans



EXISTING GROUND FLOOR PLAN

- Original to remain
- 1990's changes
- Proposed Design



PROPOSED GROUND FLOOR PLAN

1. Preserve And Revitalize The Landmarked Tower
2. Increase And Enliven Open Public Space
3. Improve On Alterations At Tower Base
4. Restore Original Site Design Intent



Overall Tower Views



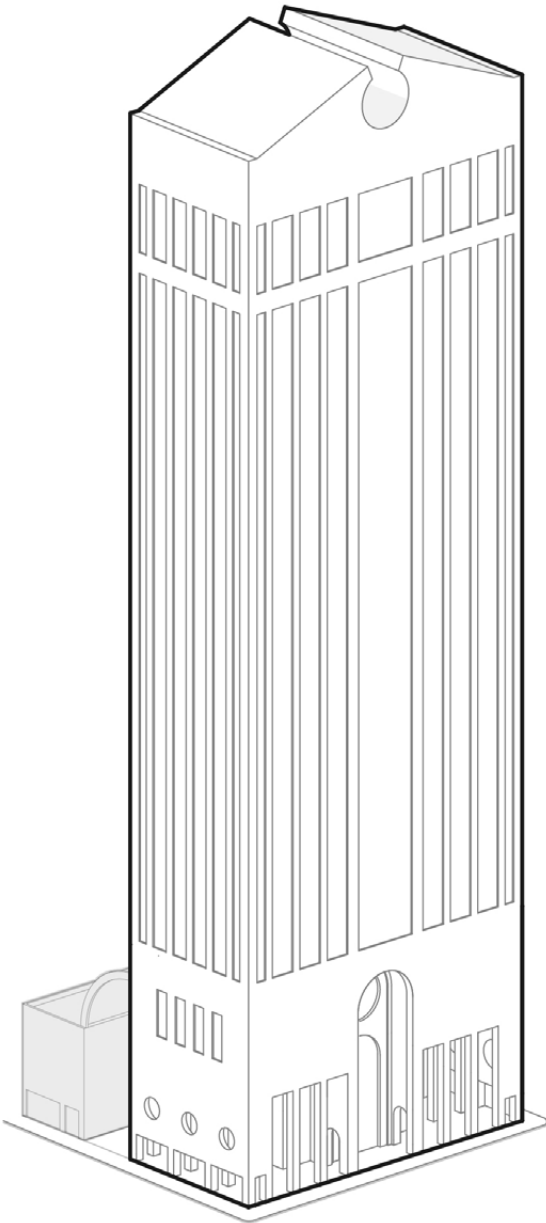
OVERALL TOWER - EXISTING



OVERALL TOWER - PROPOSED

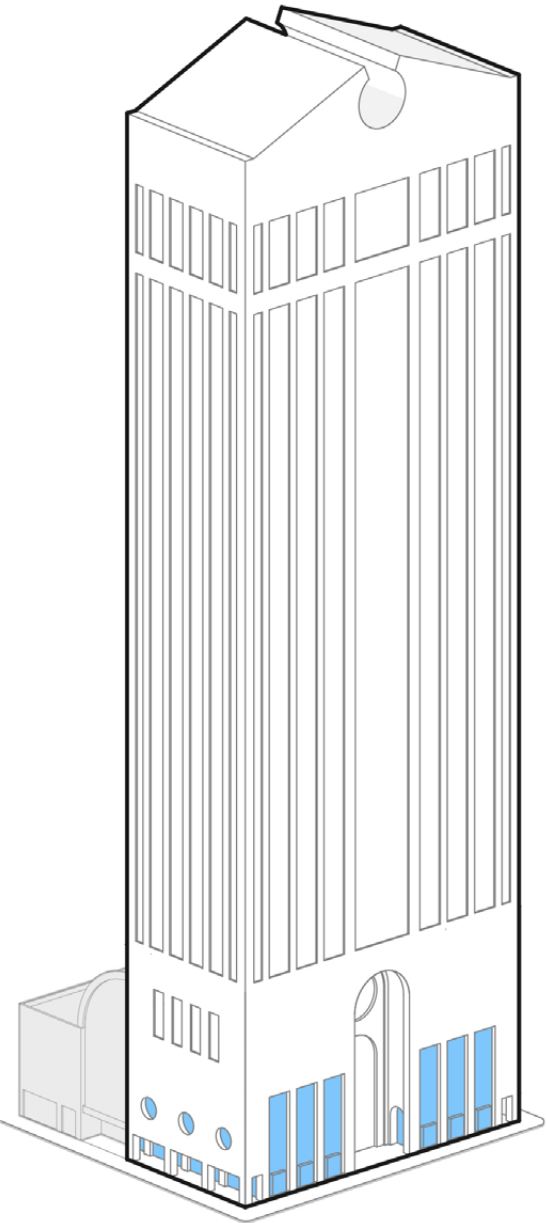


Tower Changes Over Time



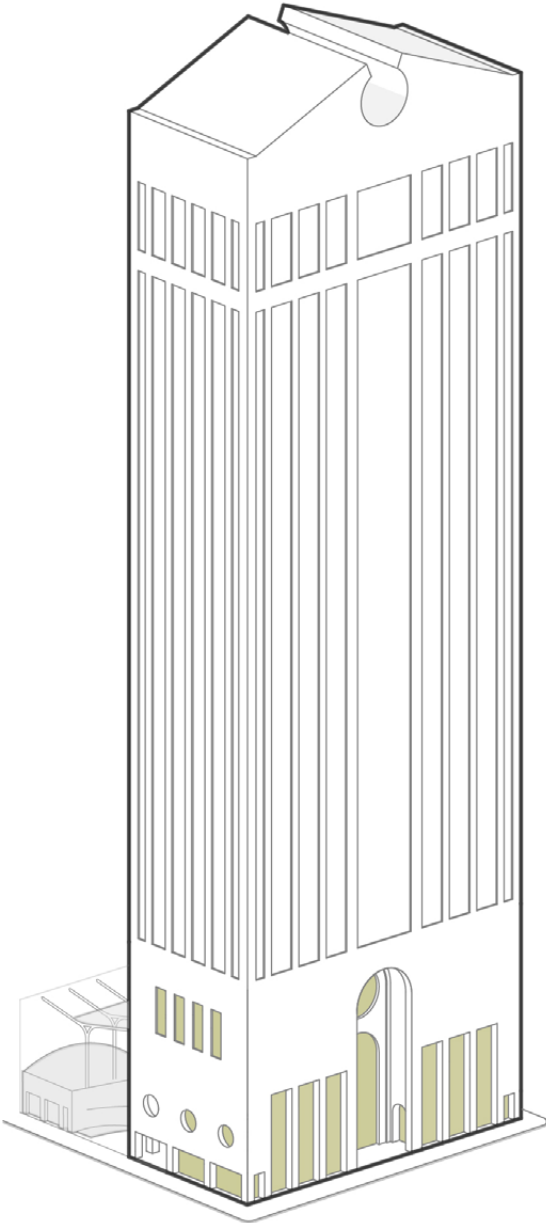
ORIGINAL

□ 1984



EXISTING

■ 1992  
□ 1984



PROPOSED

■ Proposed  
□ 1984







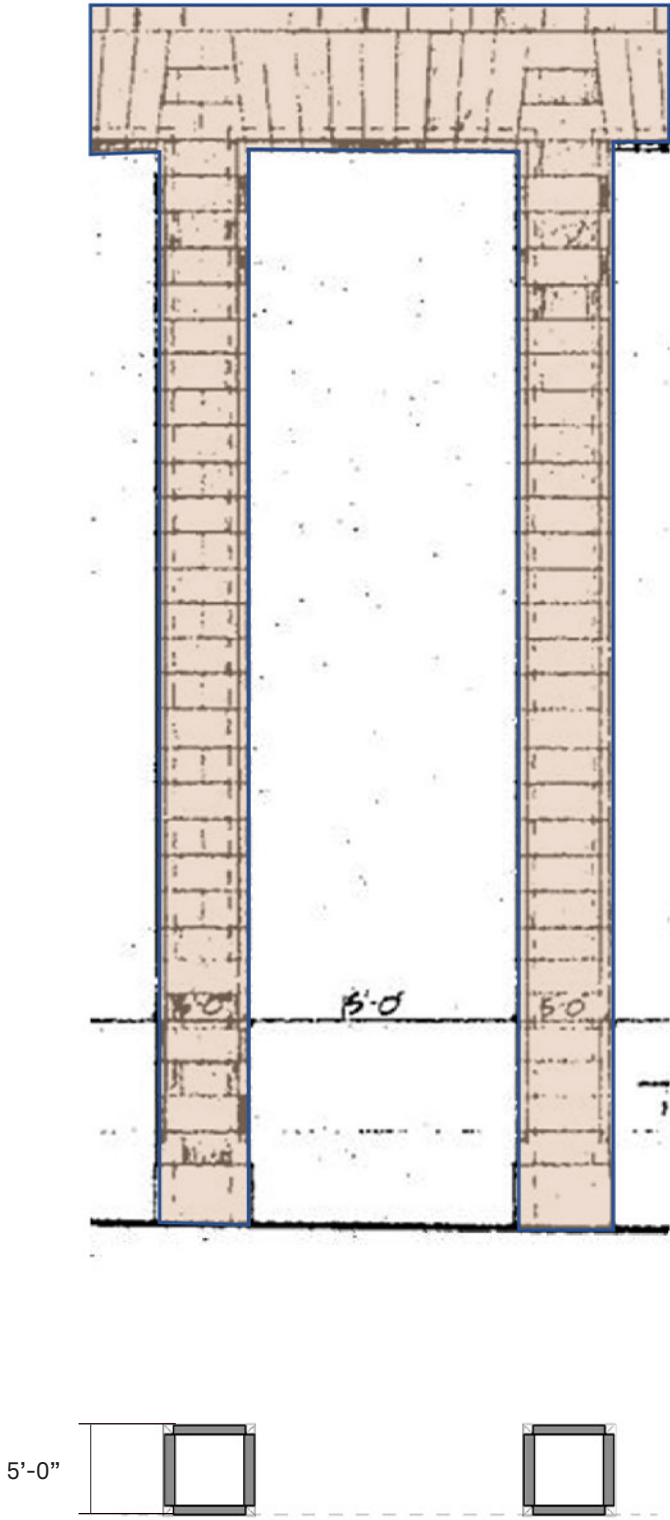




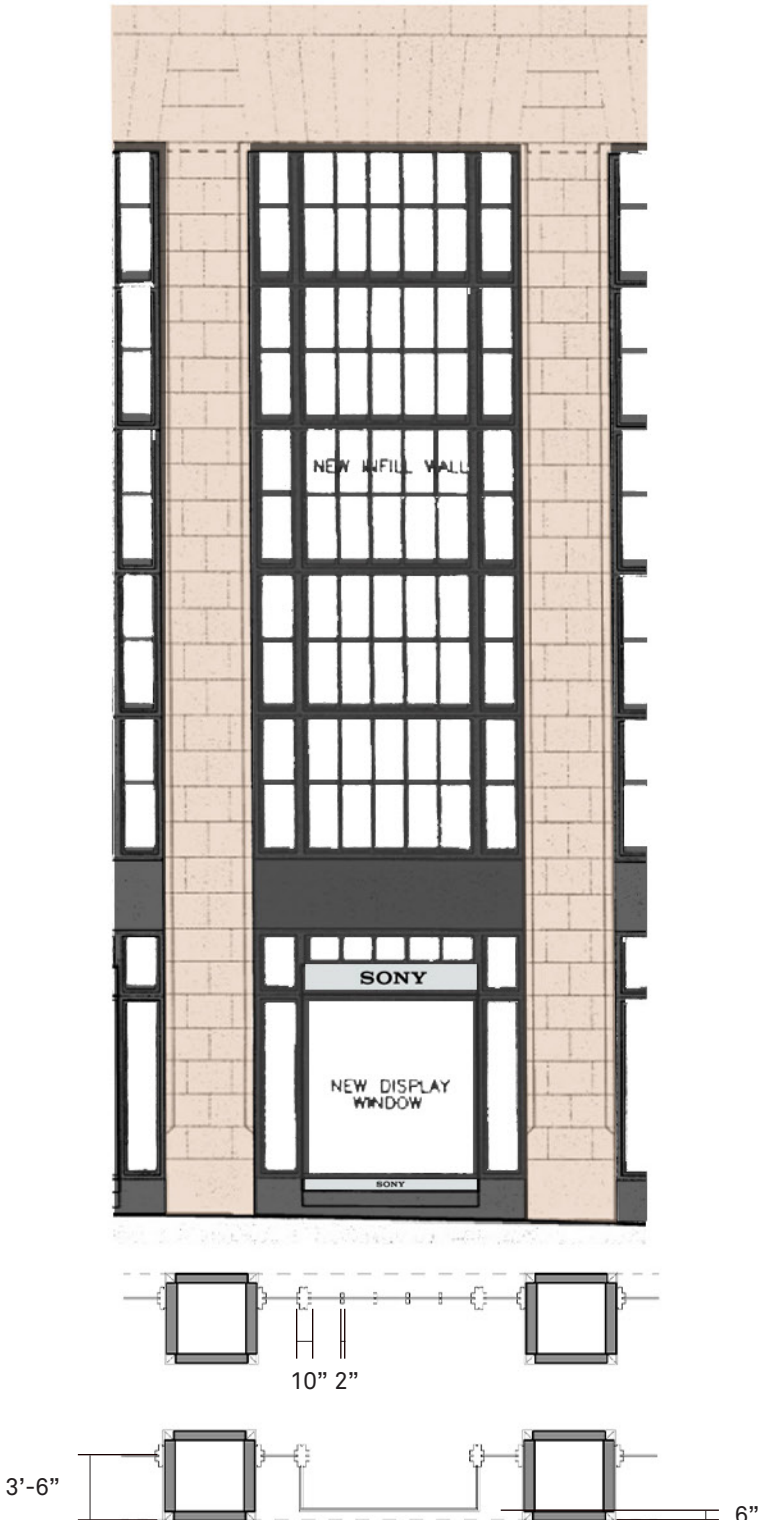




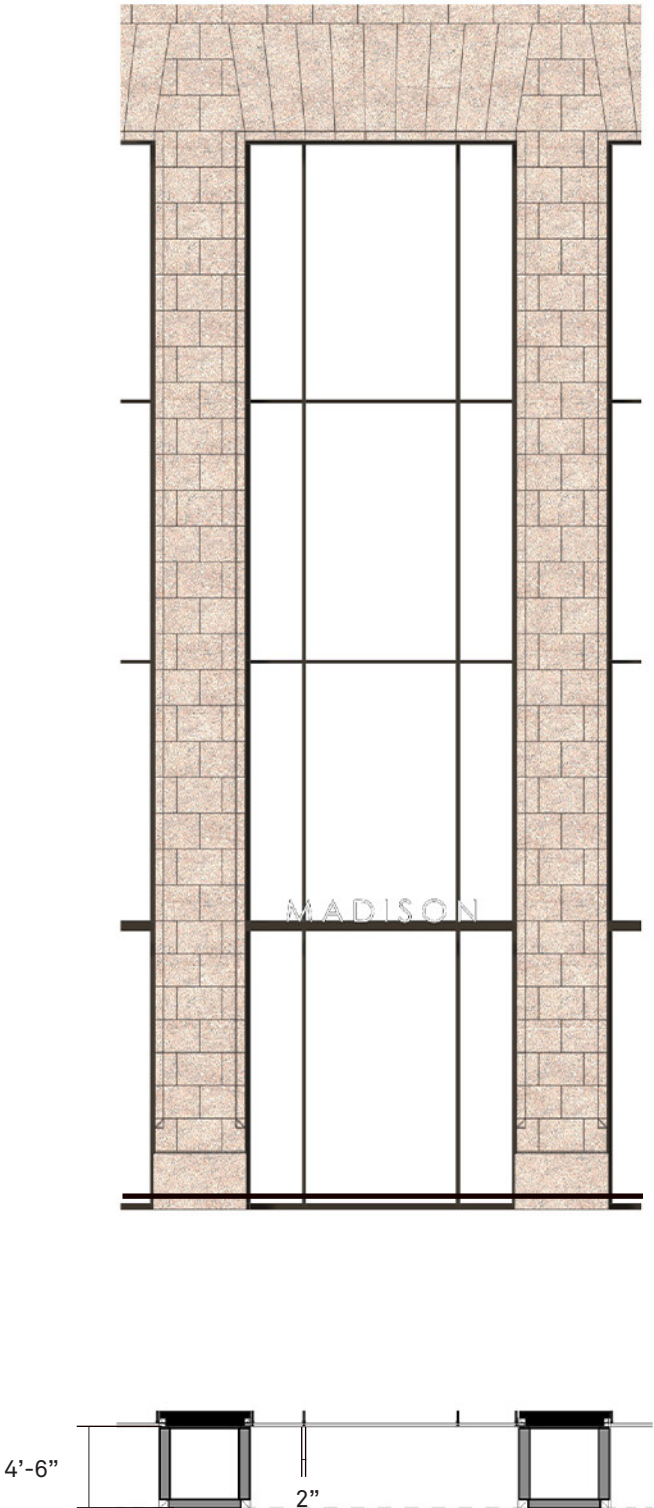
Madison Avenue Flat Arch Glazing



ORIGINAL



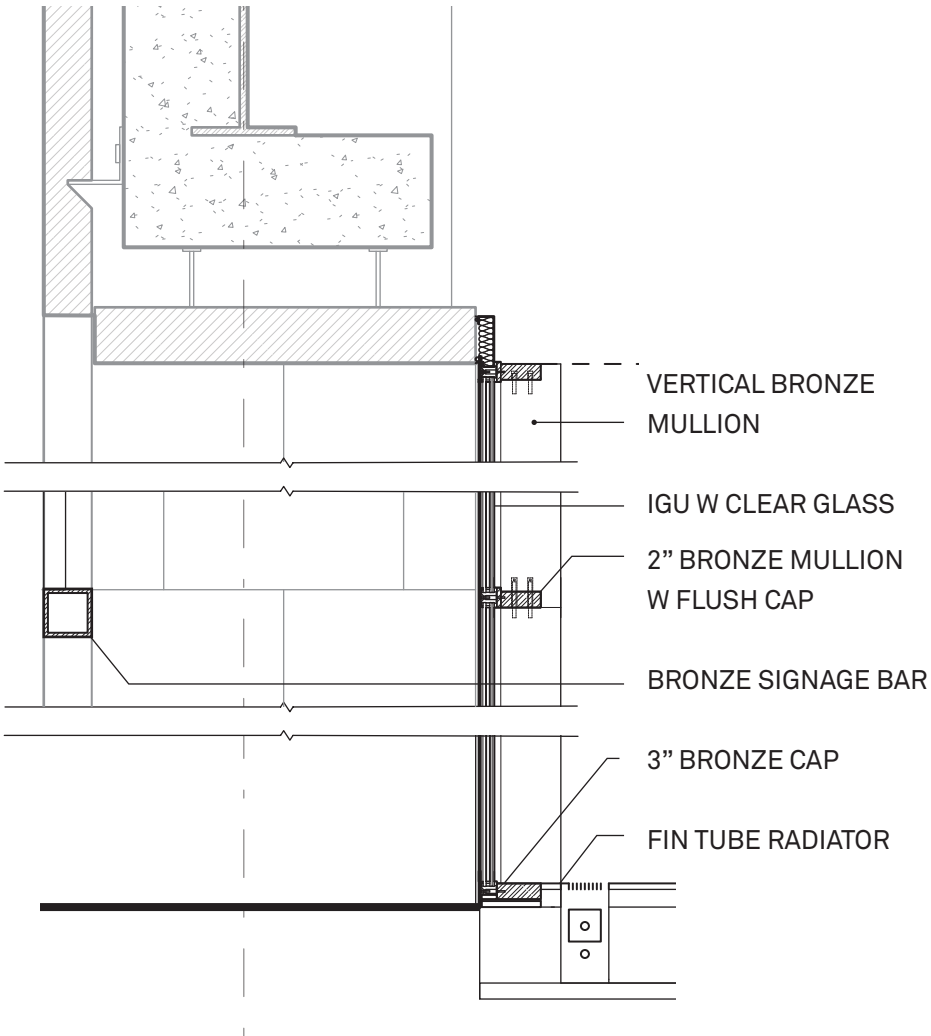
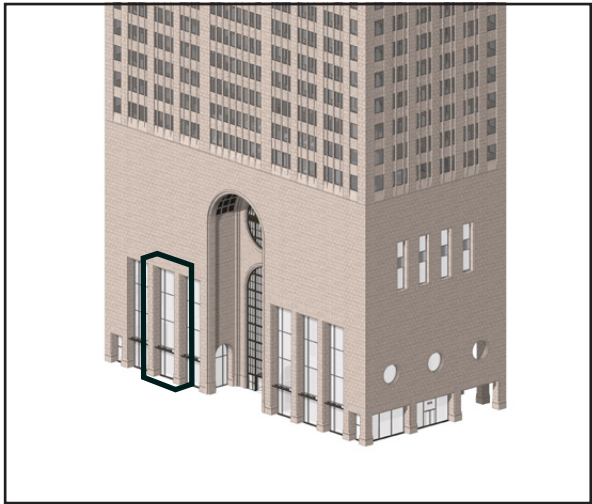
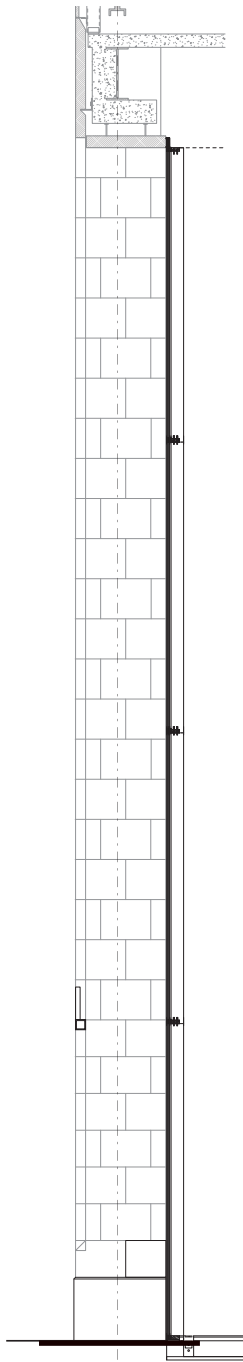
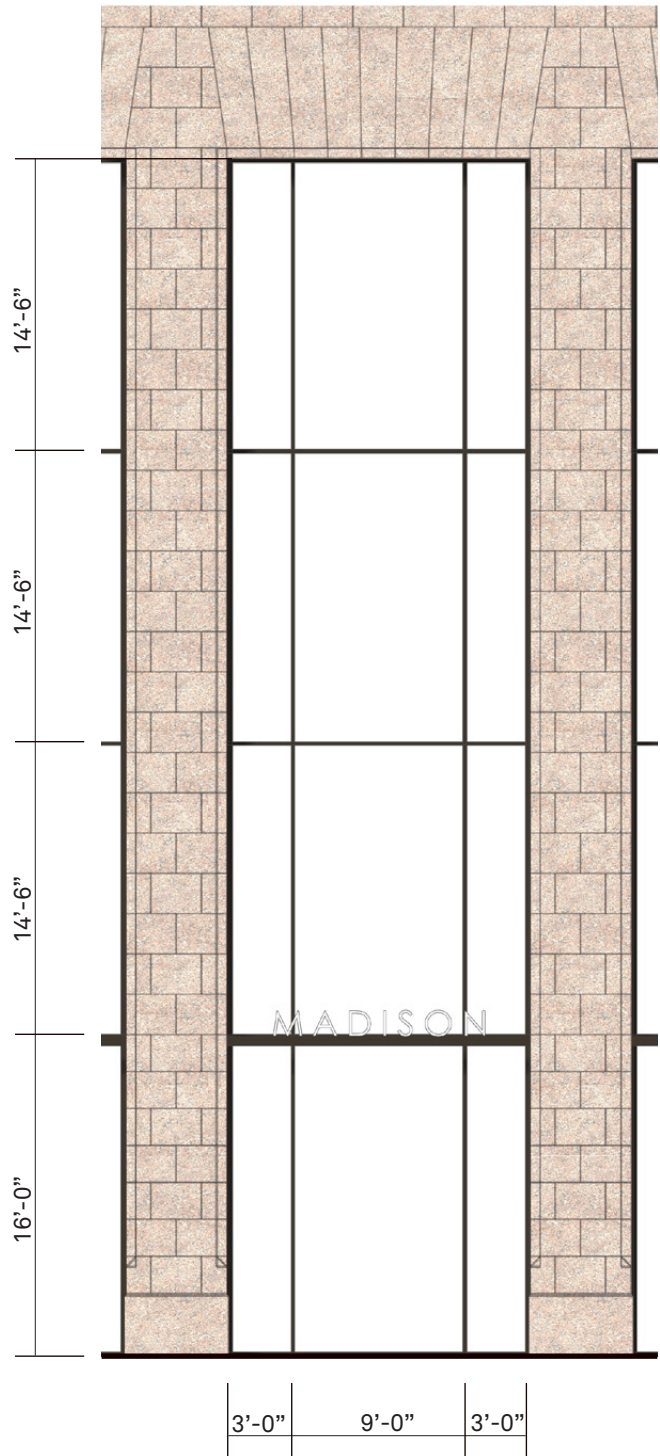
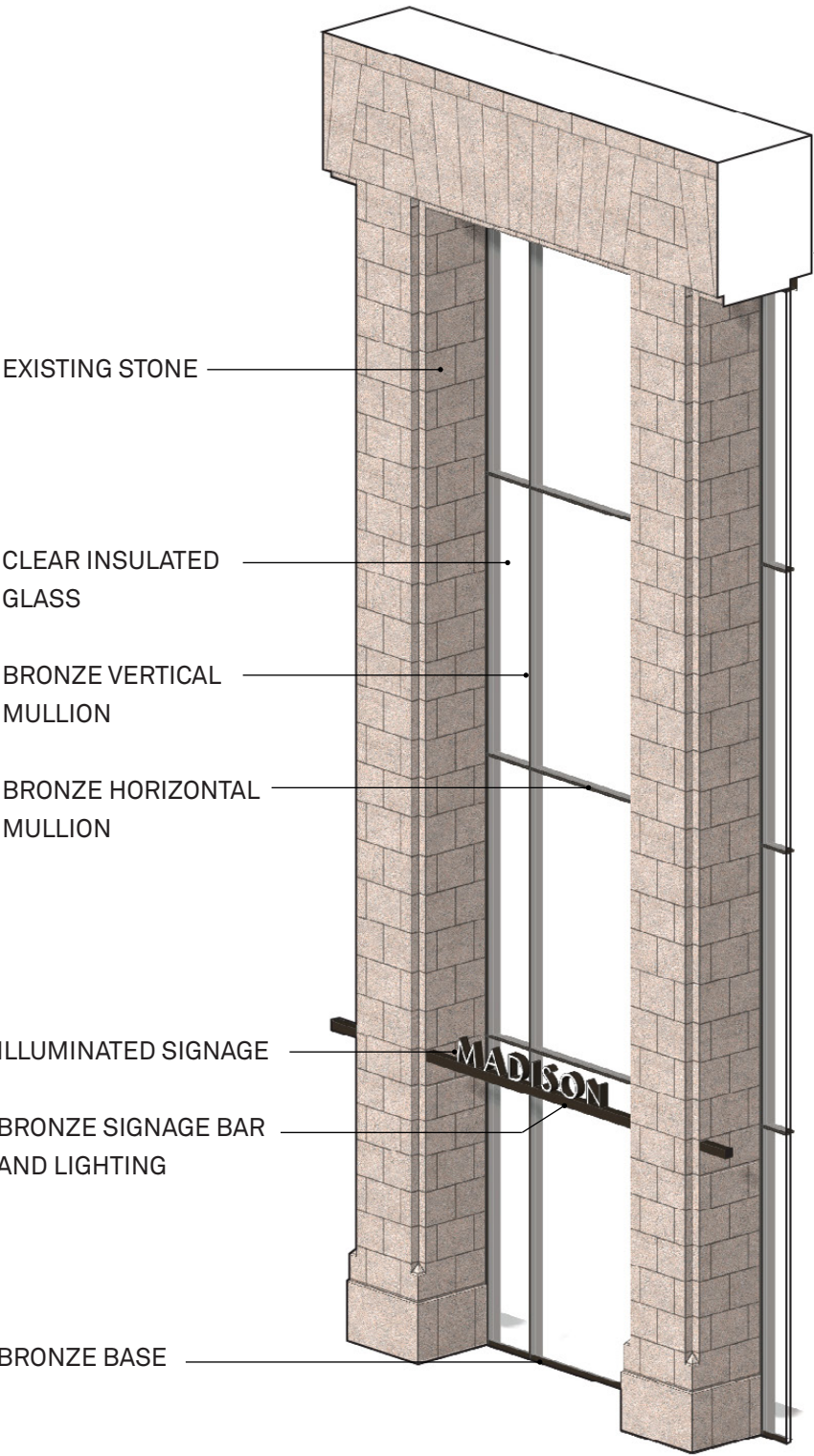
EXISTING



PROPOSED

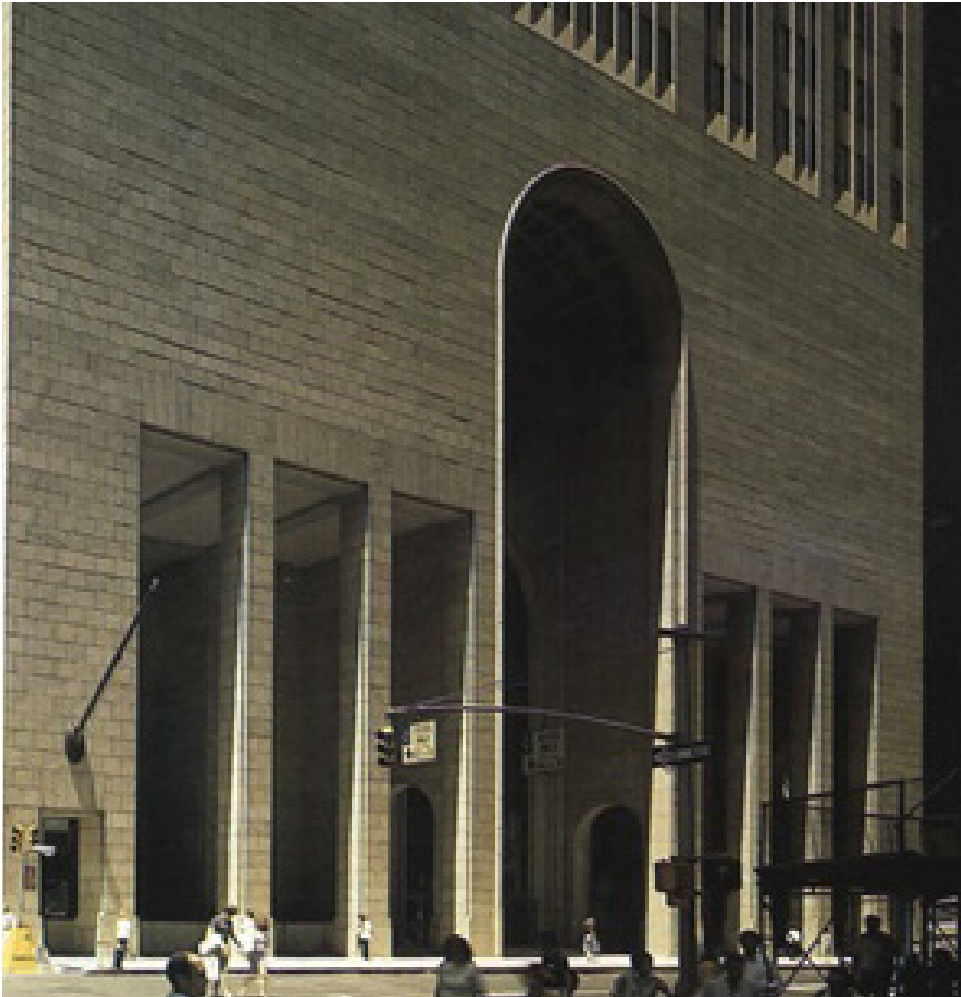


Flat Arch Glazing Details





Madison Avenue - Overall Looking Northwest



ORIGINAL



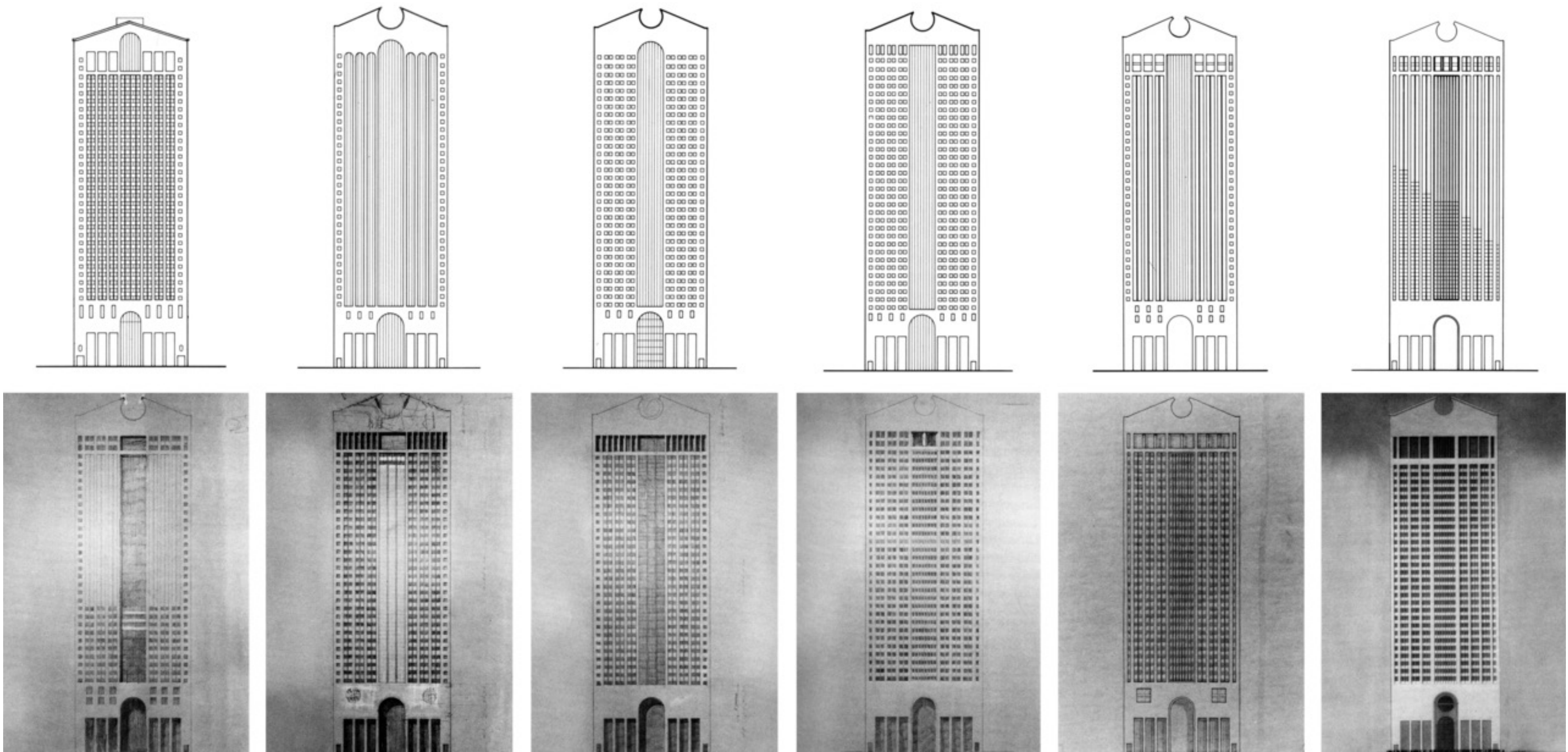
CURRENT



PROPOSED

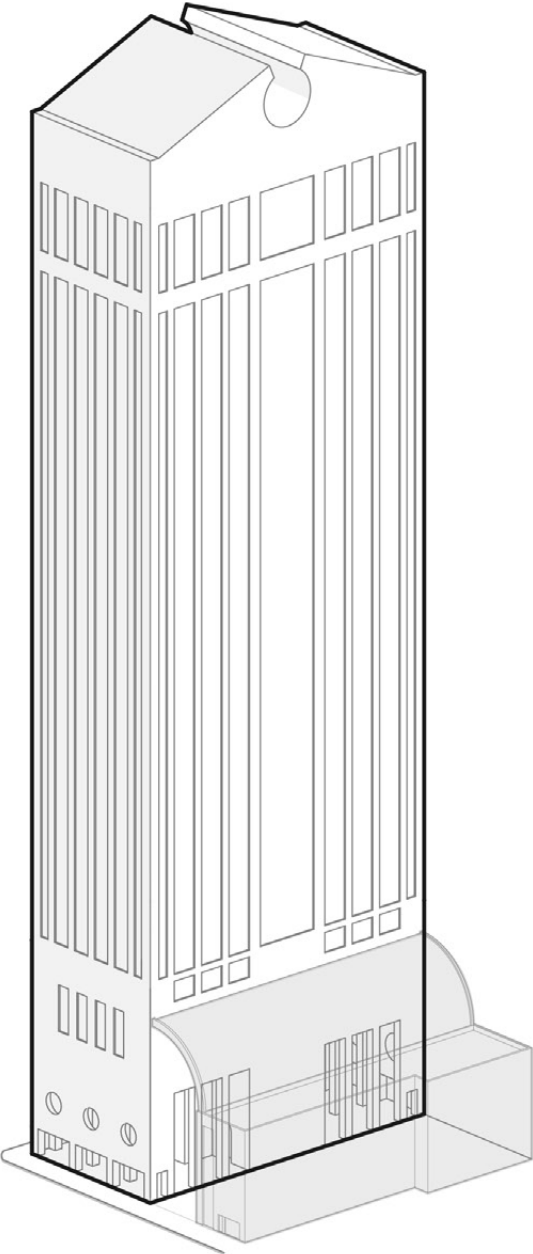


Johnson Burgee Tower Studies



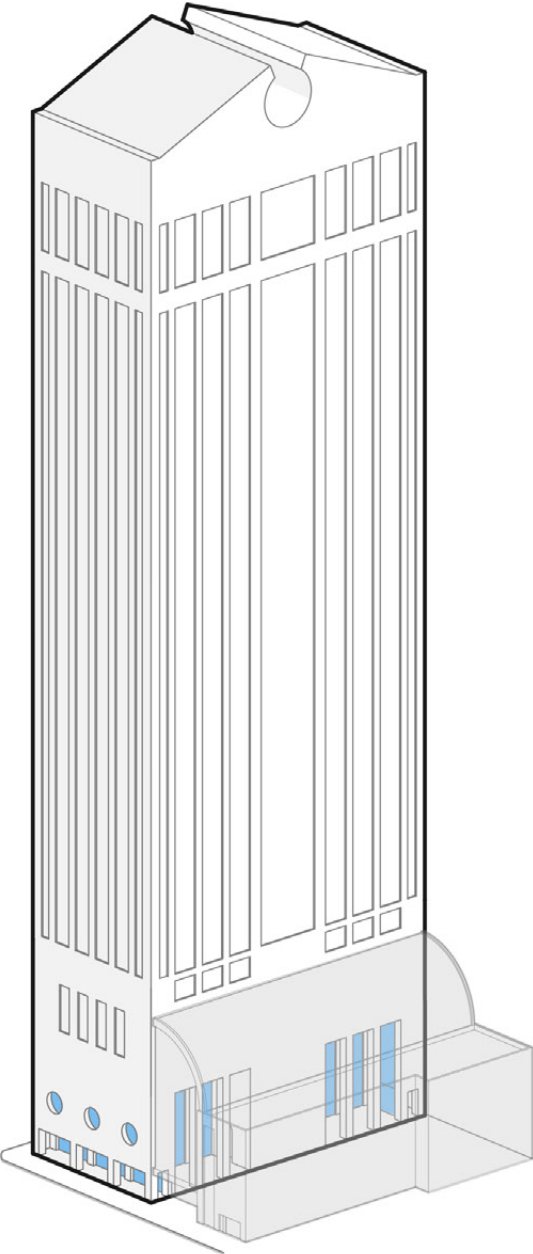


Tower Changes Over Time



ORIGINAL

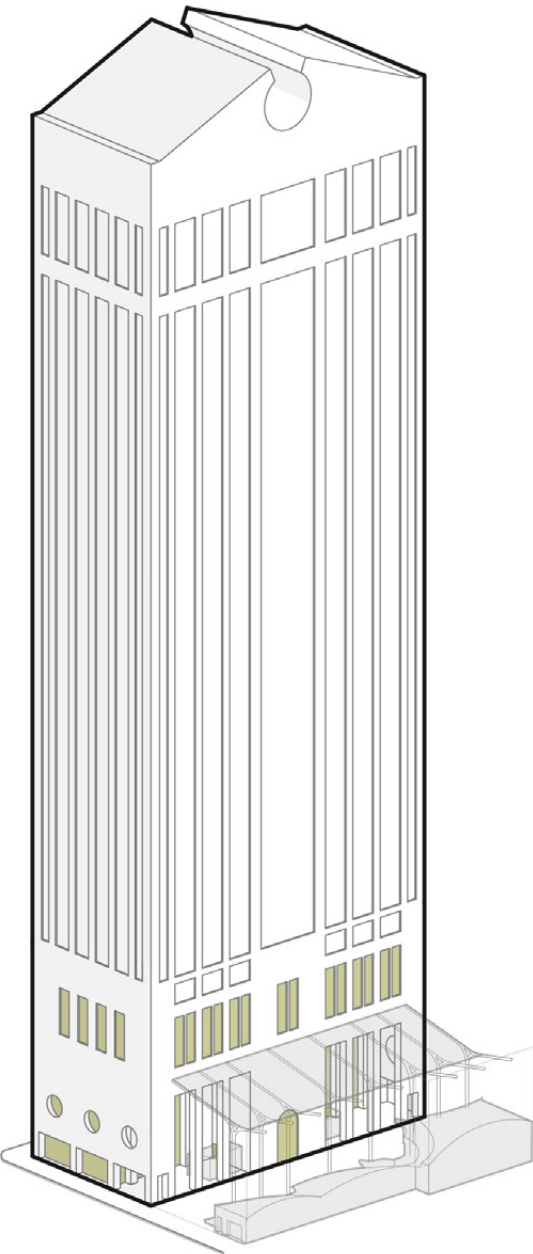
□ 1984



EXISTING

■ 1992

□ 1984



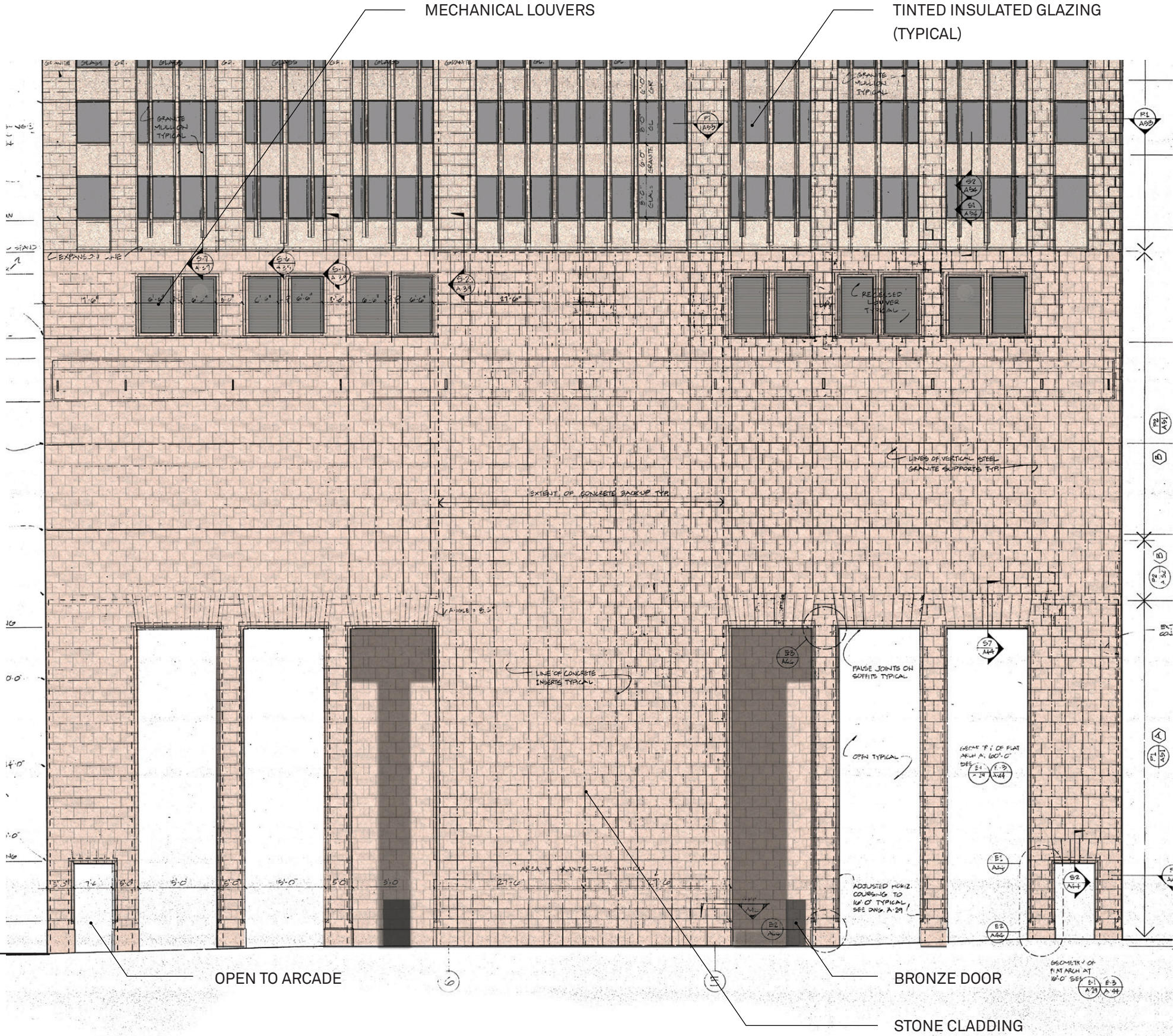
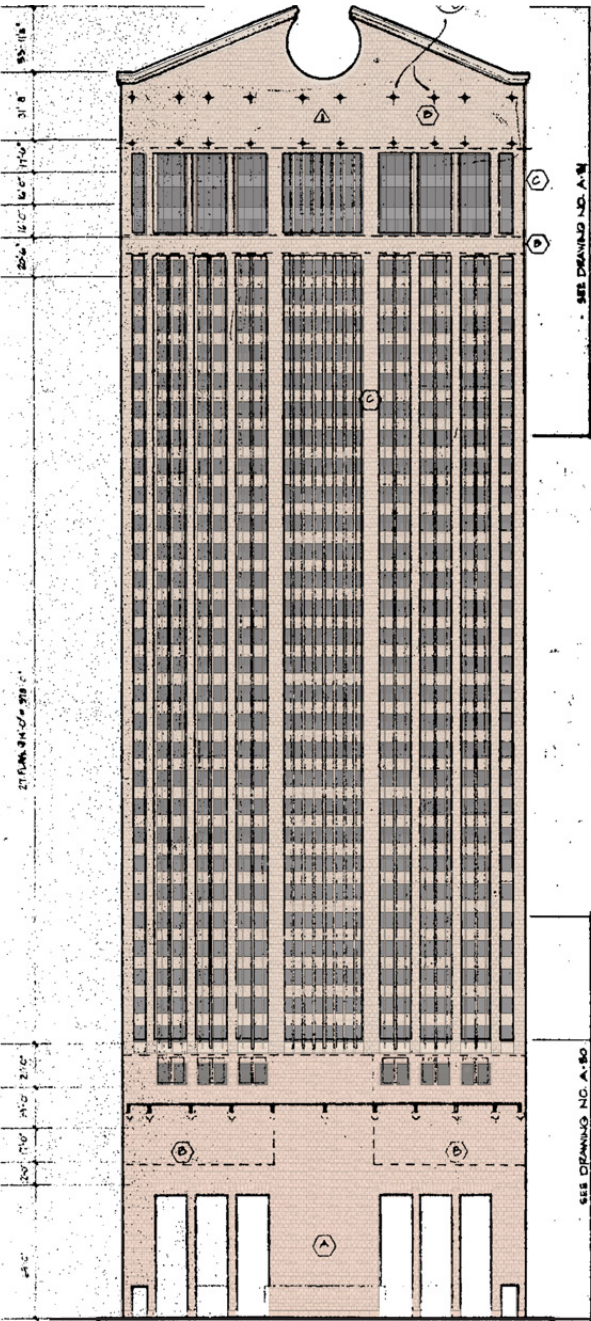
PROPOSED

■ Proposed

□ 1984

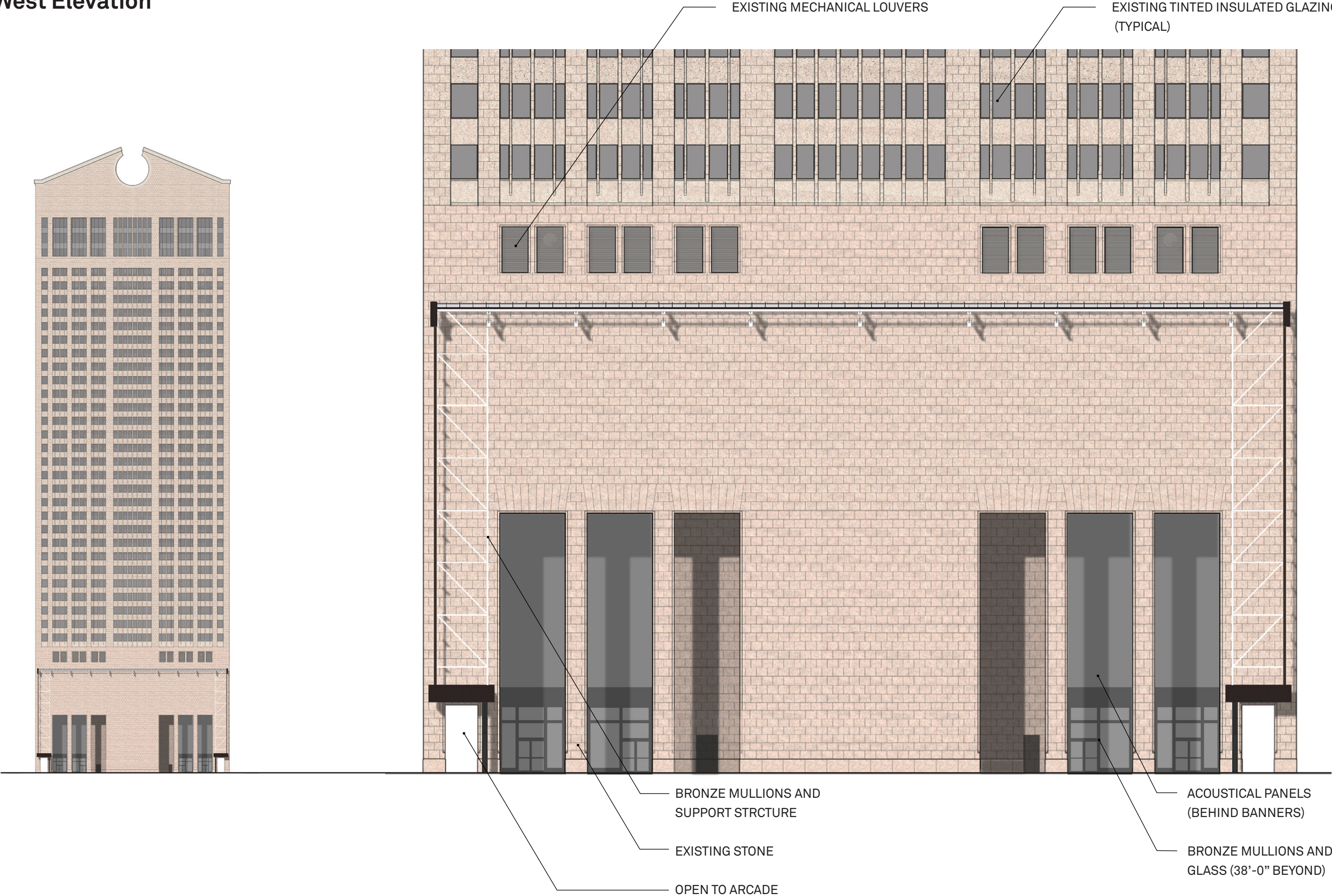


Original West Elevation





Existing West Elevation



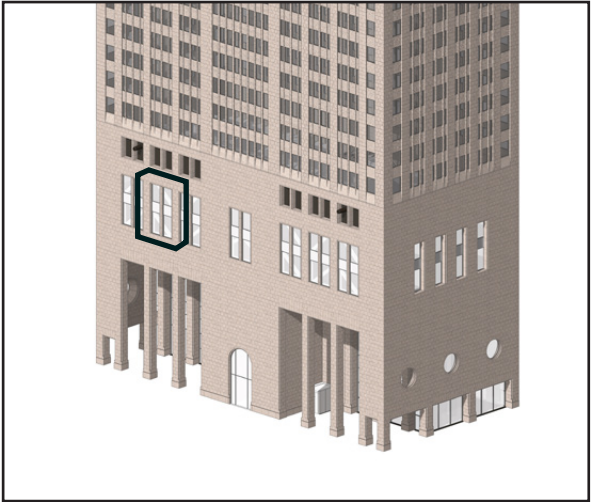
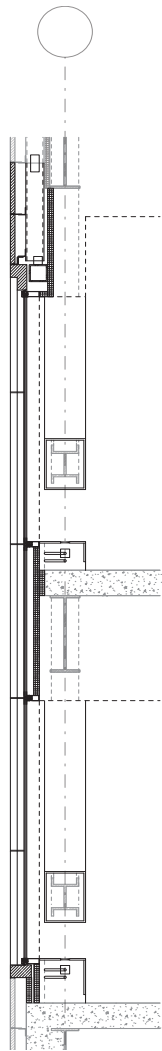
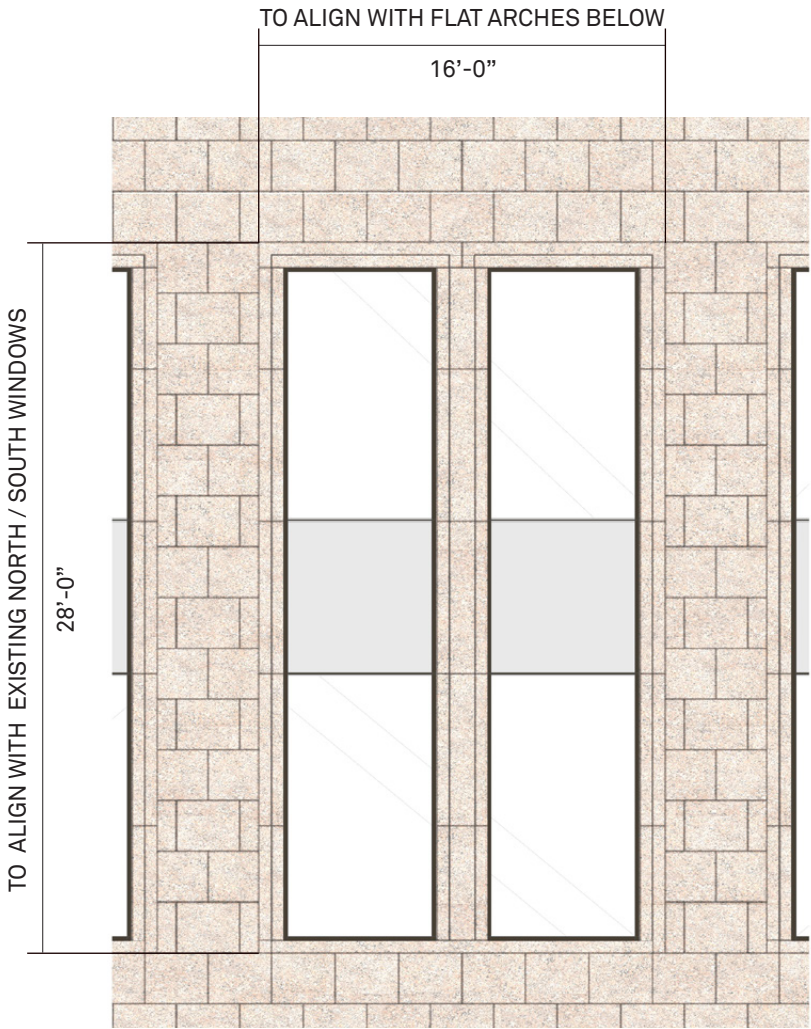
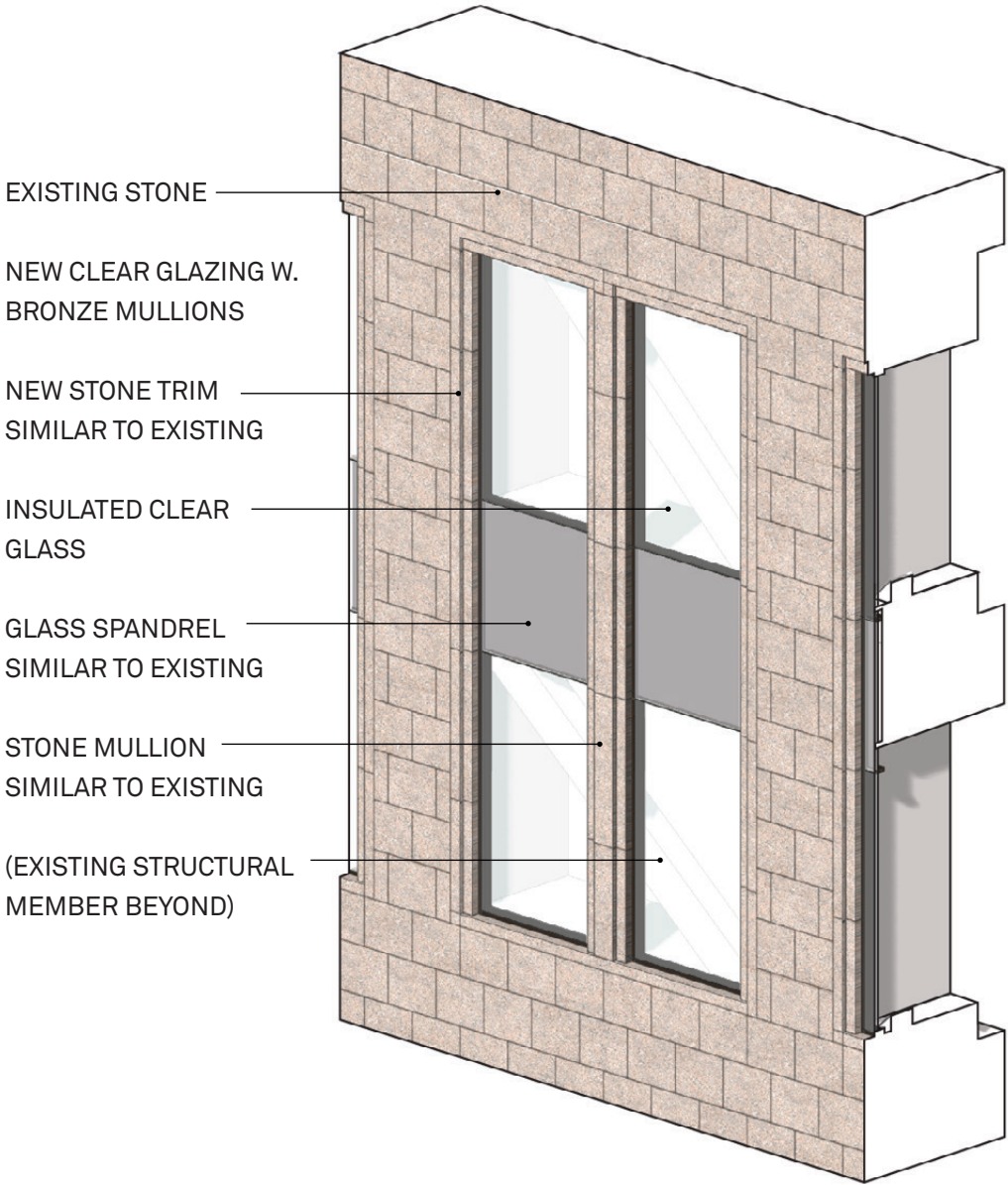


Proposed West Elevation

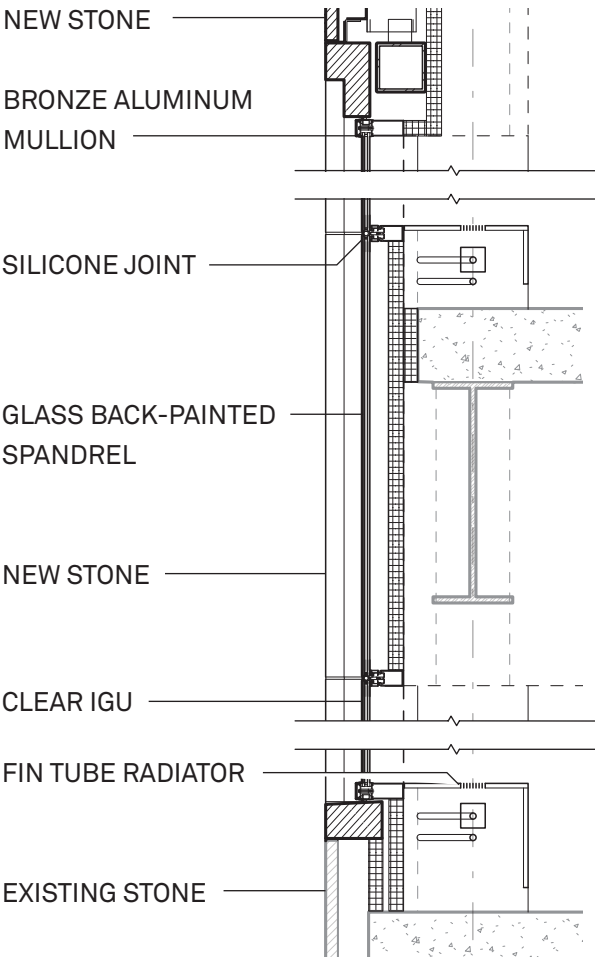




Sky Lobby / Amenity Glazing Details

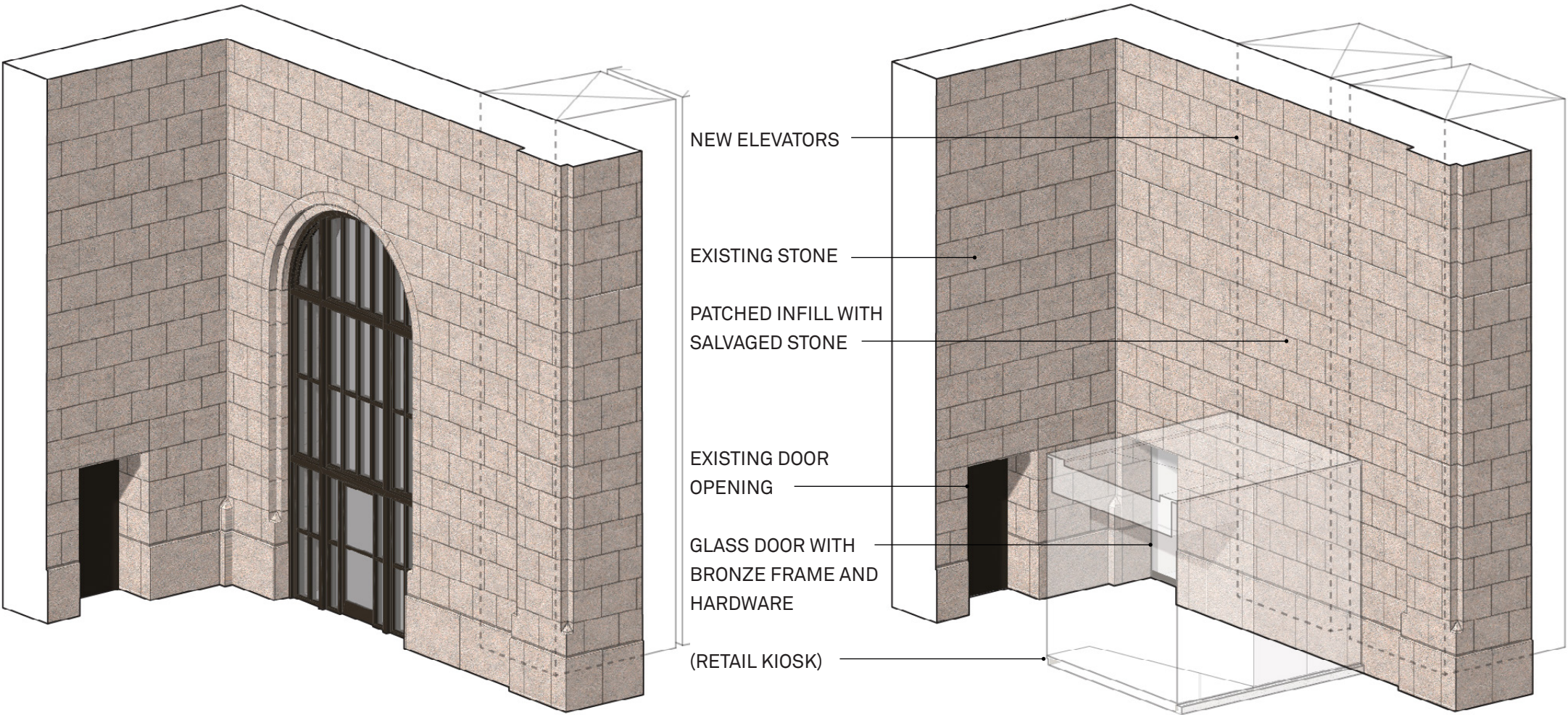


KEY AXON



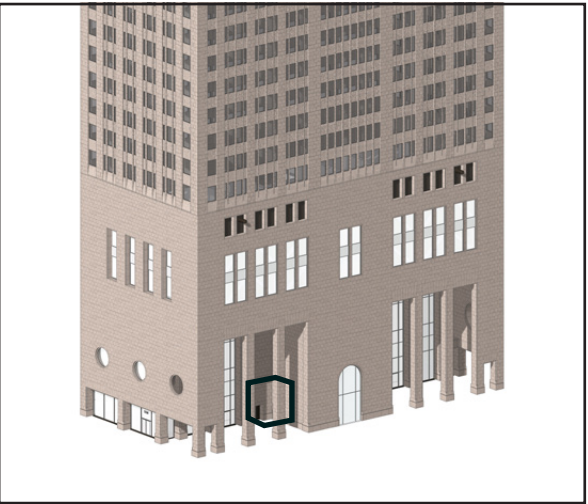


CPS to Lobby Entry Details

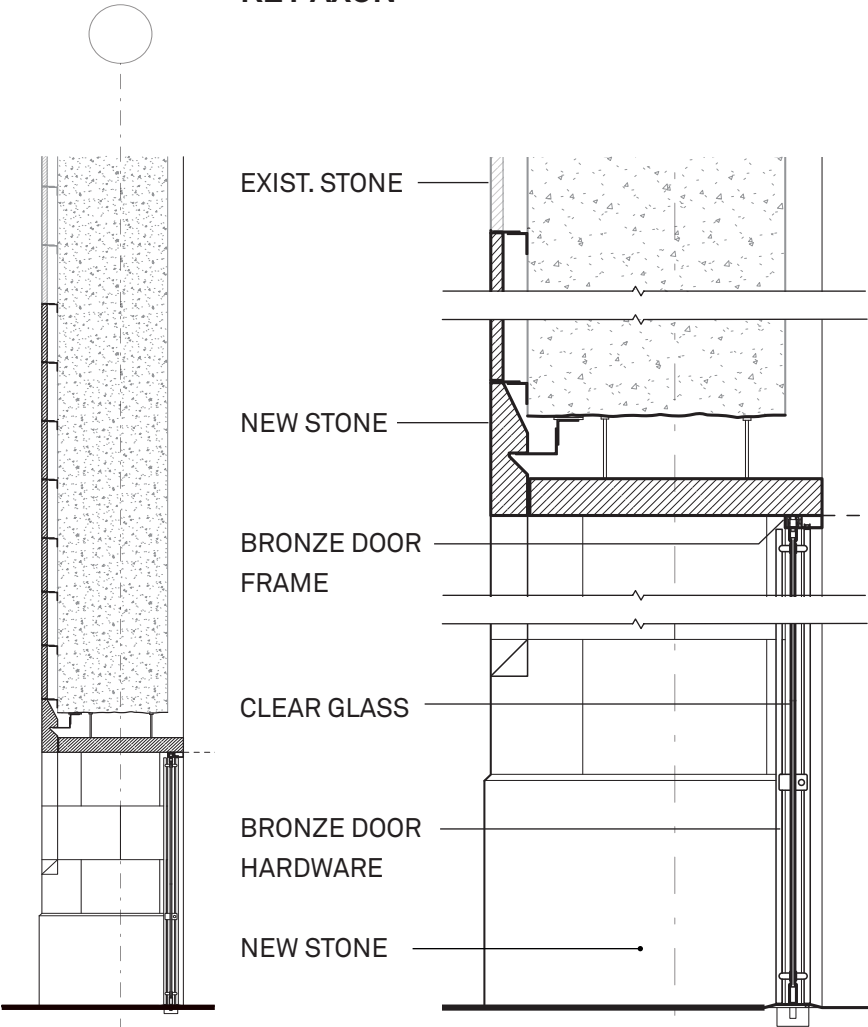


EXISTING

PROPOSED

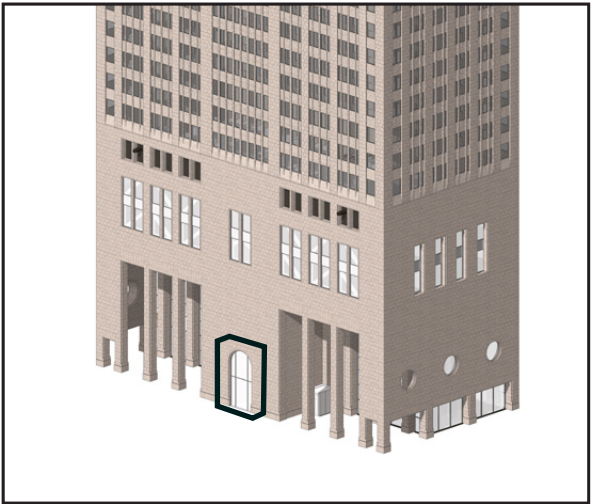
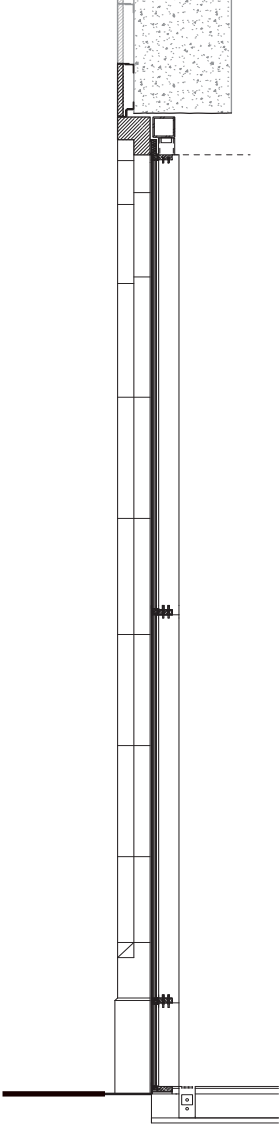
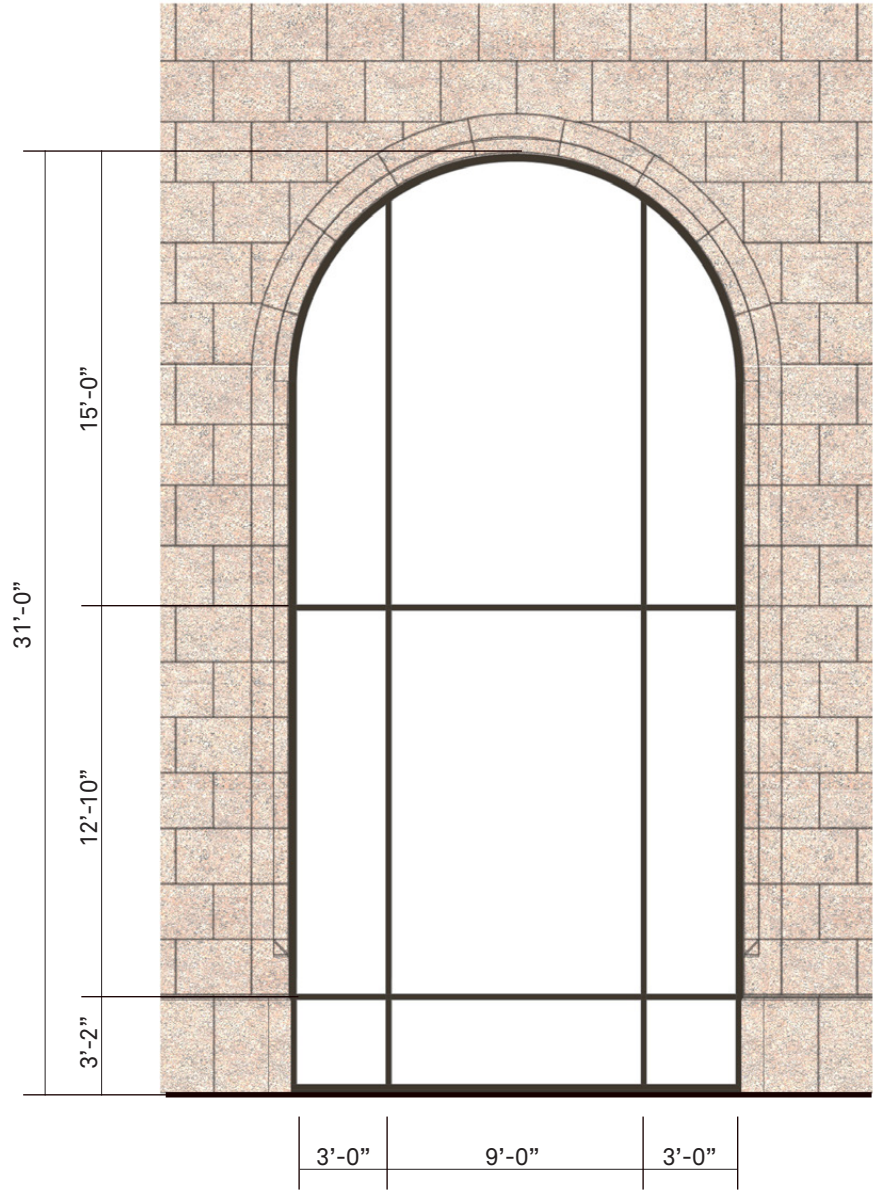
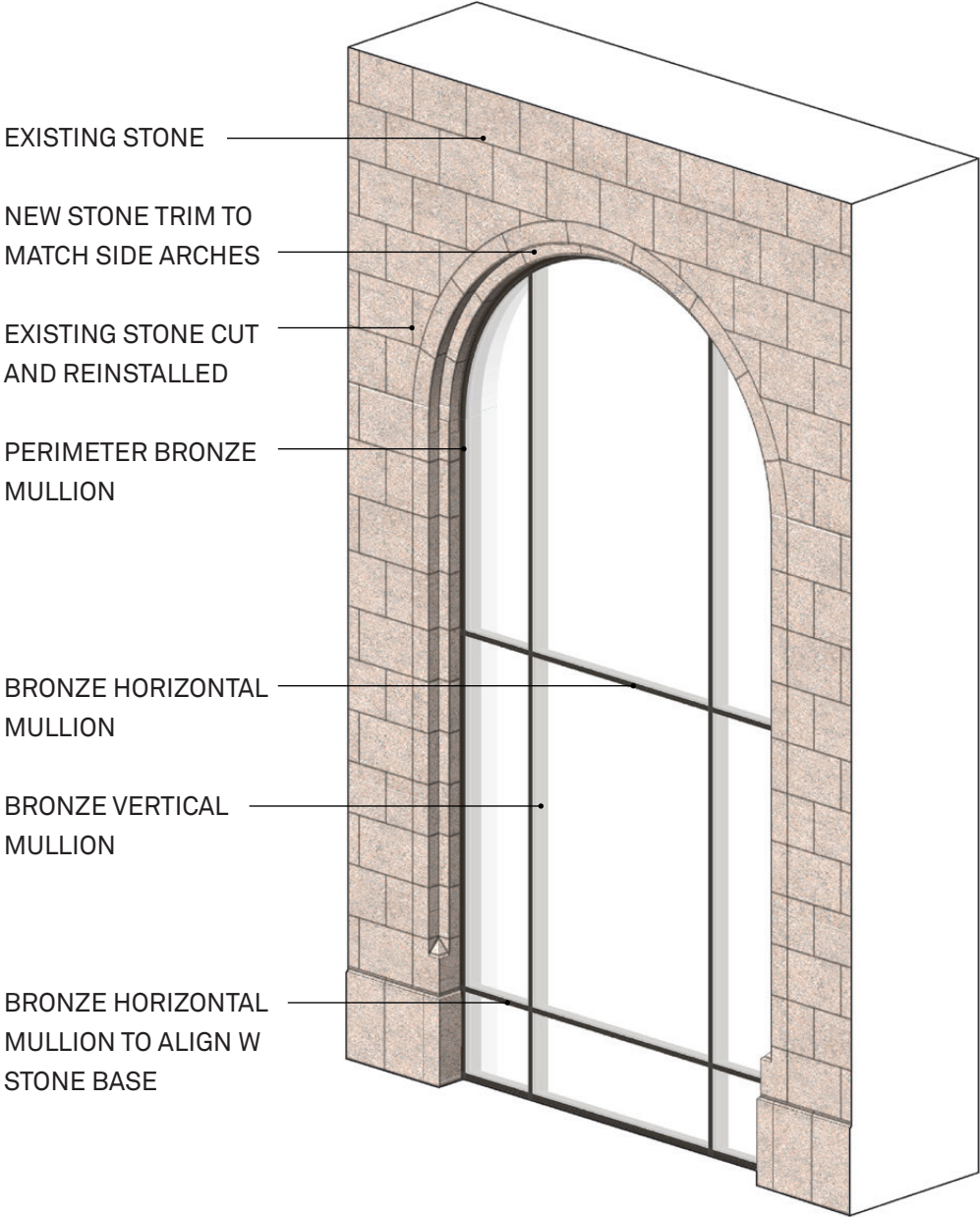


KEY AXON

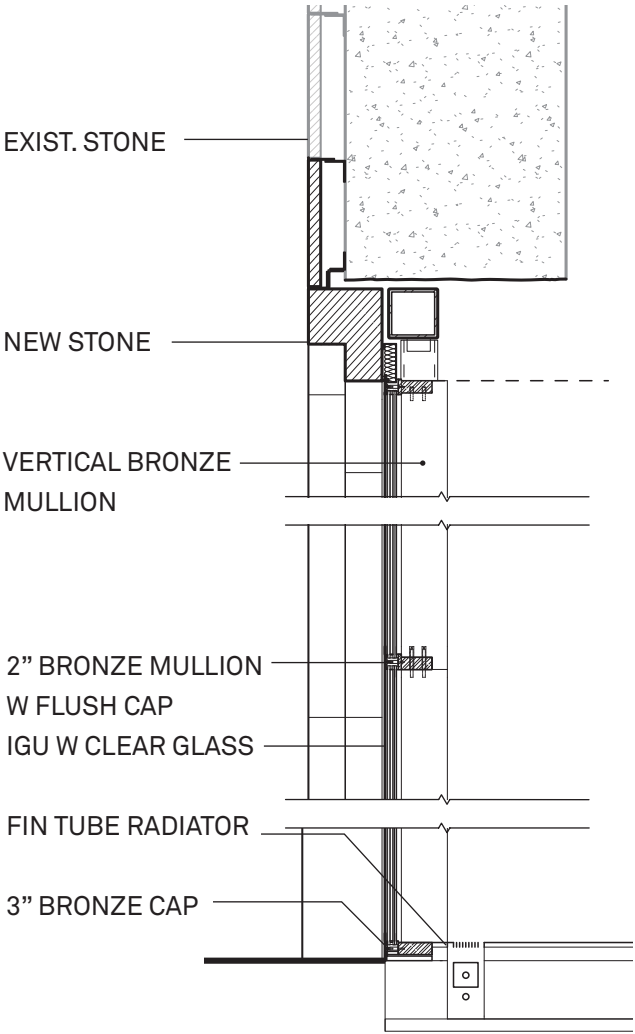




Picture Window Glazing Details



KEY AXON

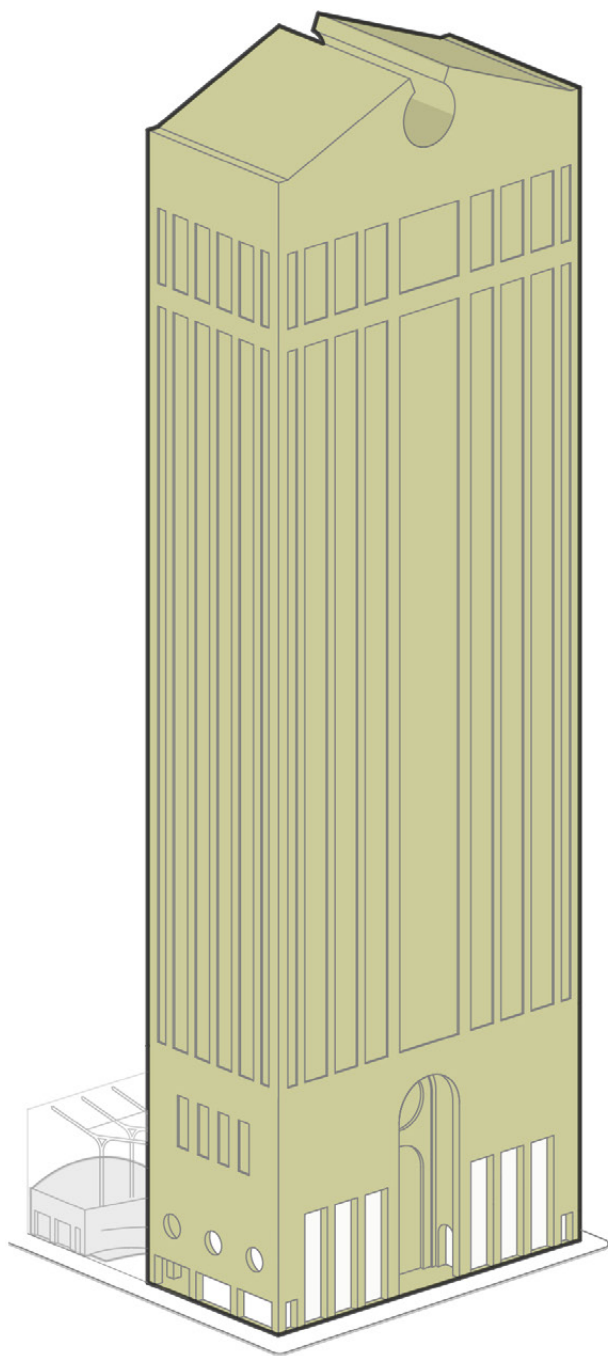




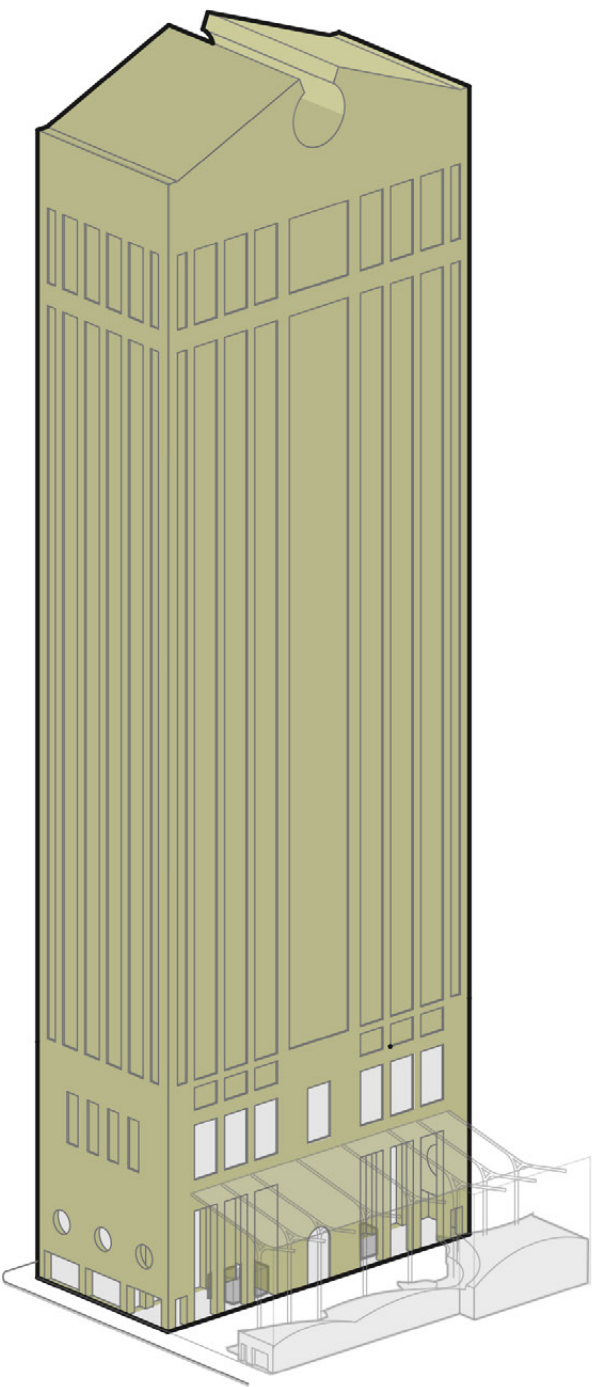




Preserving the Tower



MADISON AVE



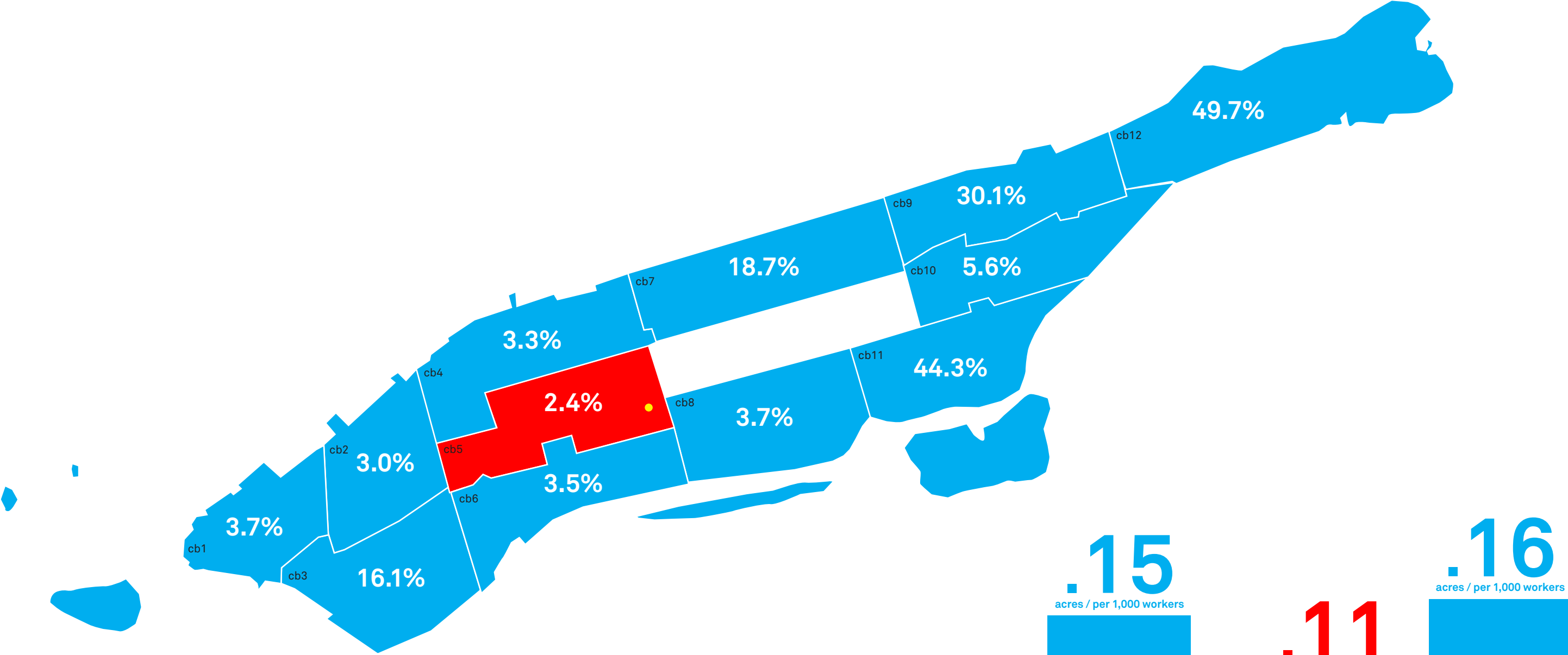
PUBLIC SPACE

94%  
of the original Tower  
surface area will  
remain unchanged  
from the original.

- Original to remain
- Proposed changes

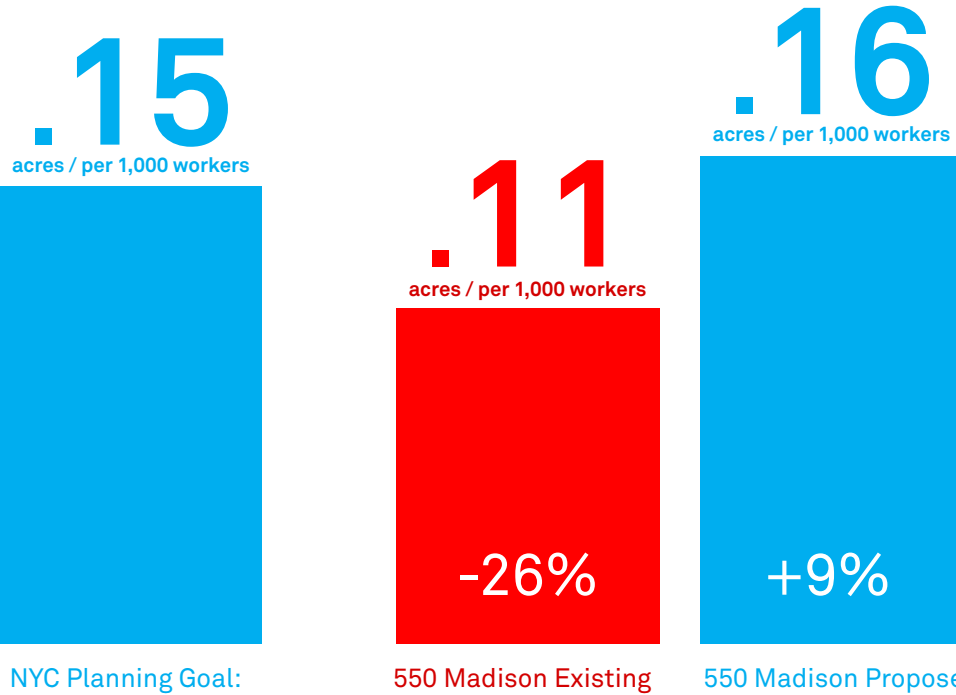


Neighborhood Open Space Needs



Community Board 5 has the least amount of land dedicated to Open & Recreation Space in Manhattan

Sources: NYC Planning Community District Profiles 2017, HudsonYardsNewYork.



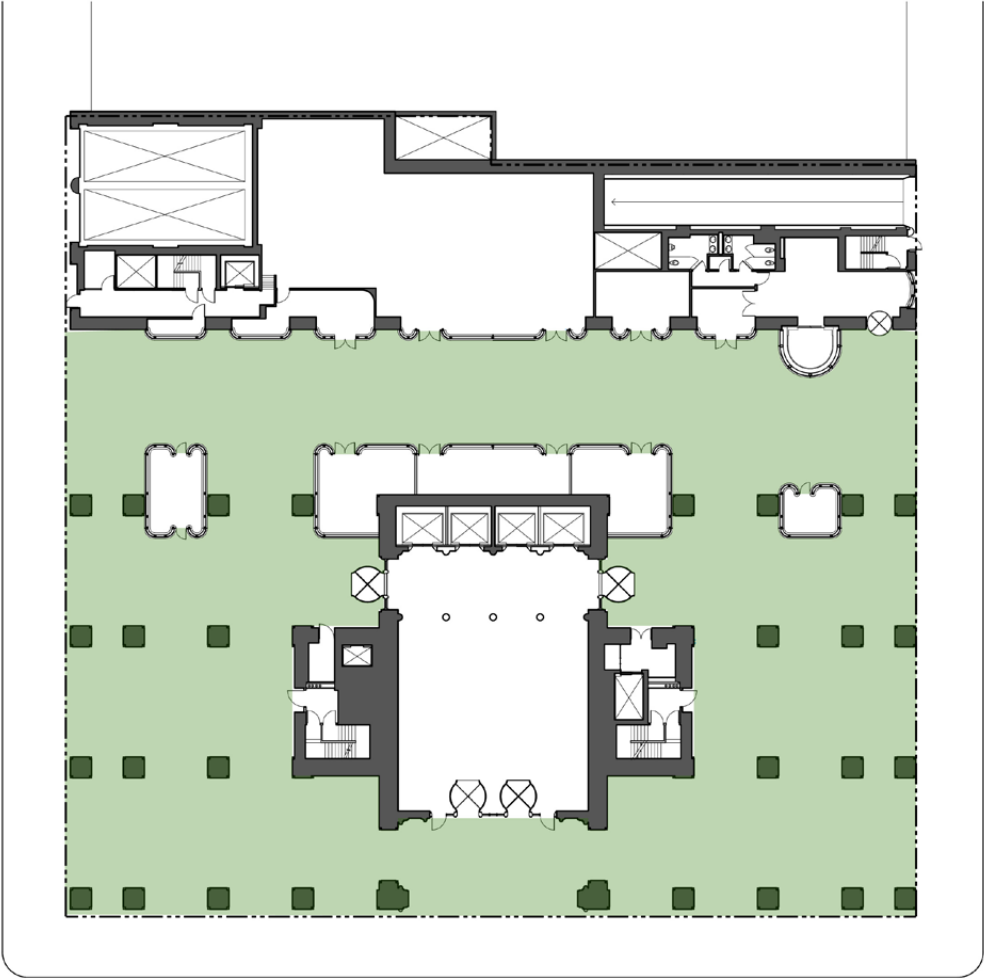


Neighboring Outdoor Spaces

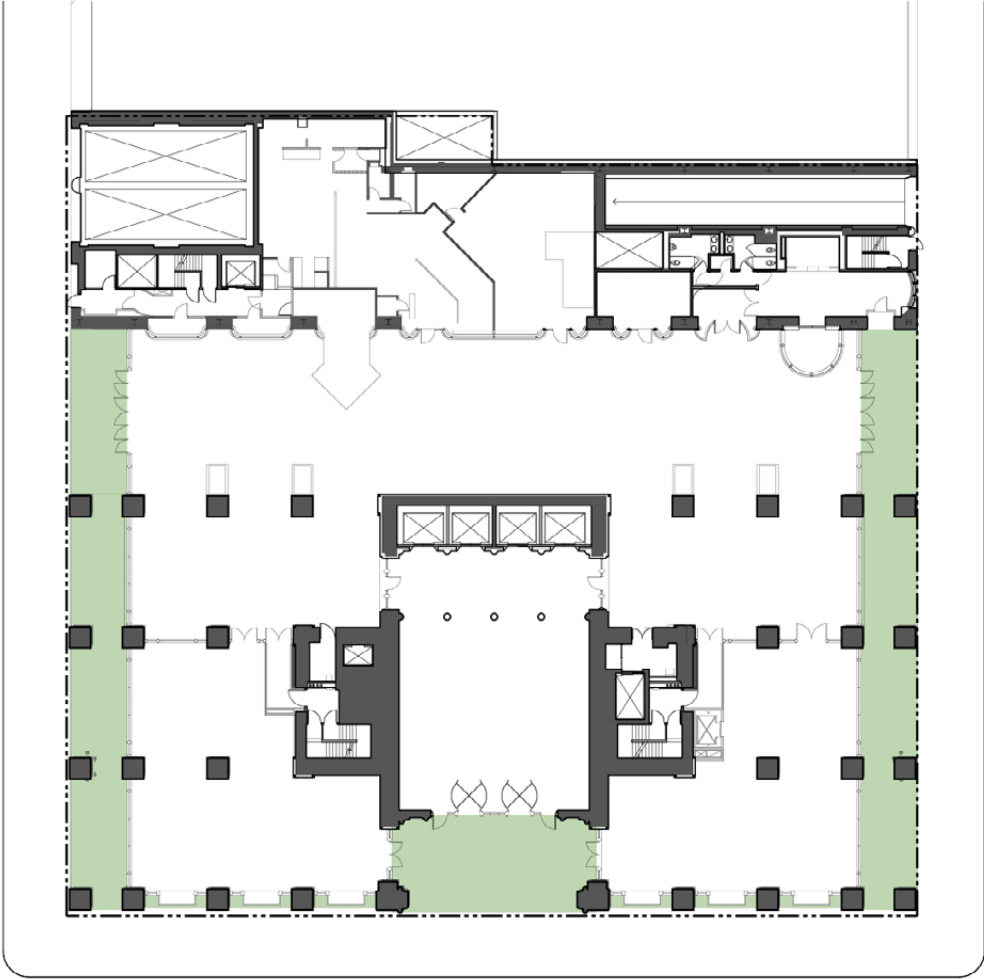




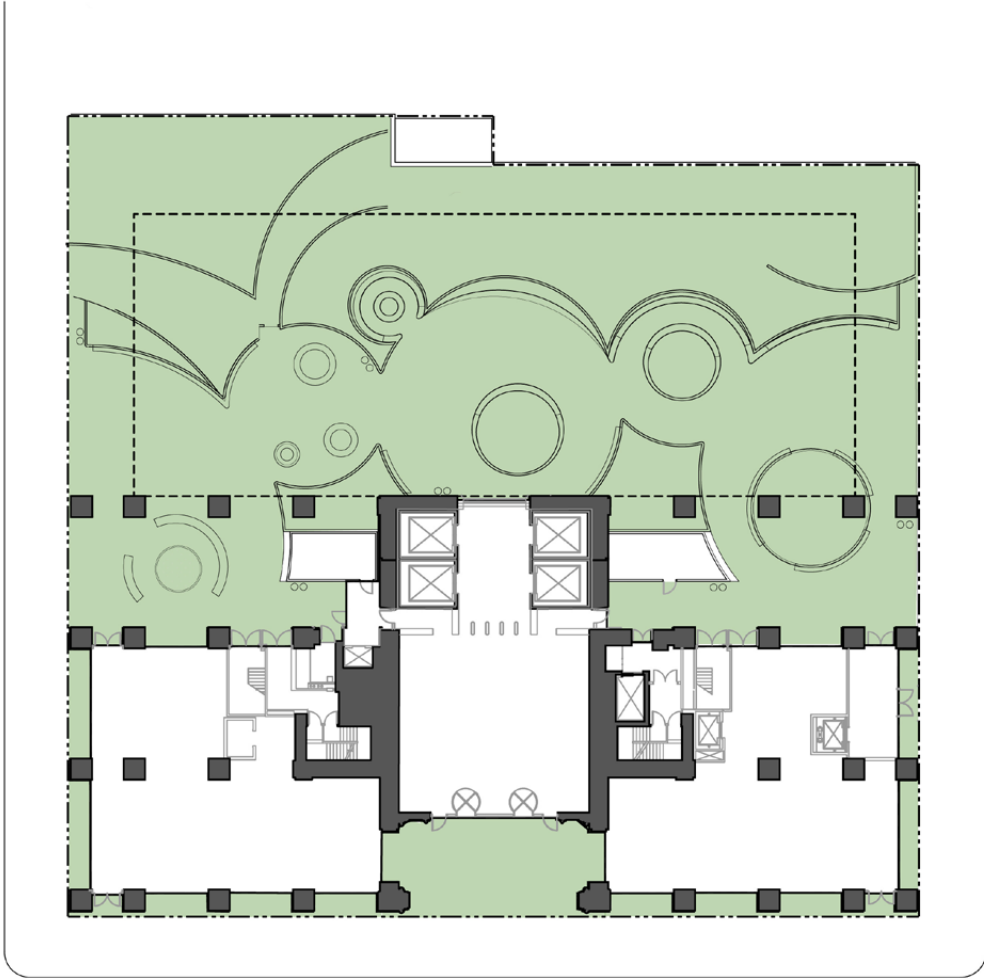
Consolidating Outdoor Public Space



ORIGINAL PLAN 1984 (OUTDOOR PUBLIC SPACE~20,500 SF)



EXISTING PLAN (OUTDOOR PUBLIC SPACE~4,500 SF)



PROPOSED PLAN (OUTDOOR PUBLIC SPACE: ~21,300 SF)



Context





Designed Landscapes with Philip Johnson



The Glass House, New Canaan, CT (1949)



Sculpture Garden at MoMA, New York, NY (1953)



Fort Worth Water Gardens, Fort Worth, TX (1974)



Thanksgiving Square Garden, Dallas, TX (1976)



Gerald D. Hines Waterwall Park, Houston, TX (1985)



Da Monsta, New Canaan, CT (1995)



Concrete in Philip Johnson's Work



Fort Worth Water Gardens, Fort Worth, TX (1974)



Thanksgiving Square Garden, Dallas, TX (1976)



Beck House, Dallas, TX (1965)



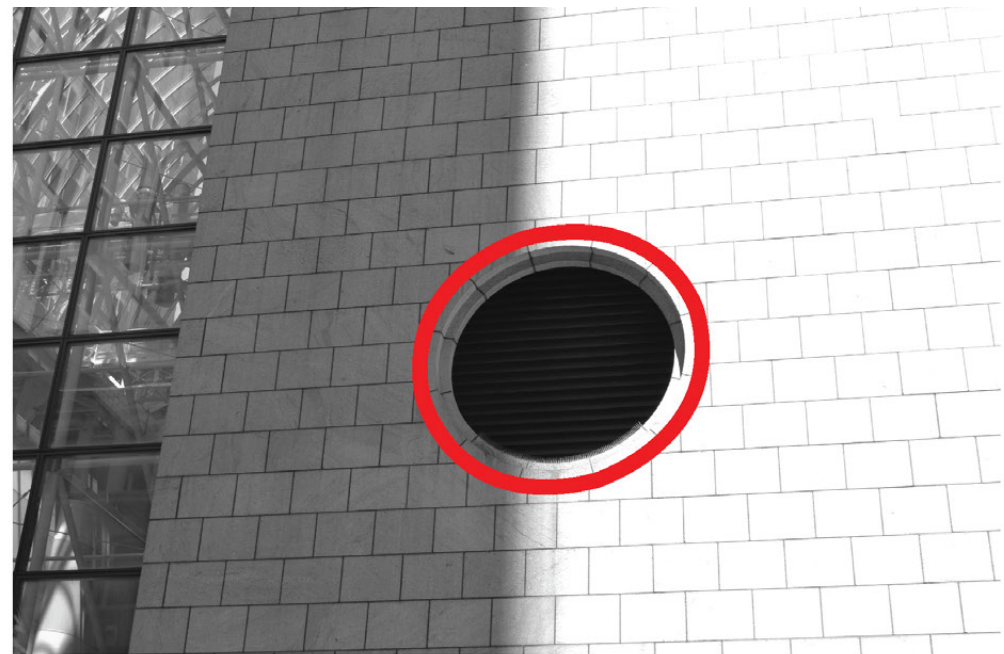
Untitled (Donald Judd), Glass House. New Caanan, CT (1971)



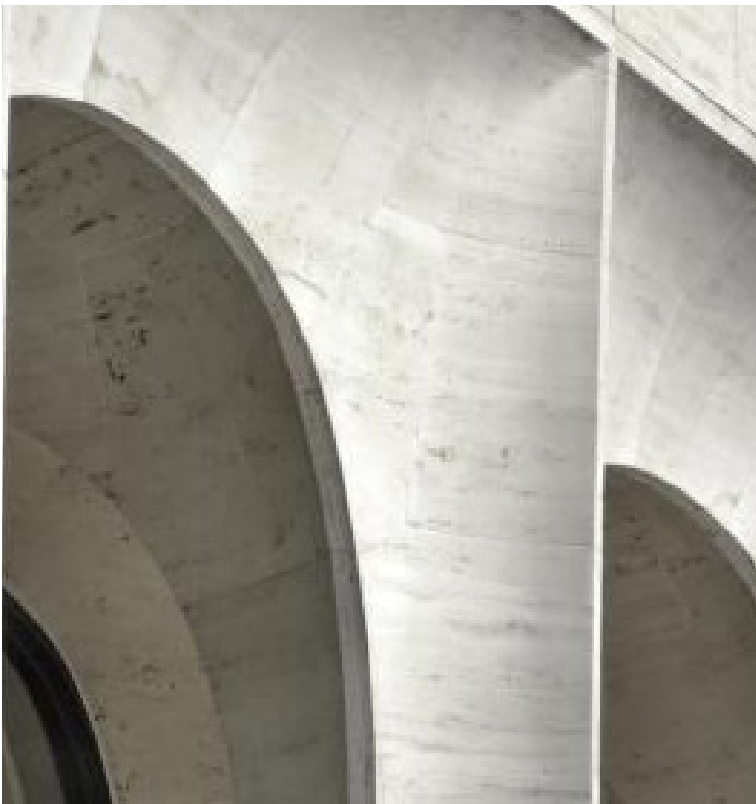
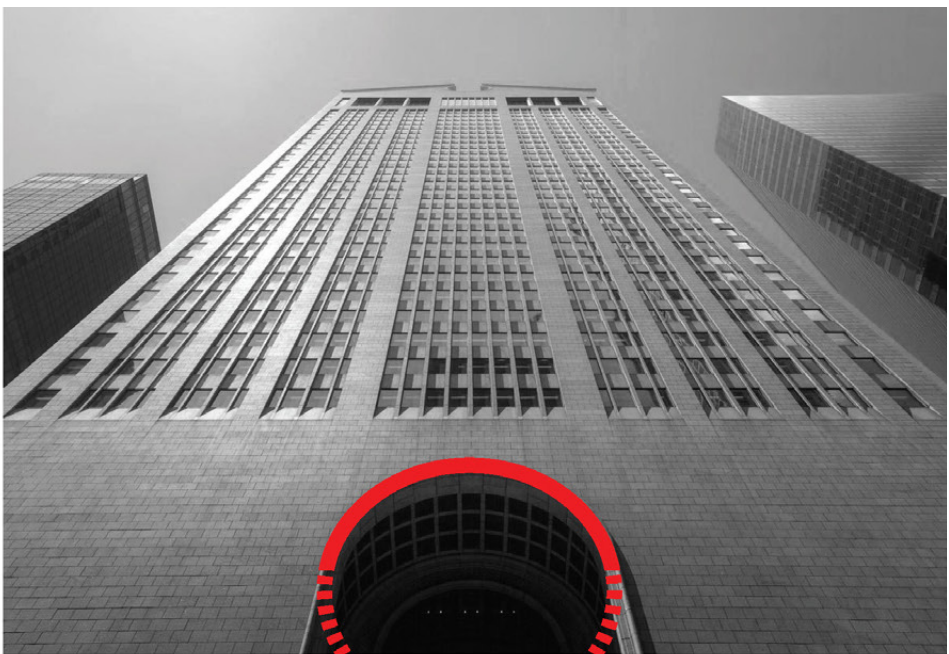
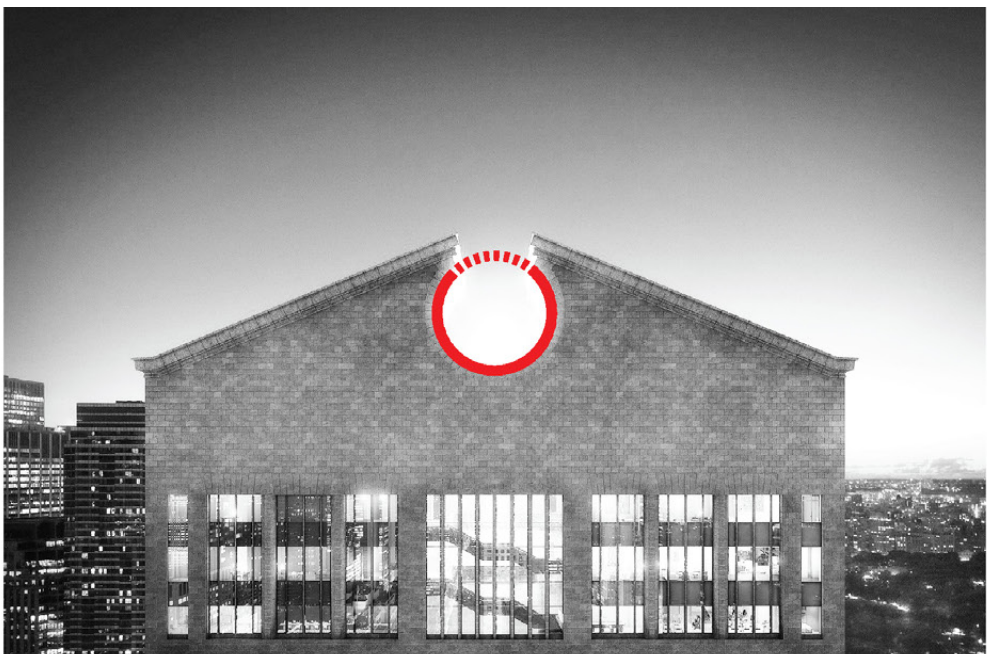
Painting Gallery - Wall detail, Glass House. New Caanan, CT (1965)



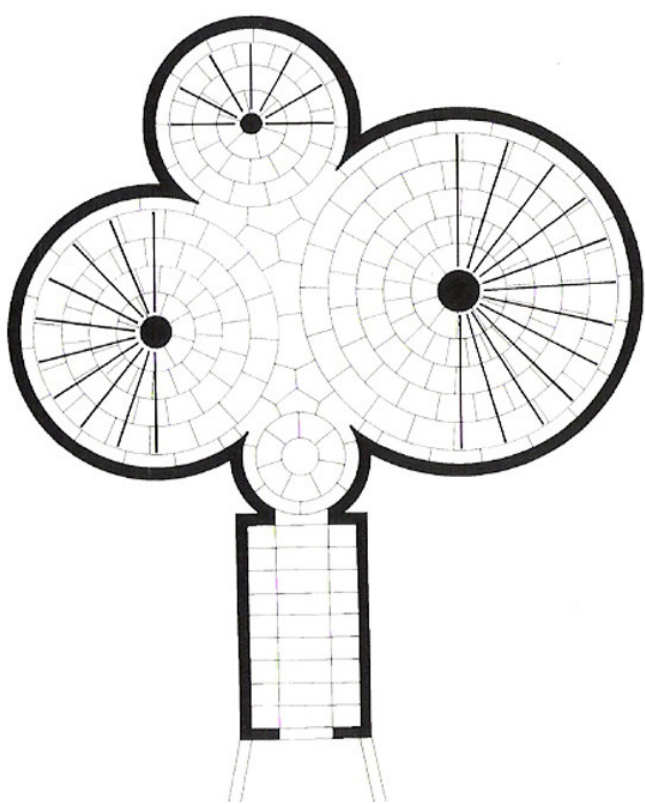
Repeating Motifs



550 Madison Avenue, New York, NY (1984)



Sheldon Museum of Art, Lincoln, NE (1963)



Painting Gallery Plan, New Canaan, CT (1965)



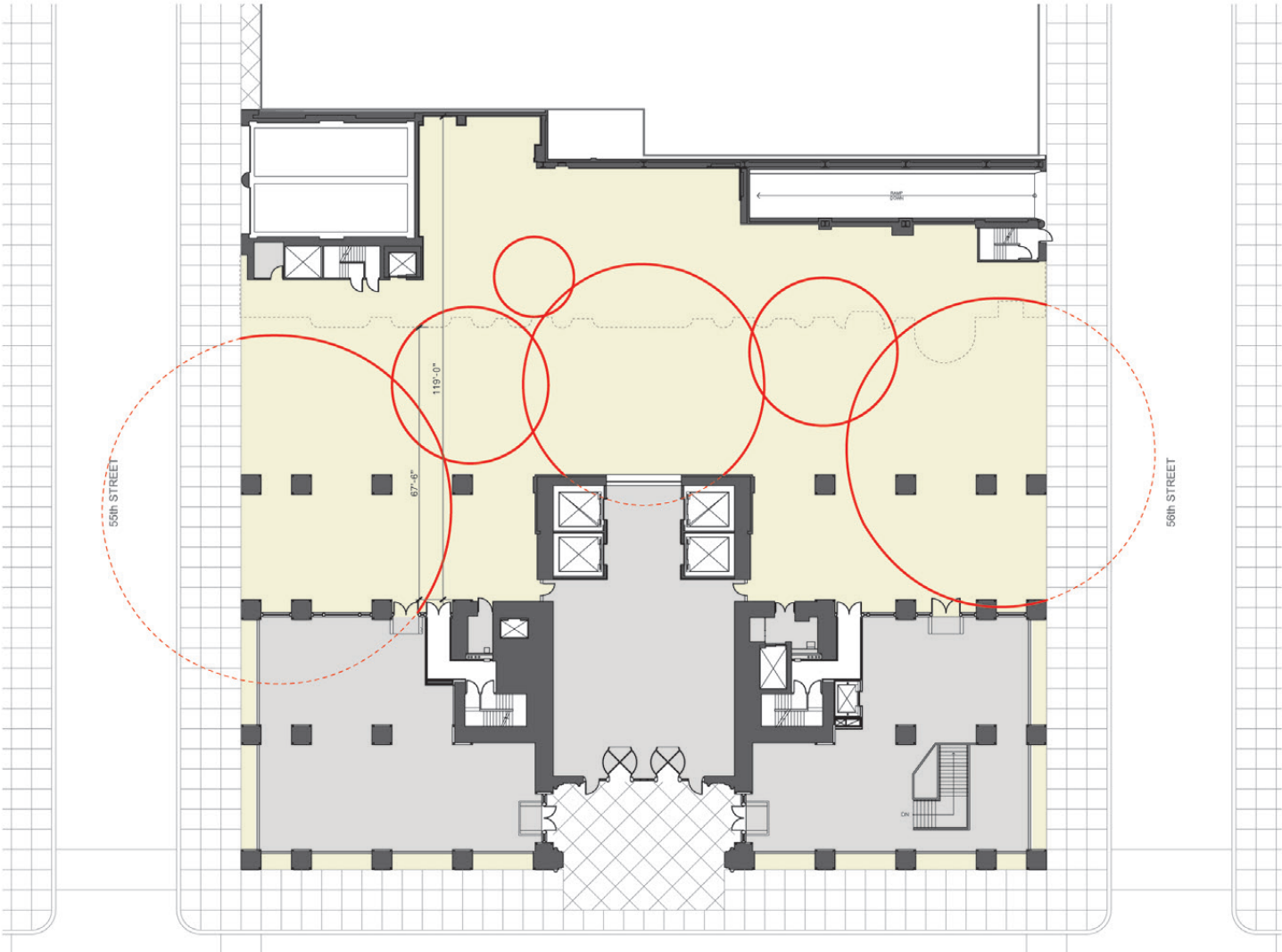
Thanksgiving Square Chapel, Dallas, TX (1976)



Chapel of St. Basil, Houston, TX (1997)



Plan Orgranizaton



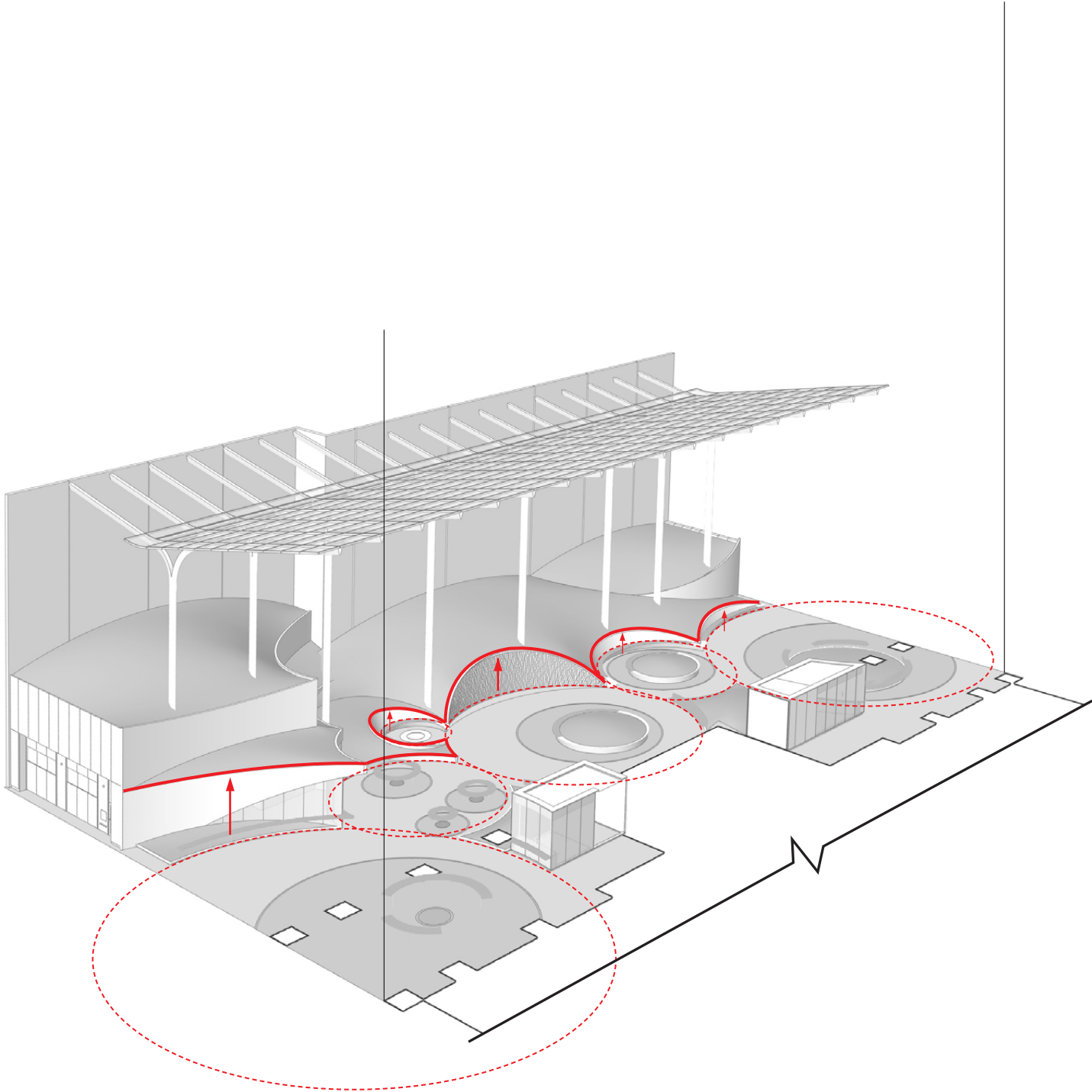
PROPOSED GEOMETRIC FRAMEWORK



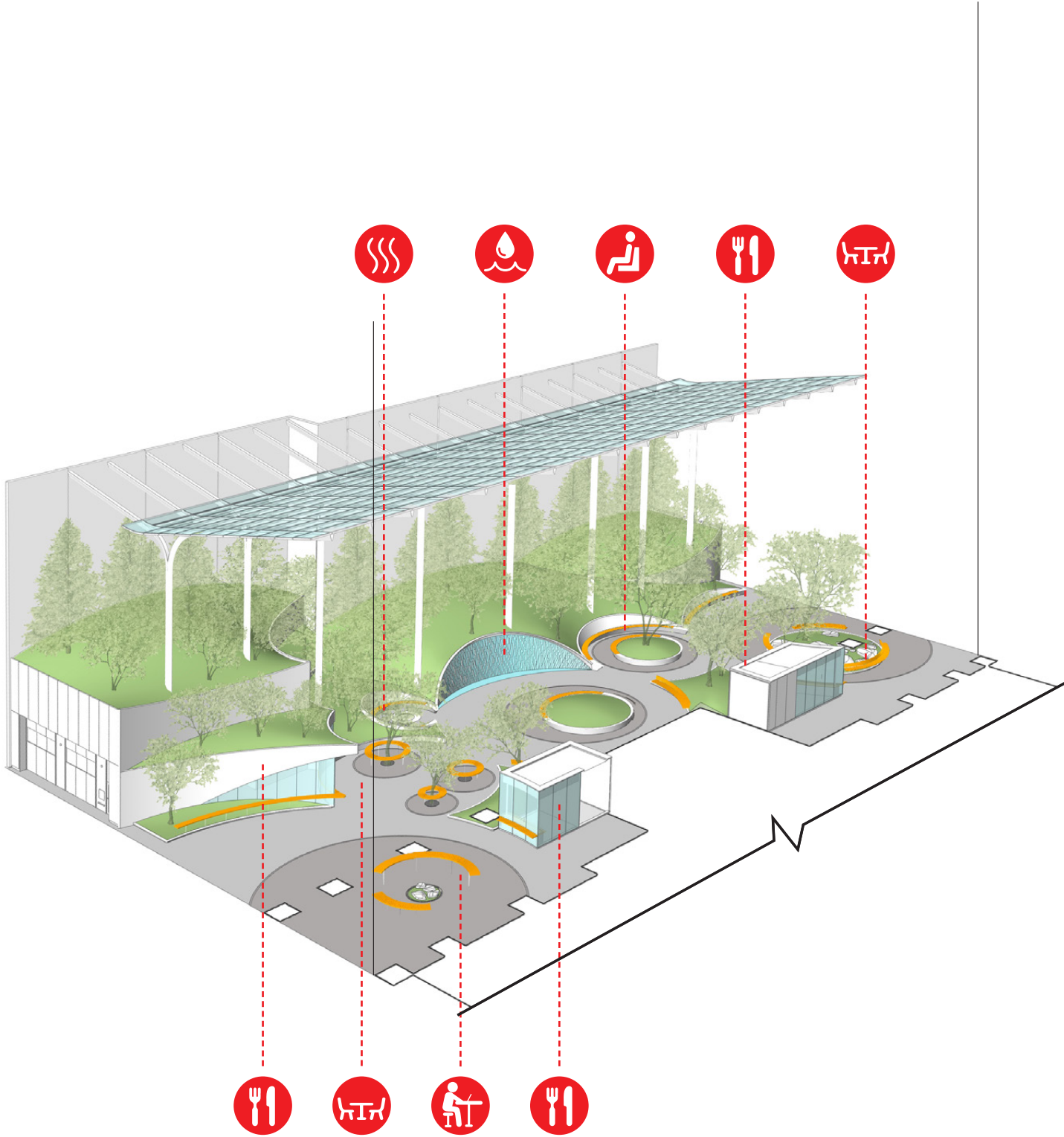
PROPOSED ORGANIZATION OF GARDEN AND OUTDOOR 'ROOMS'



Outdoor Rooms and Program



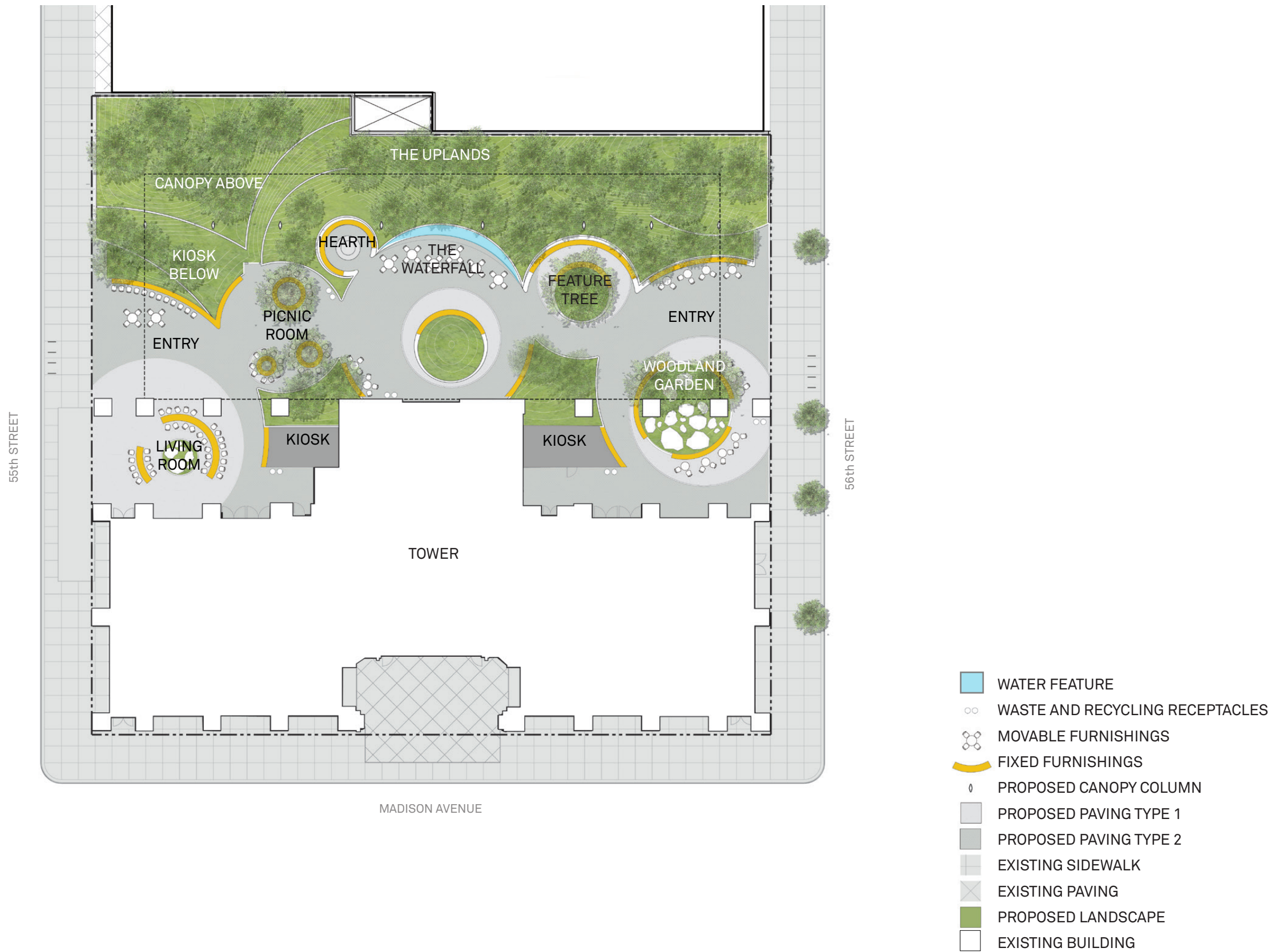
VERTICAL EXPRESSION AND OUTDOOR ROOMS



PROGRAMMATIC VARIETY



Proposed Site Plan





Proposed Ground-Level Plan









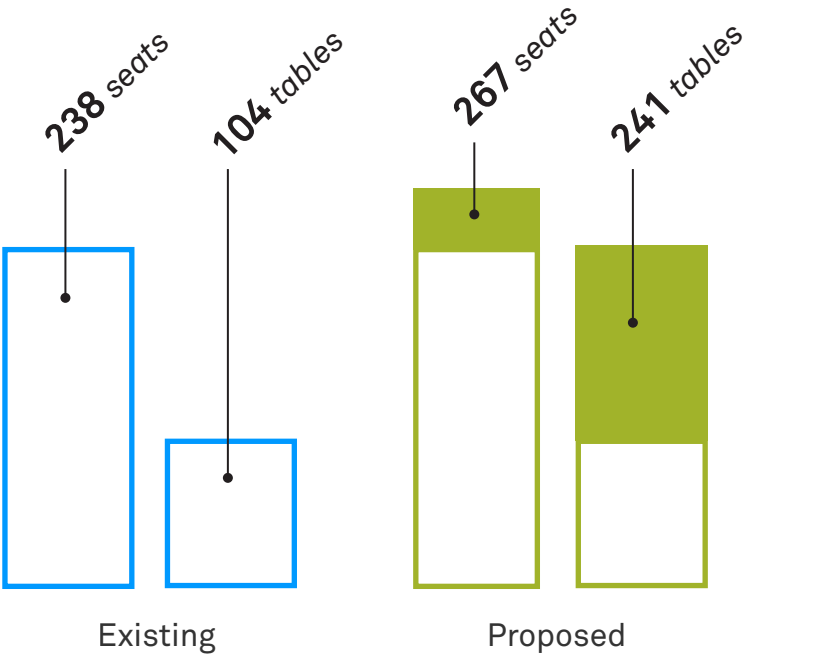
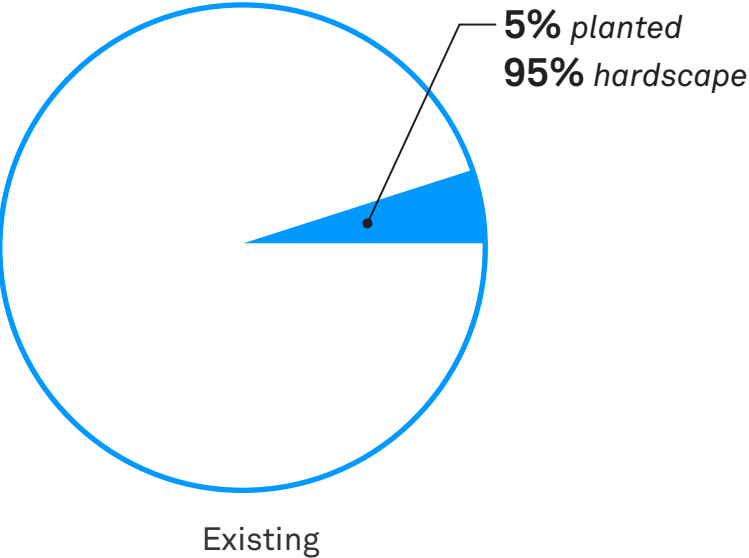
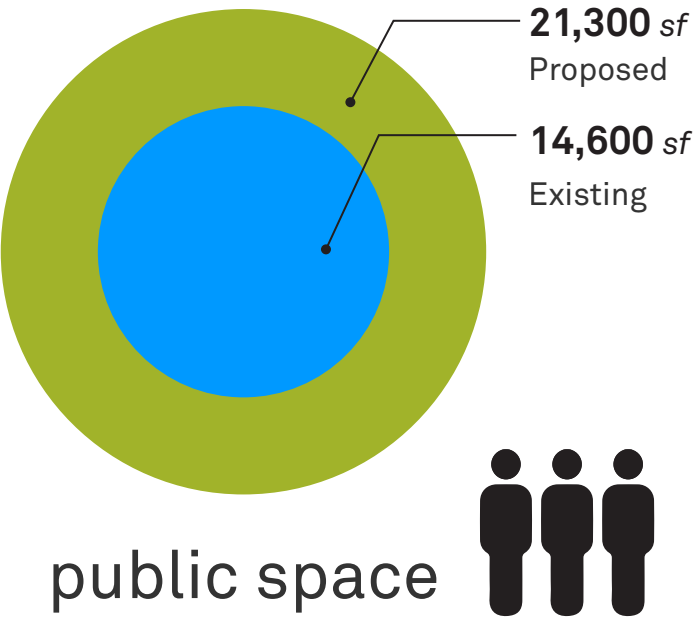
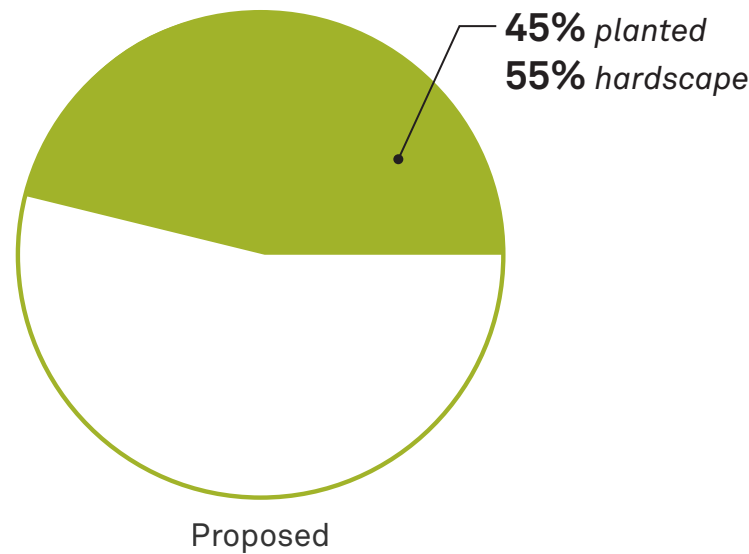








Garden Amenities



planting

seating and tables

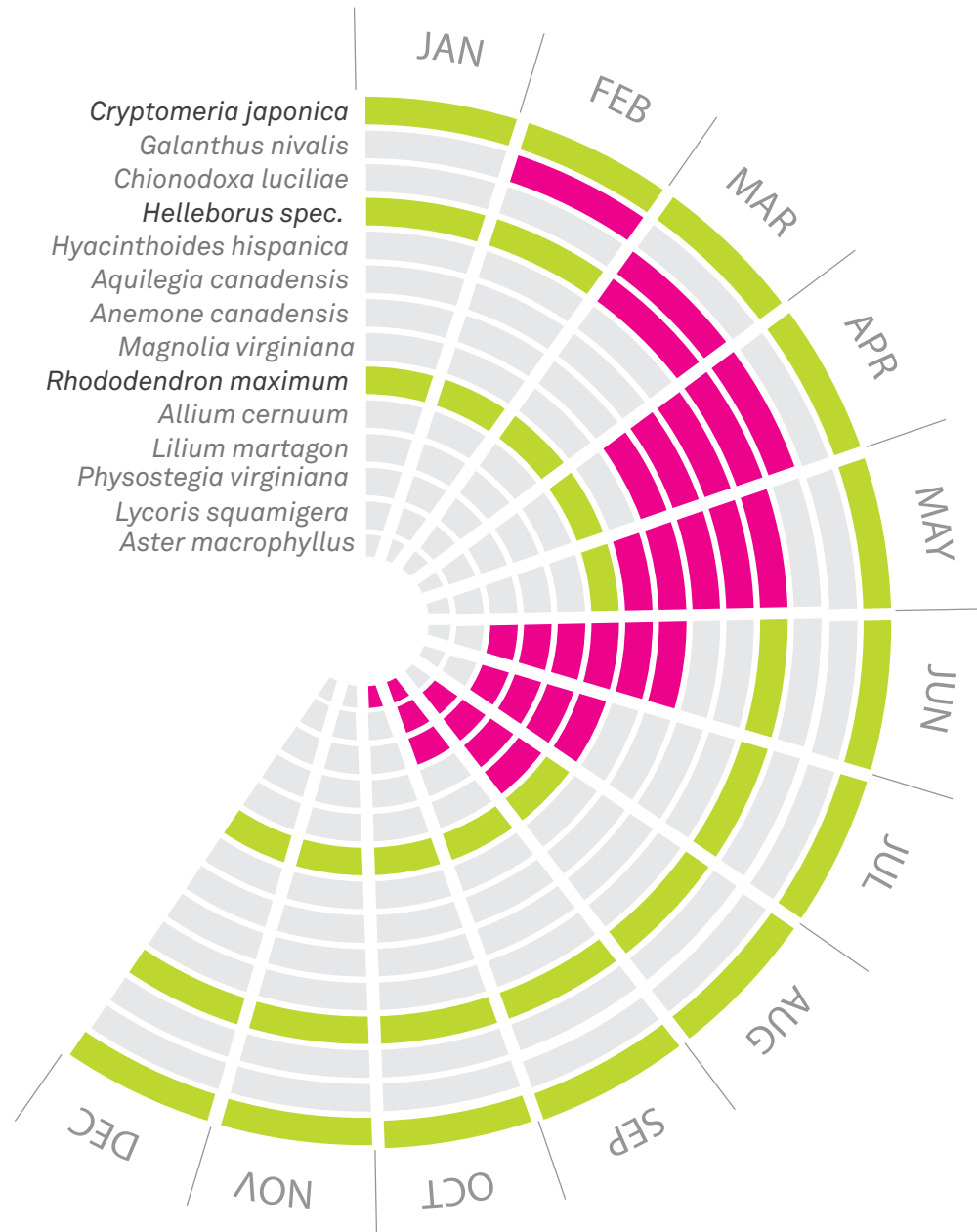




Key Planting Selection

BLOOM CALENDAR

seasonal interest



**KEY**  
evergreen  
bloom time

EVERGREEN BACKDROP



*Cryptomeria Japonica*



SHRUB SKIRT



*Rhododendron maximum*



AIRY UNDERSTORY



*Cladrastis Kentukea*



HERBACEOUS UNDERSTORY

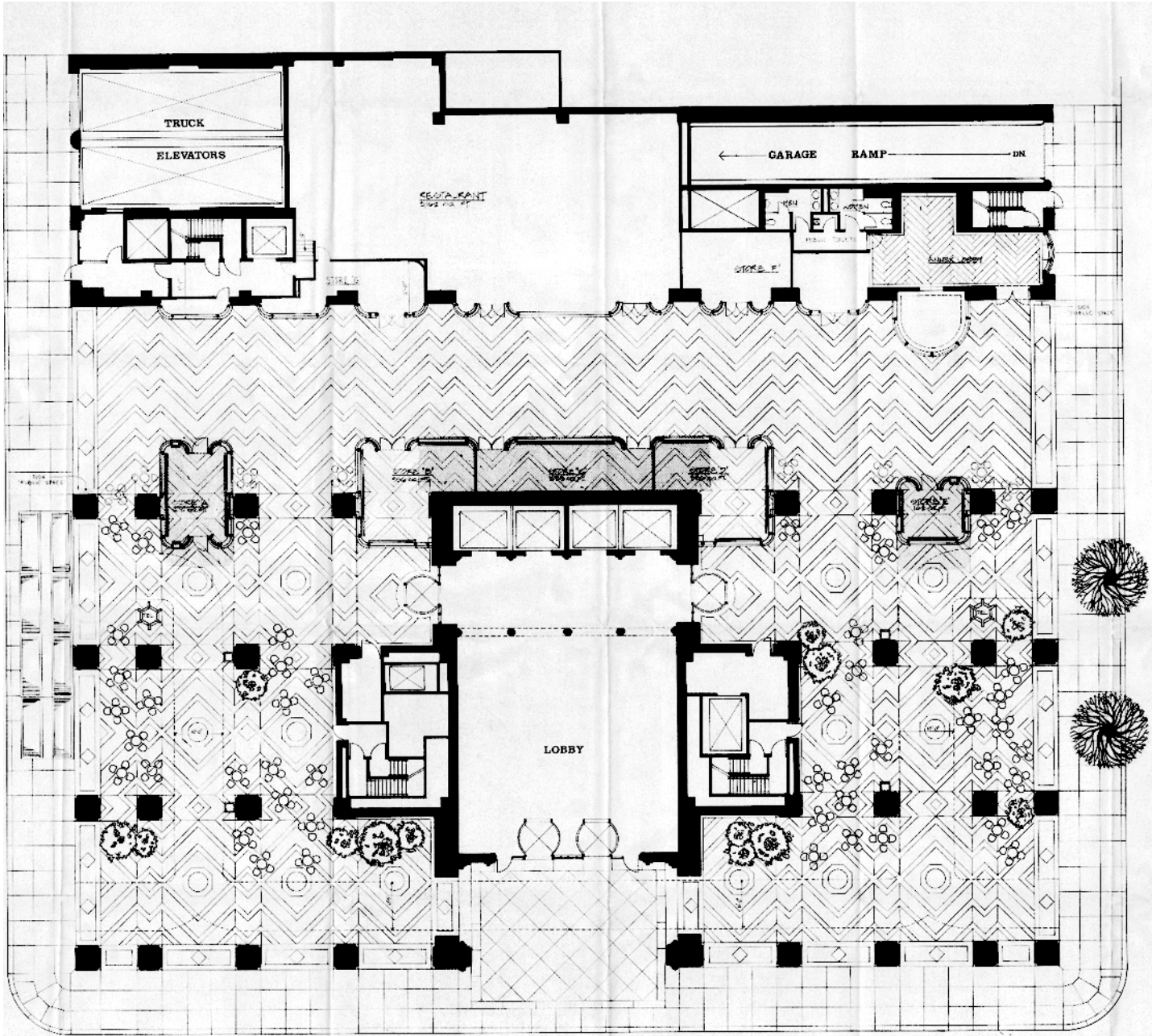


*Helleborus spec.*

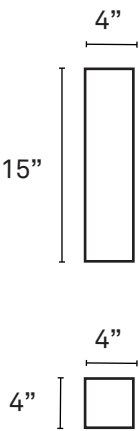




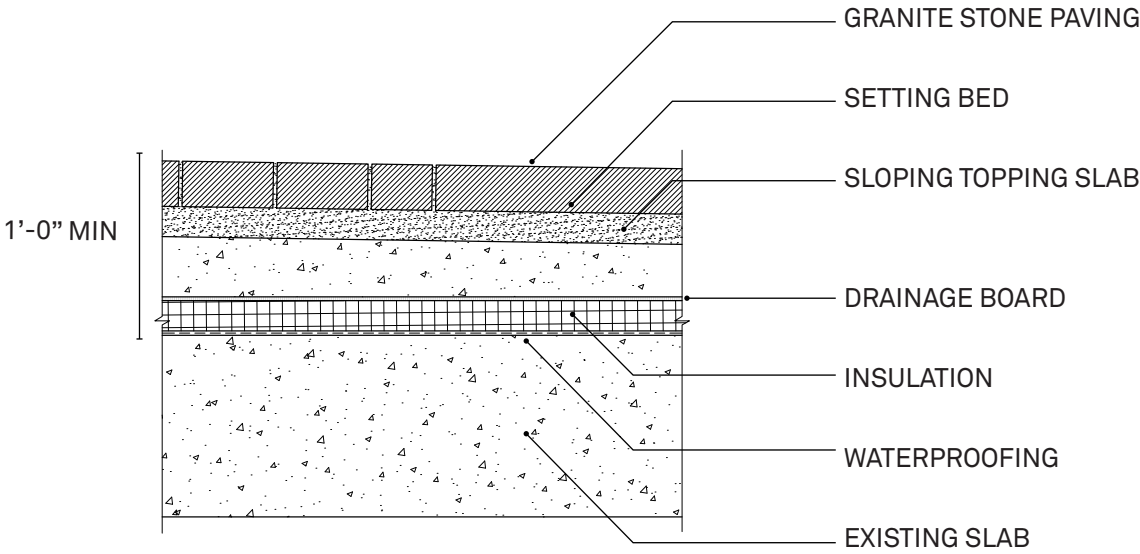
Proposed Paving Details



ORIGINAL 1984 PAVING DESIGN



PAVING PLAN DETAIL



PROPOSED TYPICAL PAVING SECTION DETAIL



Existing Atrium Roof





Glass Roofs Designed by Philip Johnson



Sculpture Gallery, New Canaan, CT (1970)



Pennzoil Place, Houston, TX (1975)



Crystal Cathedral, Garden Grove, CA (1980)



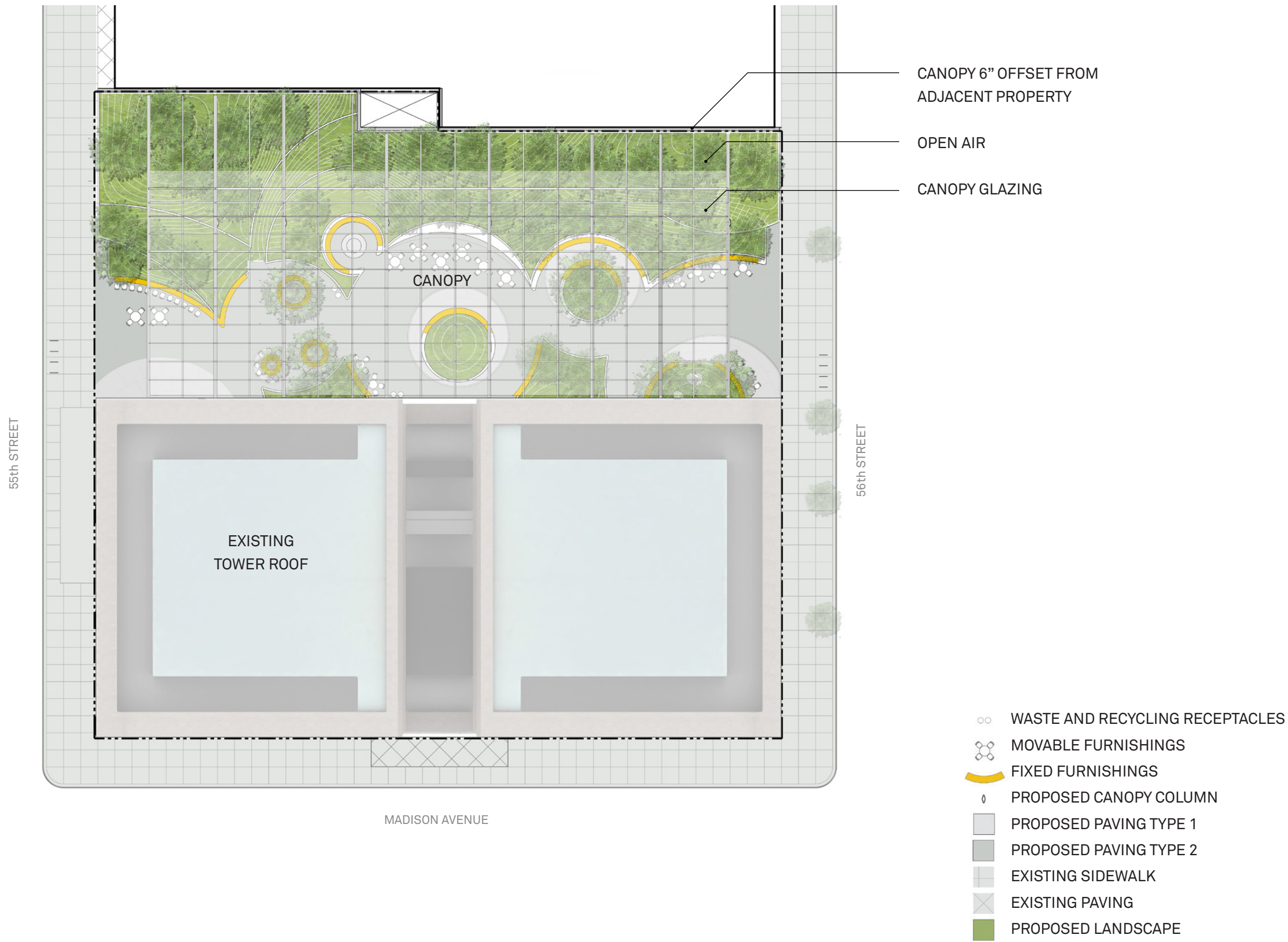
Wells Fargo Center, Denver, CO (1983)



PPG Place Winter Garden, Pittsburgh, PA (1984)

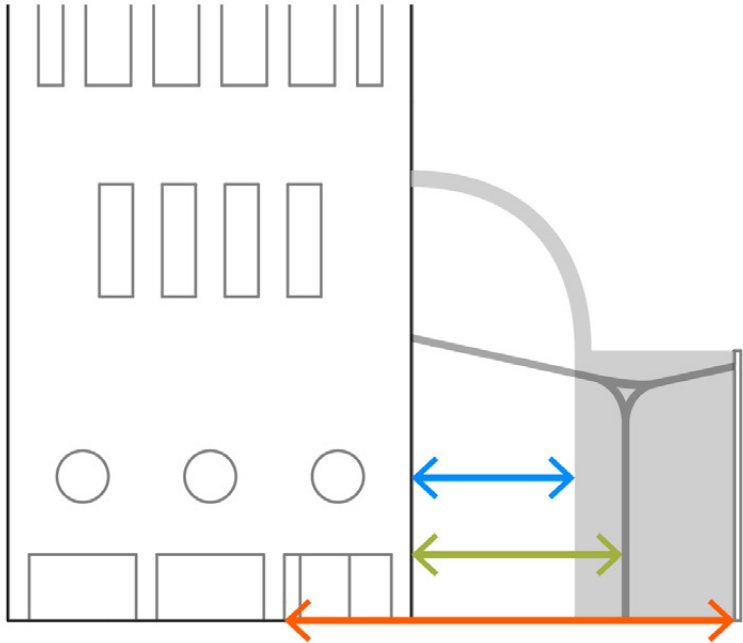


Proposed Roof Plan

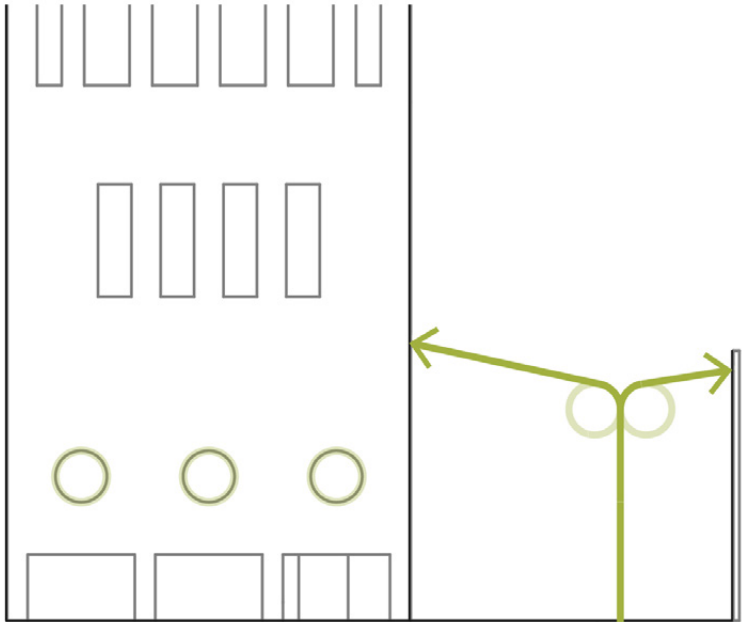




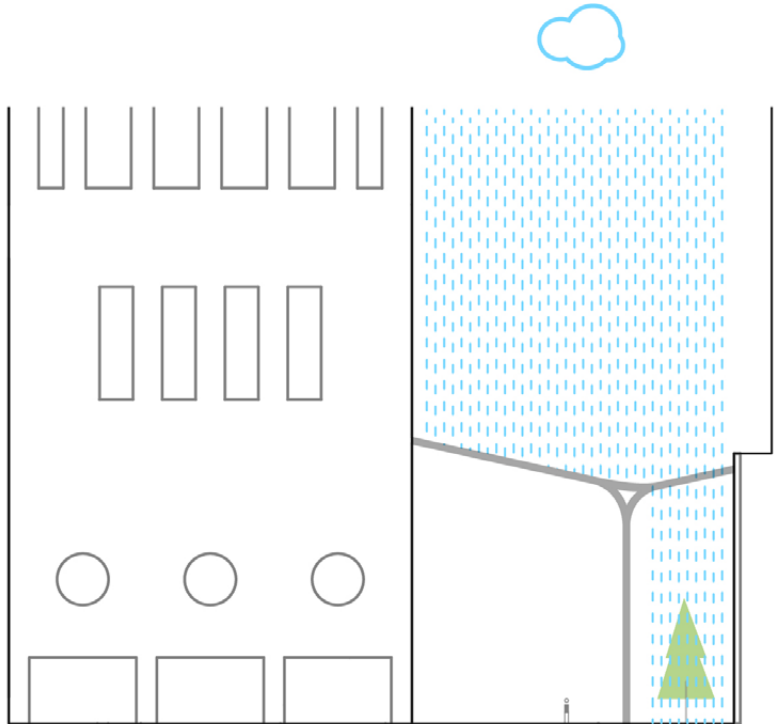
Canopy Design Diagrams



Increased Access



Geometric precedent



Enclosure



Landscape



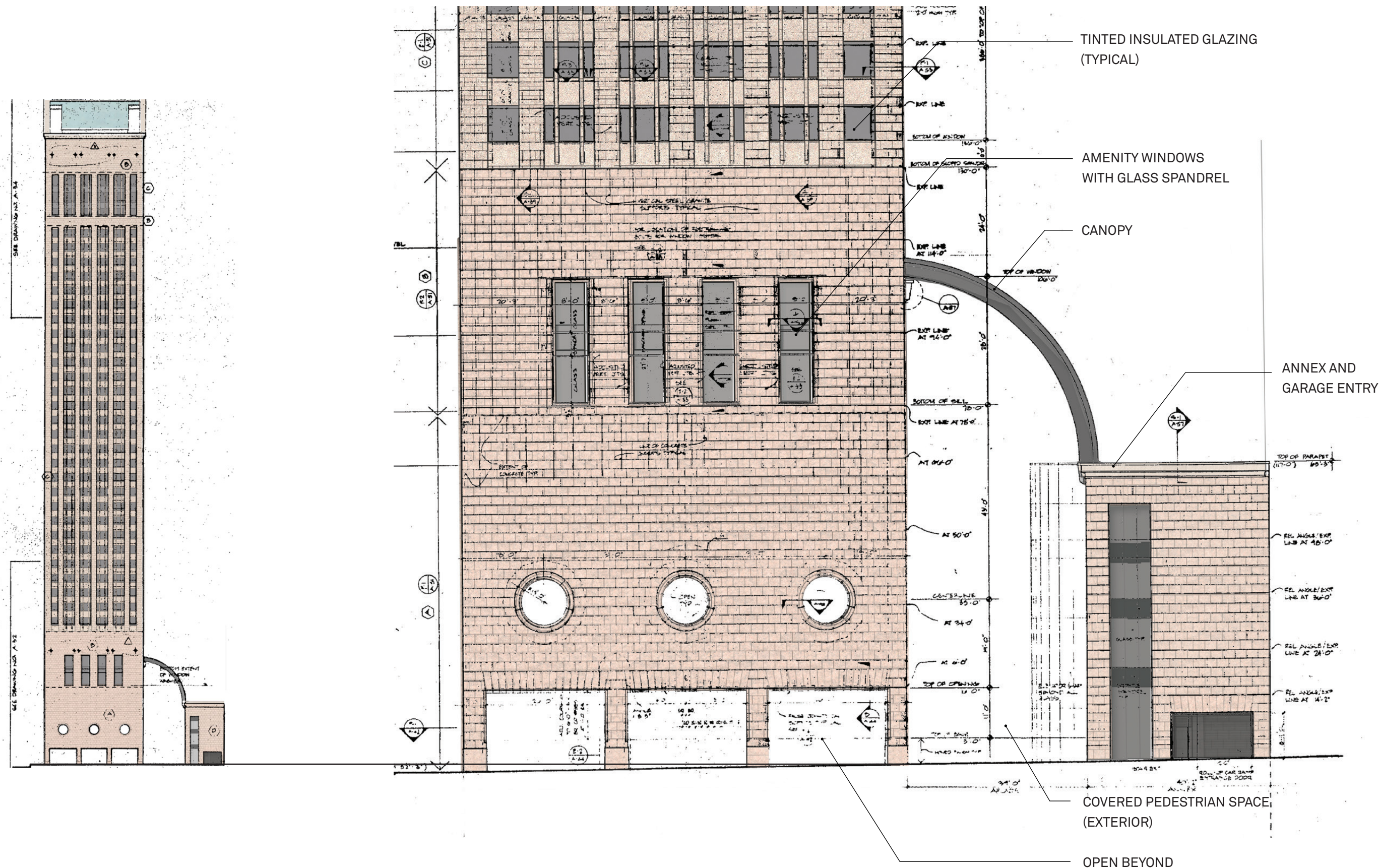






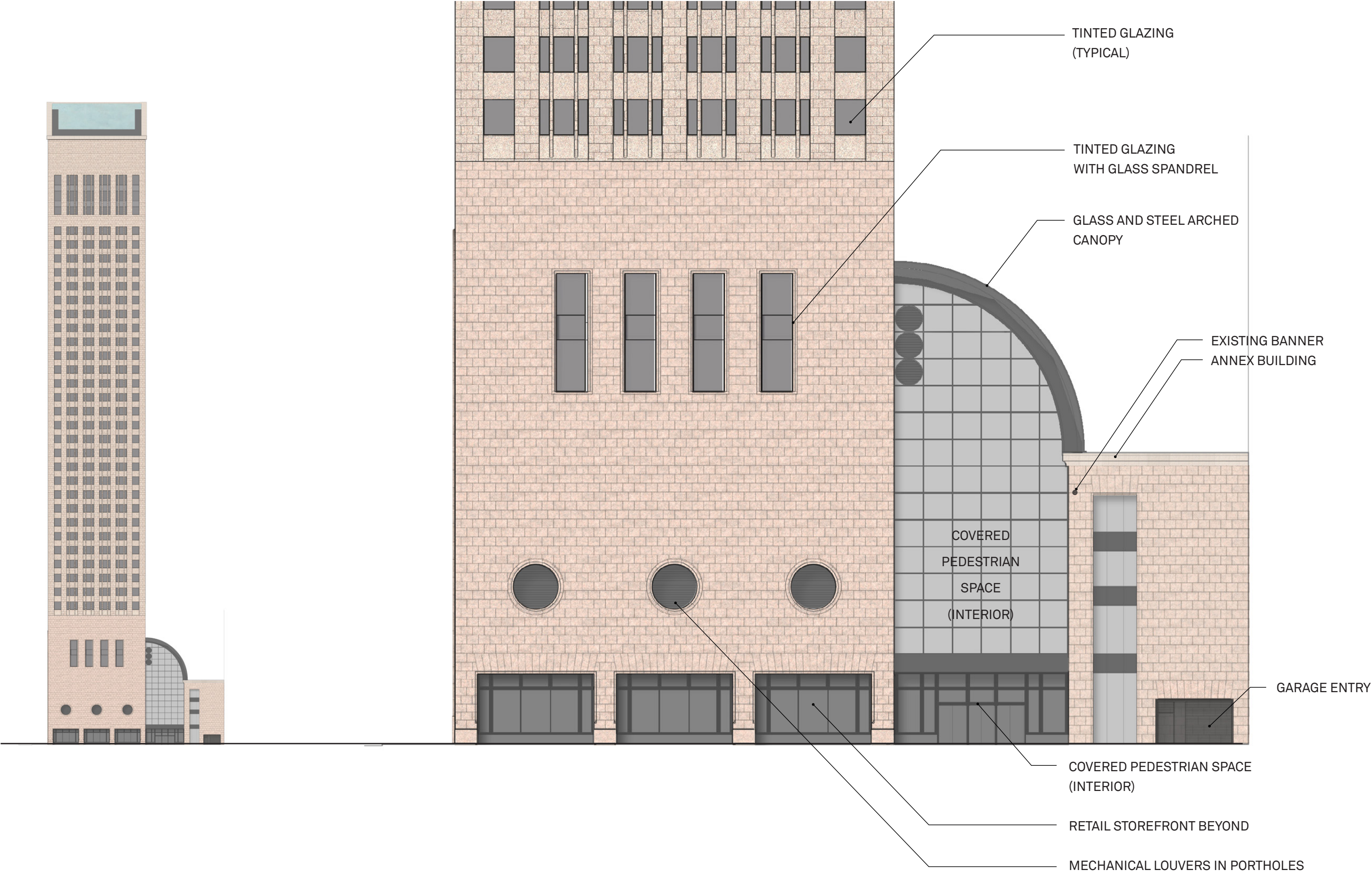


Original North Elevation



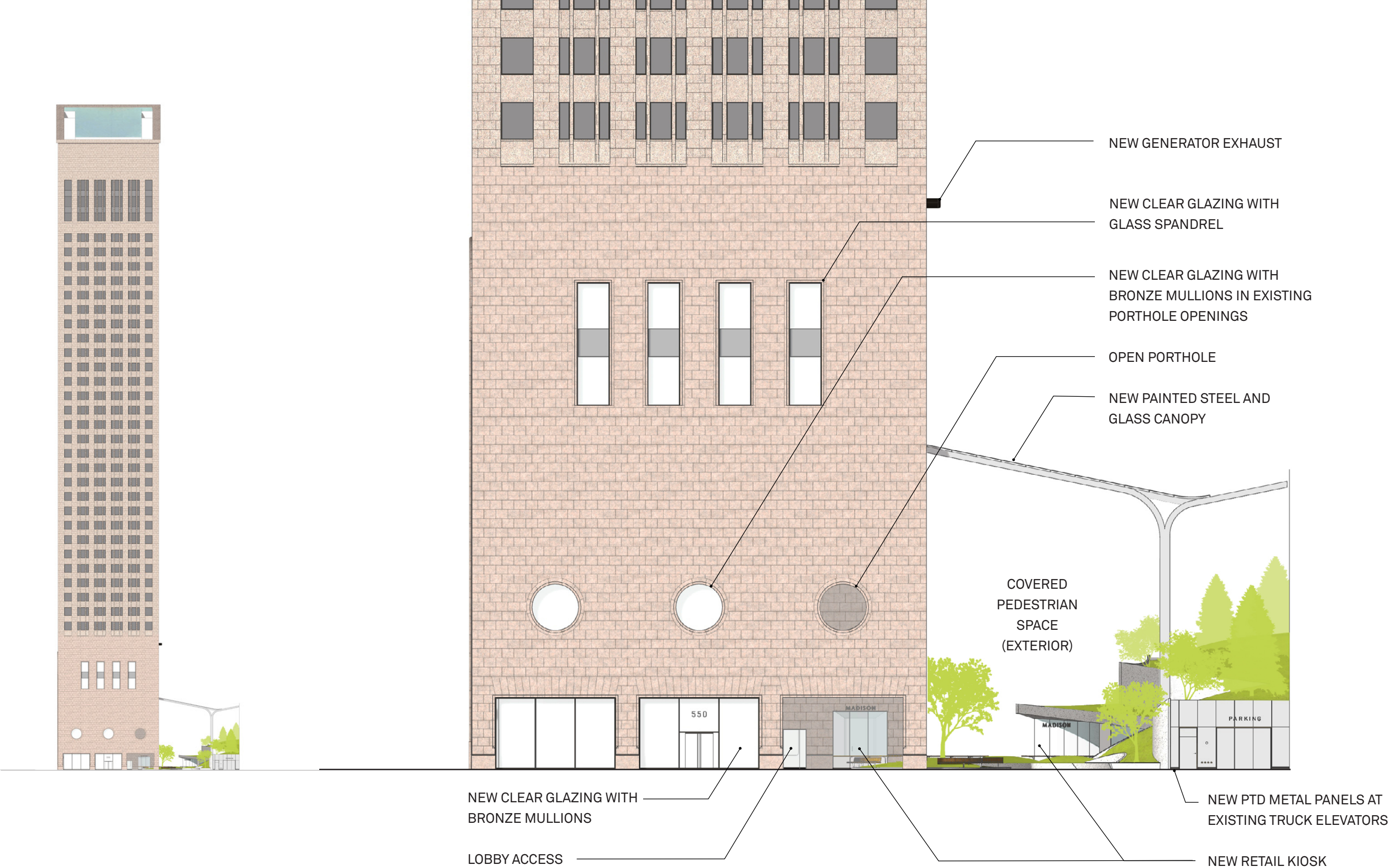


Existing North Elevation





Proposed North Elevation





Northeast Perspective



ORIGINAL



CURRENT



PROPOSED























# APPENDIX



Pedestrian Space - Looking North



ORIGINAL



CURRENT



PROPOSED



Madison Avenue - Overall Looking Southwest



ORIGINAL



CURRENT



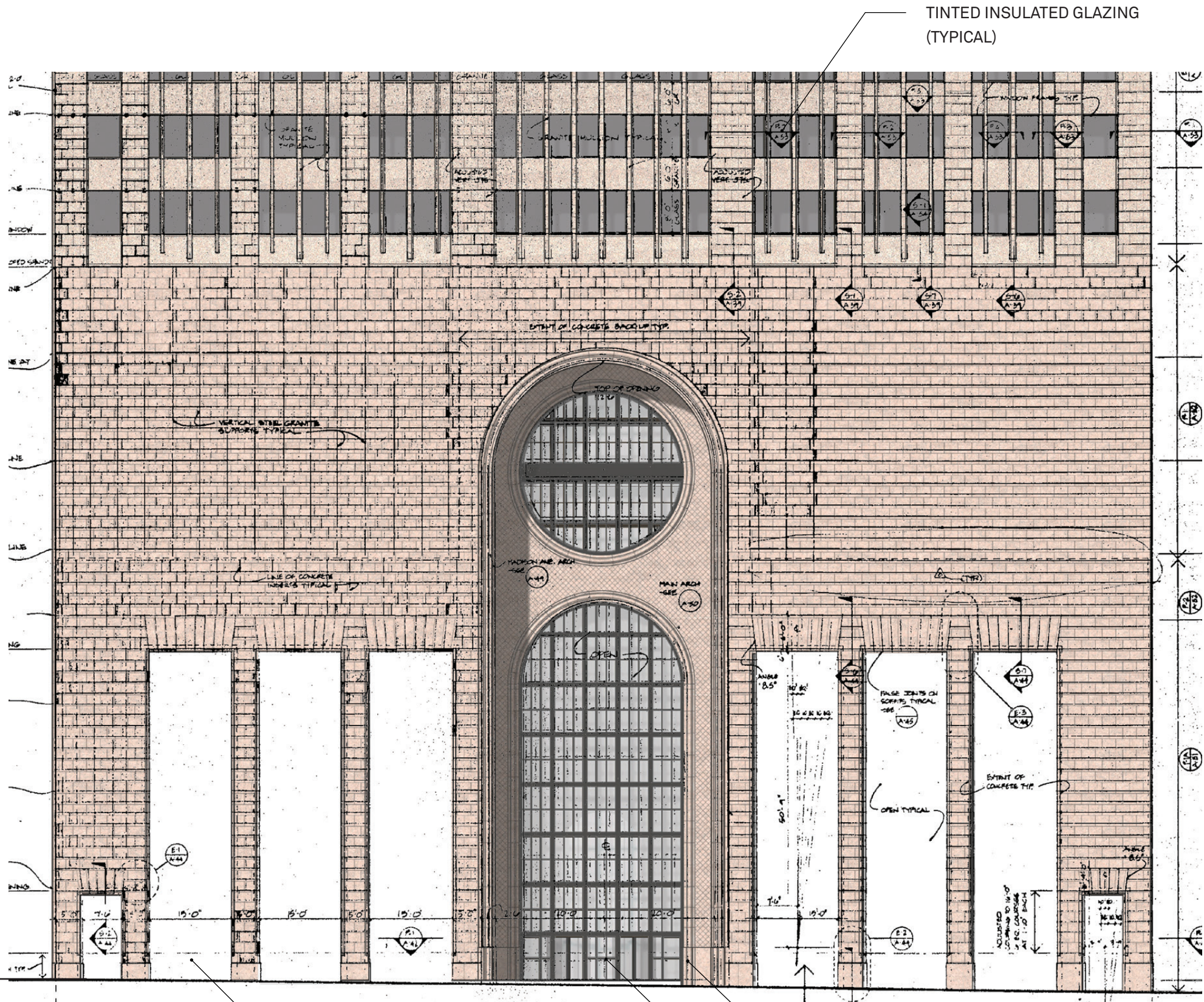
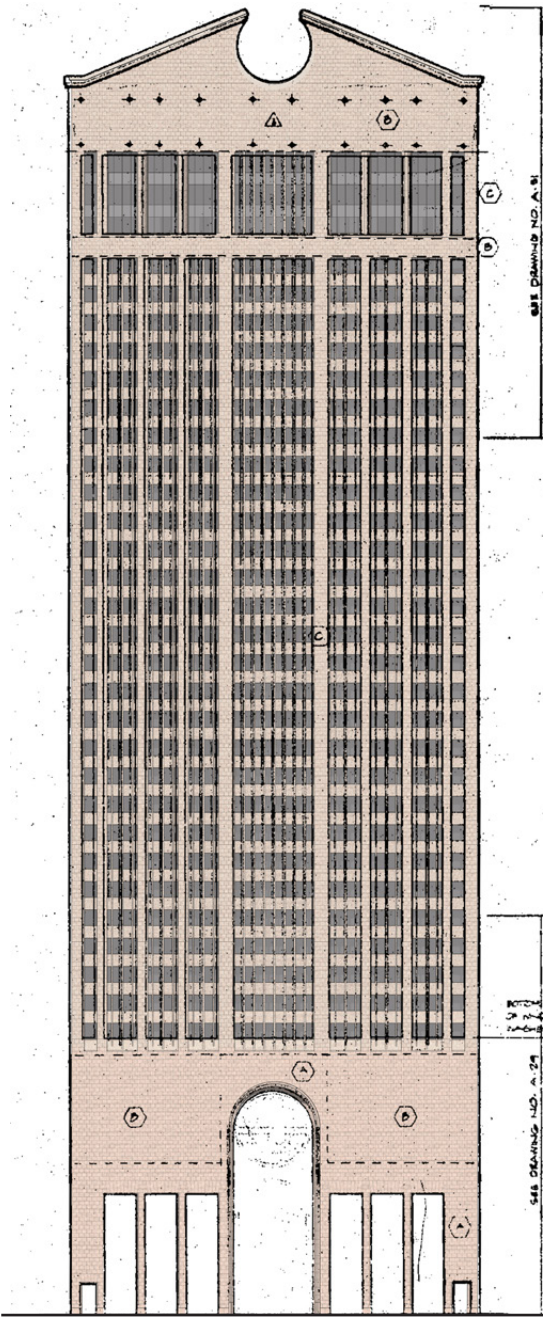
PROPOSED







Original East Elevation



TINTED INSULATED GLAZING  
(TYPICAL)

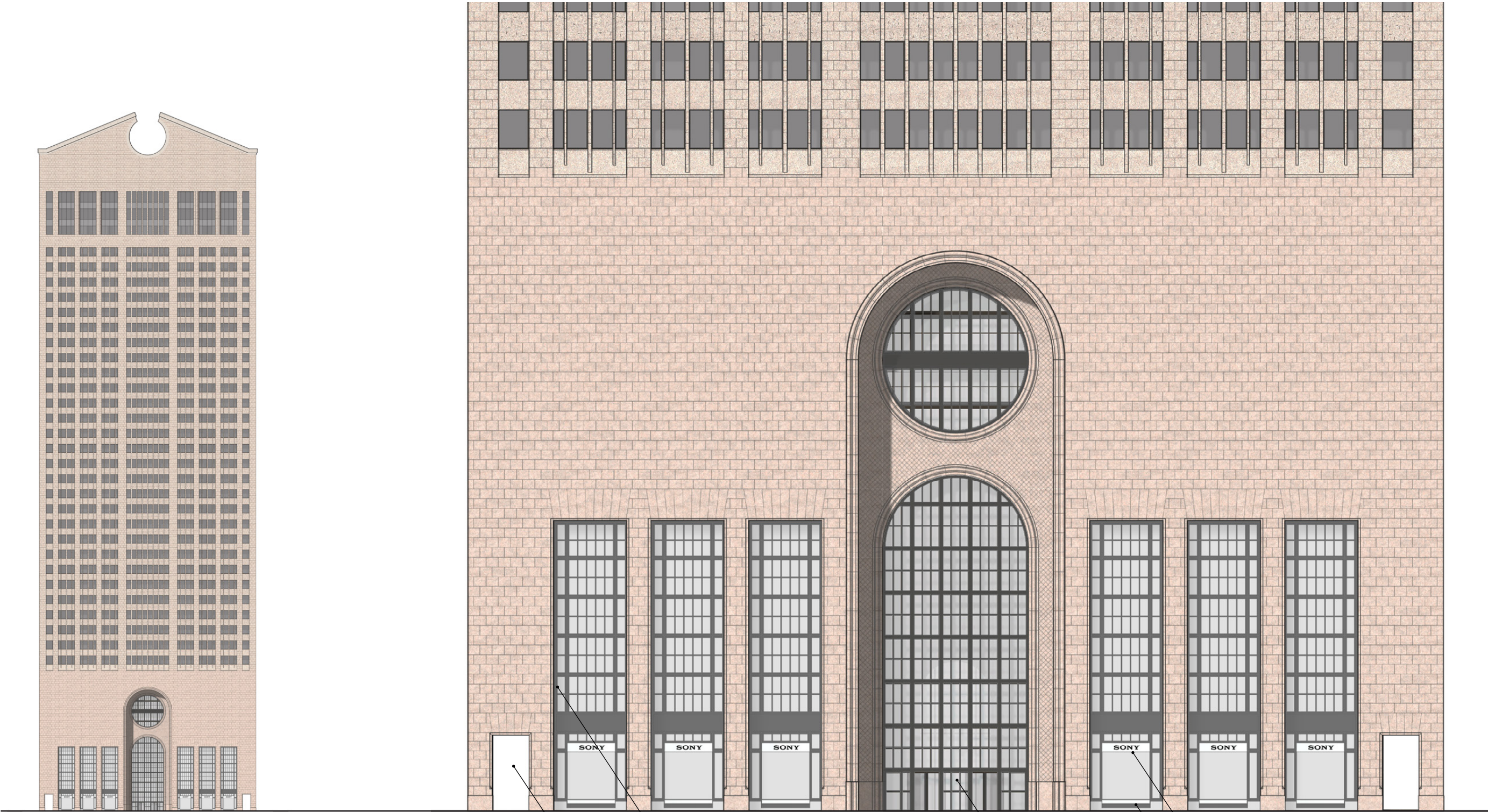
OPEN TO ARCADE

STONE CLADDING

BRONZE MULLIONS AND INSULATED GLASS  
WITH ENTRY DOORS

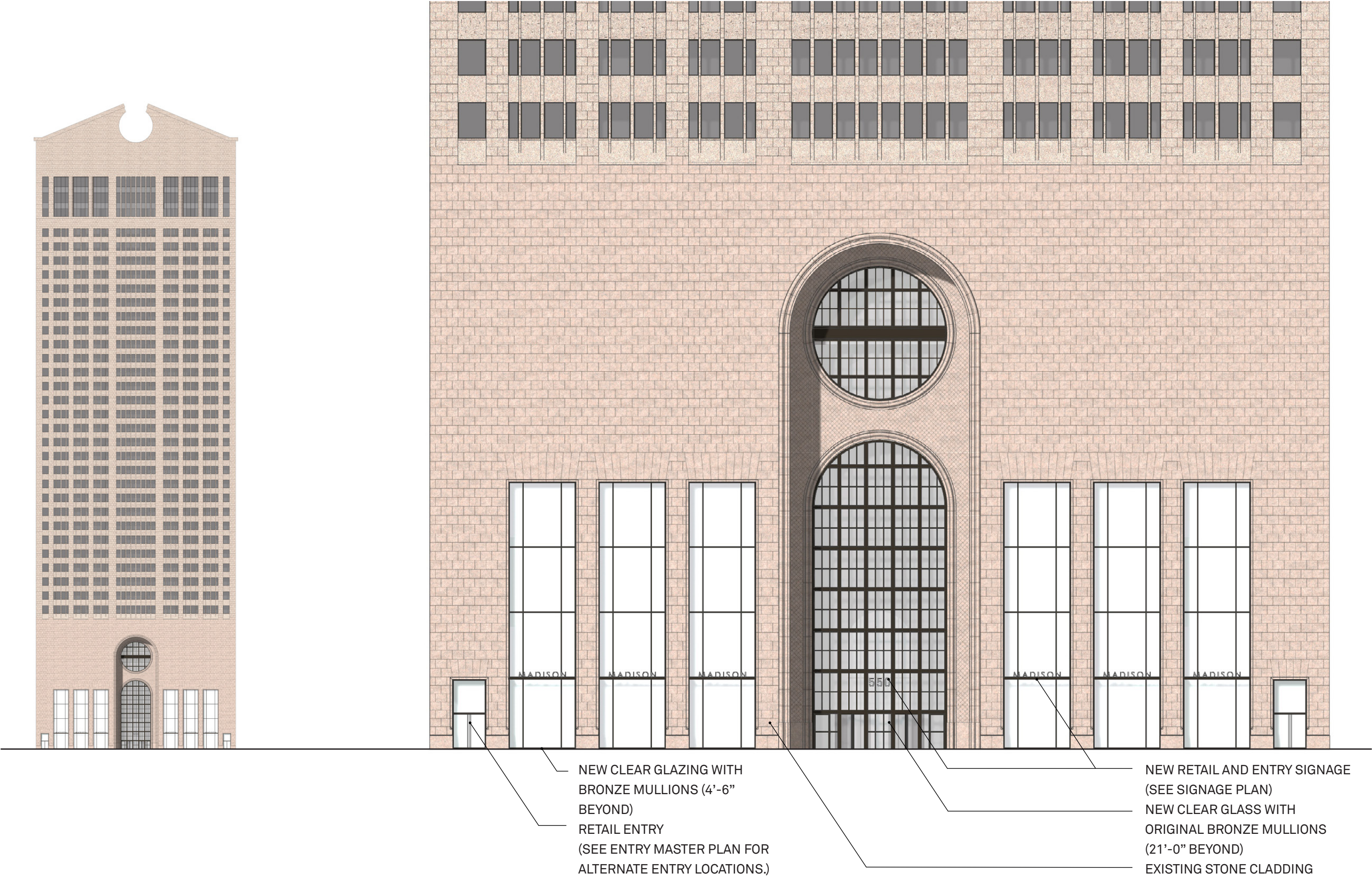


Existing East Elevation



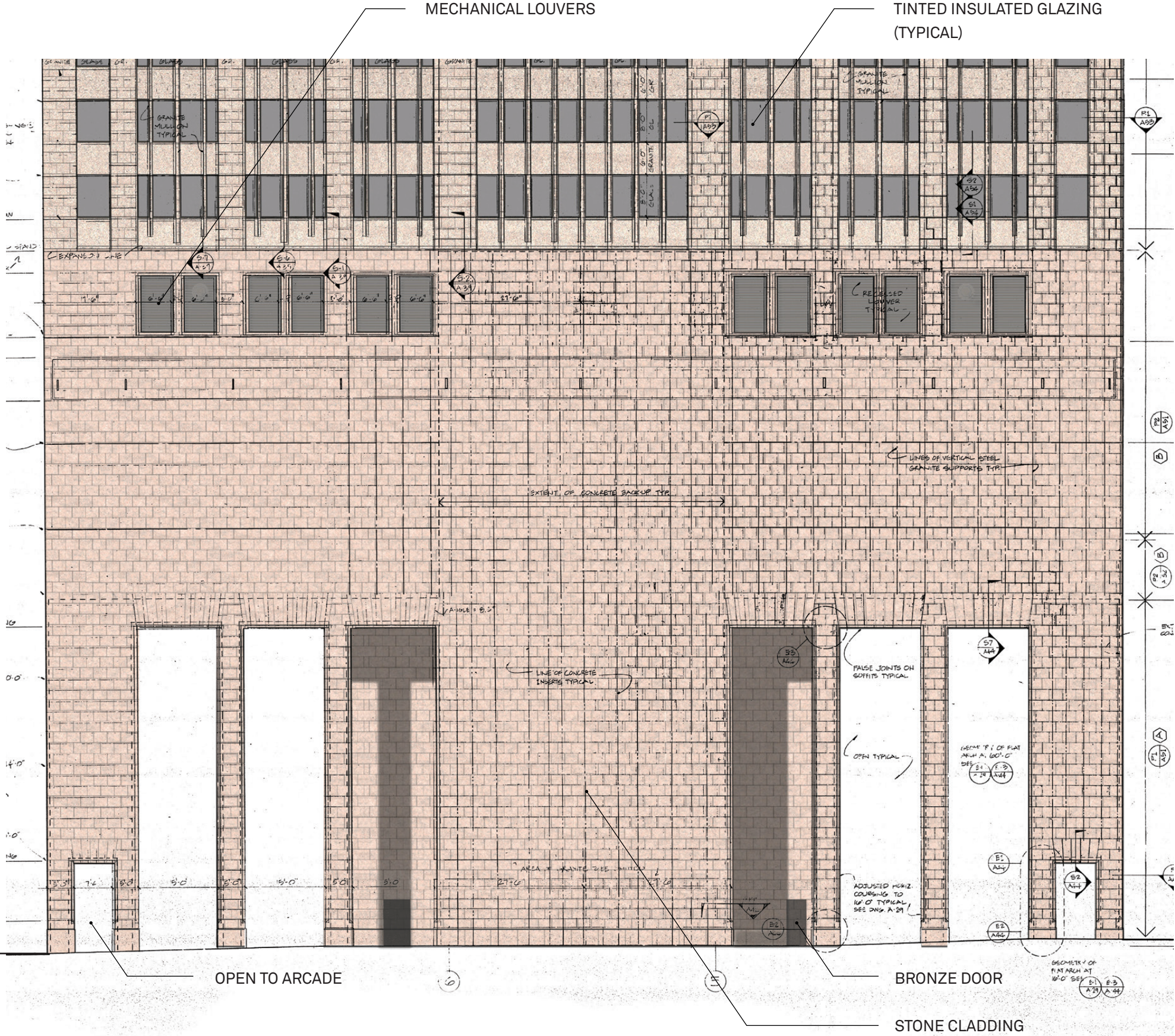
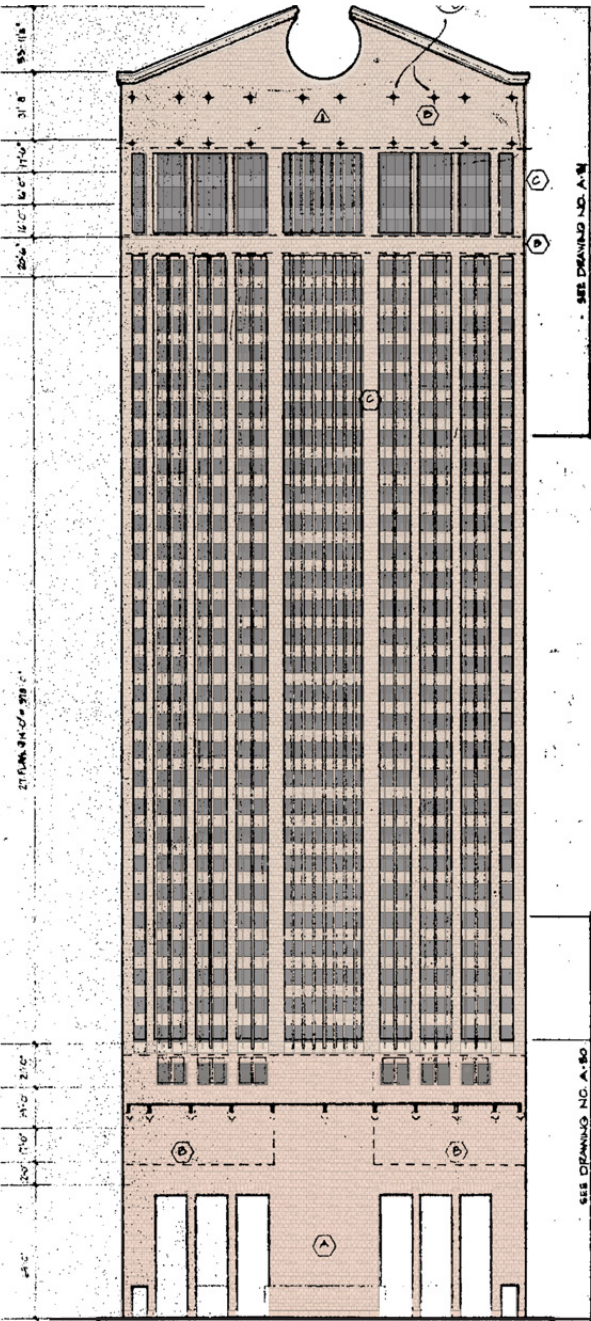


Proposed East Elevation



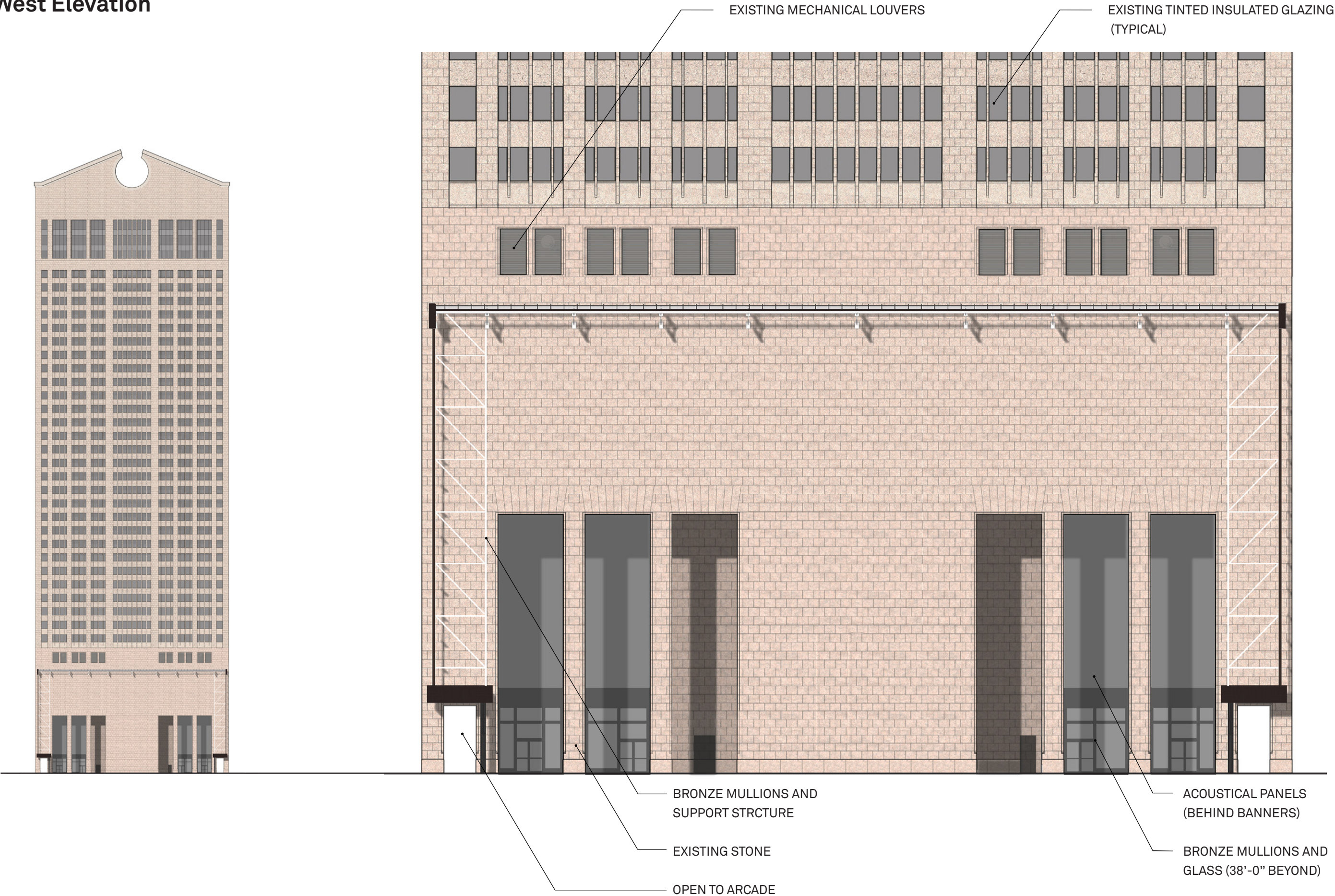


Original West Elevation





Existing West Elevation



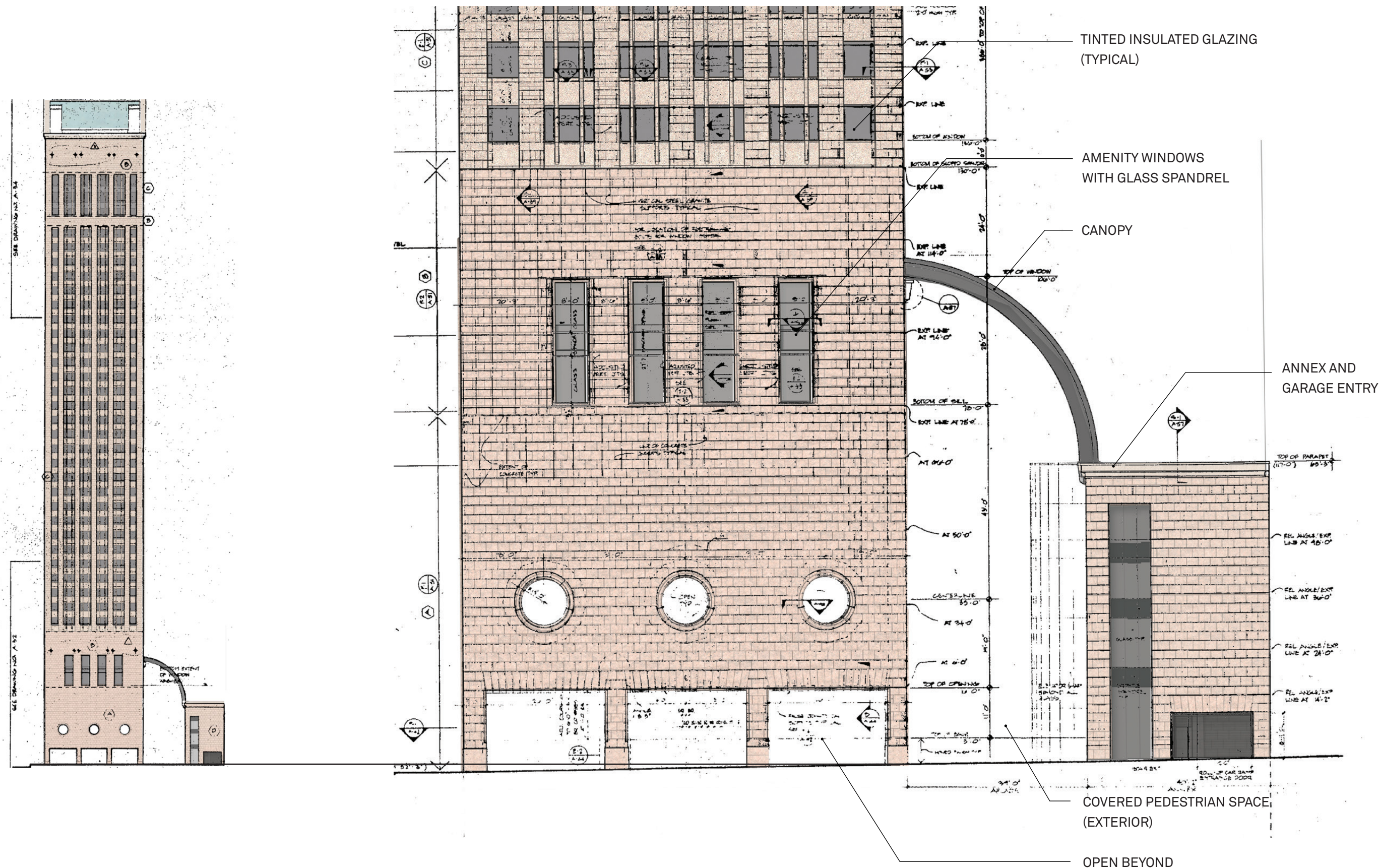


Proposed West Elevation



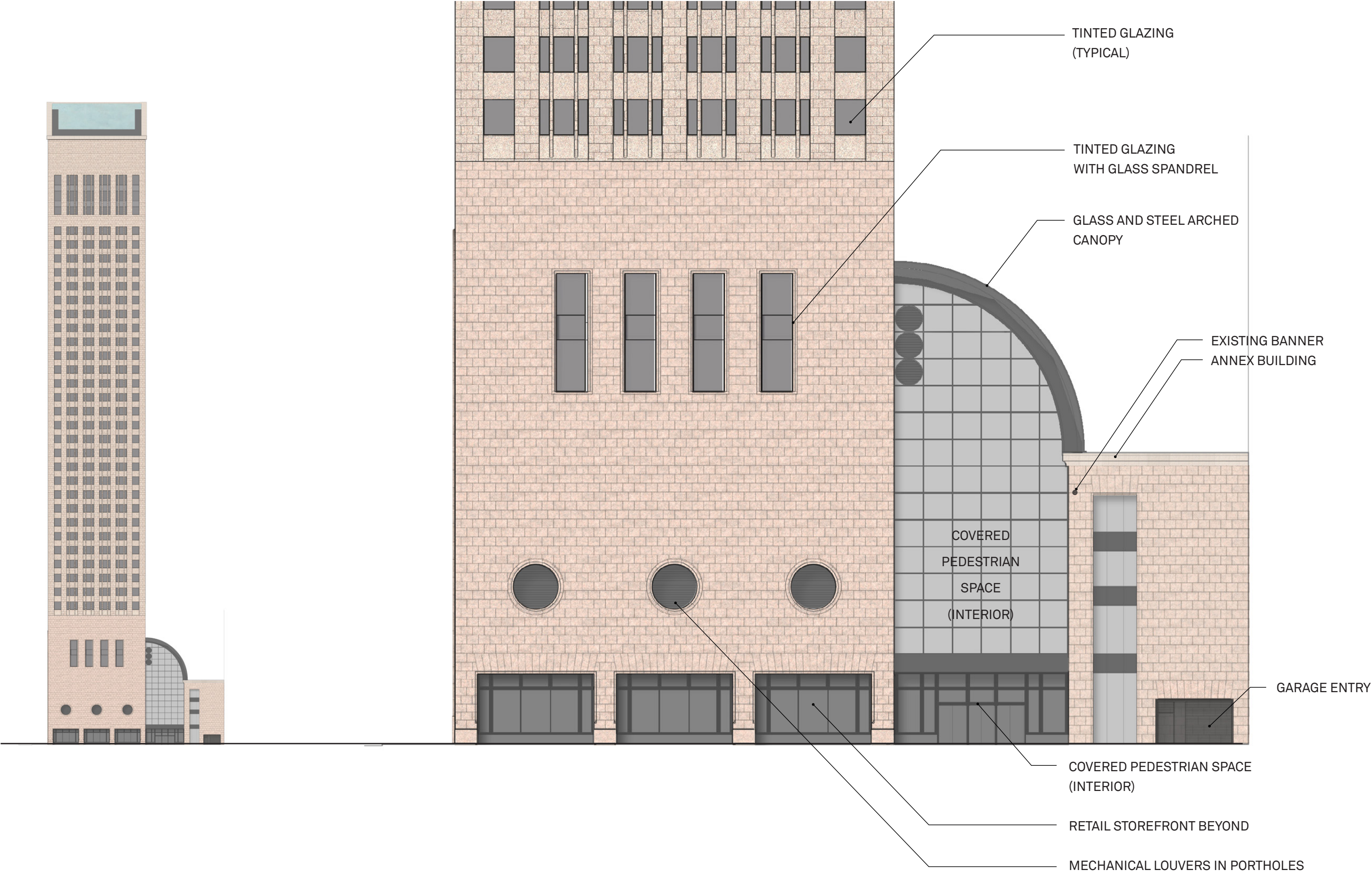


Original North Elevation



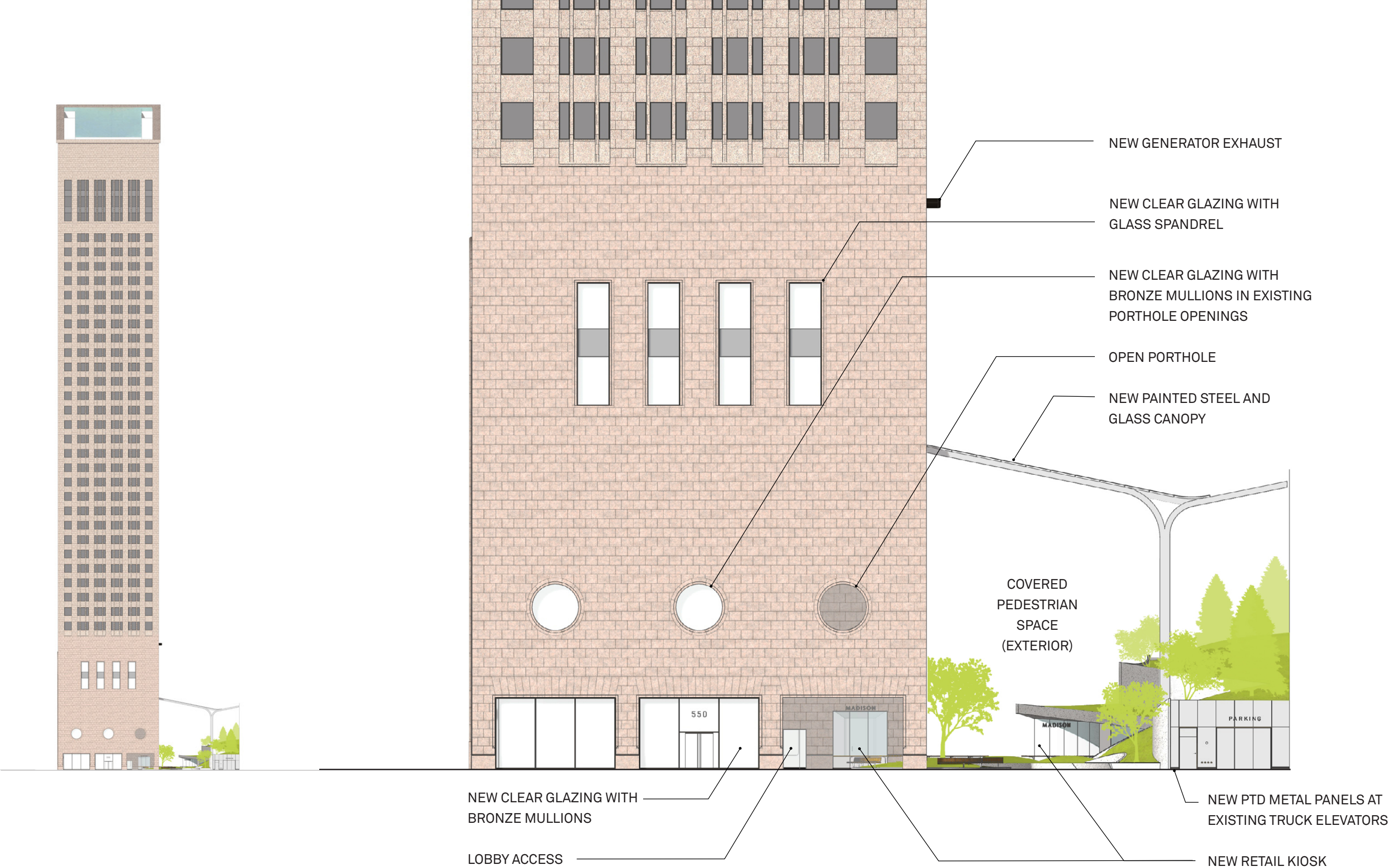


Existing North Elevation



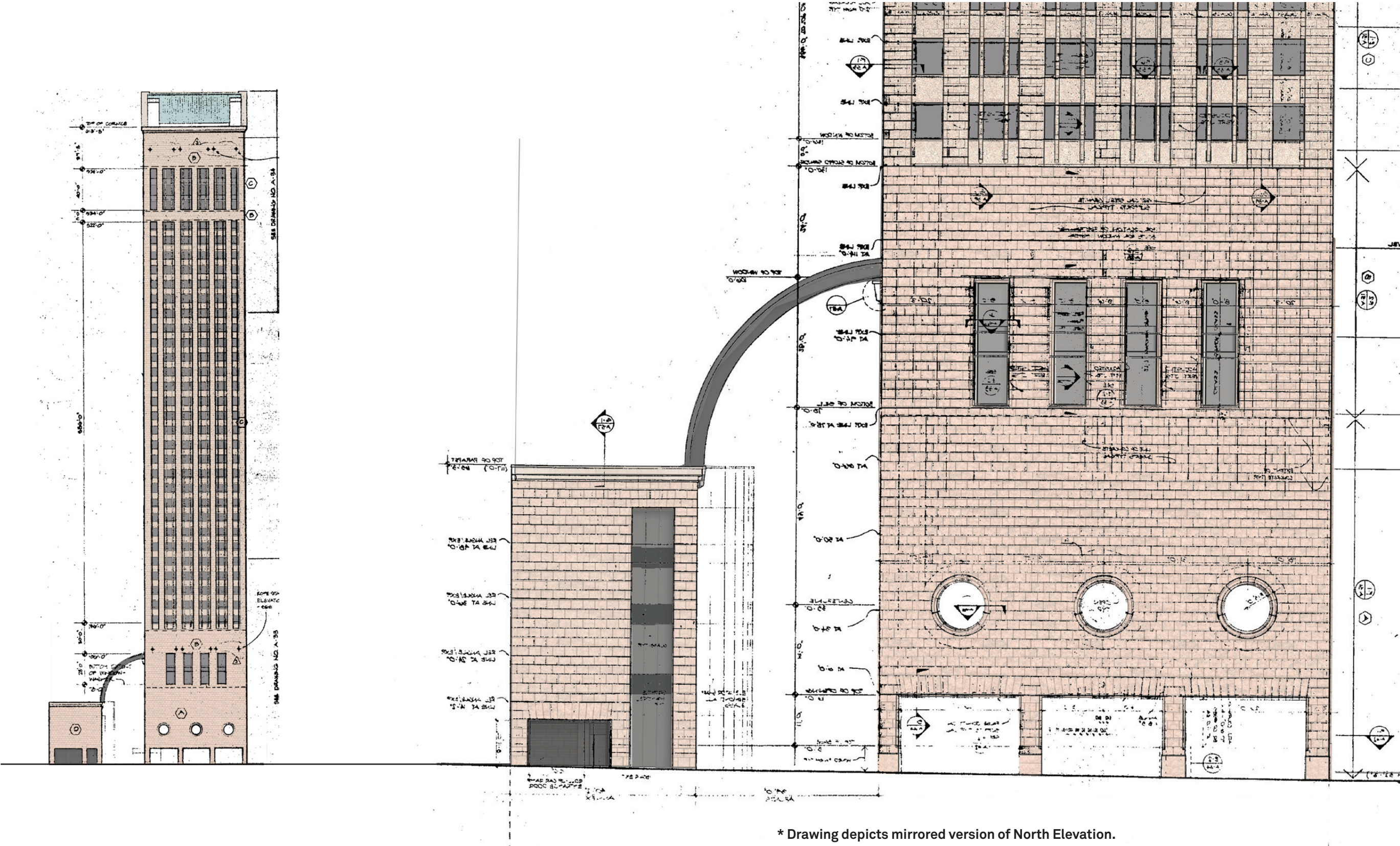


Proposed North Elevation



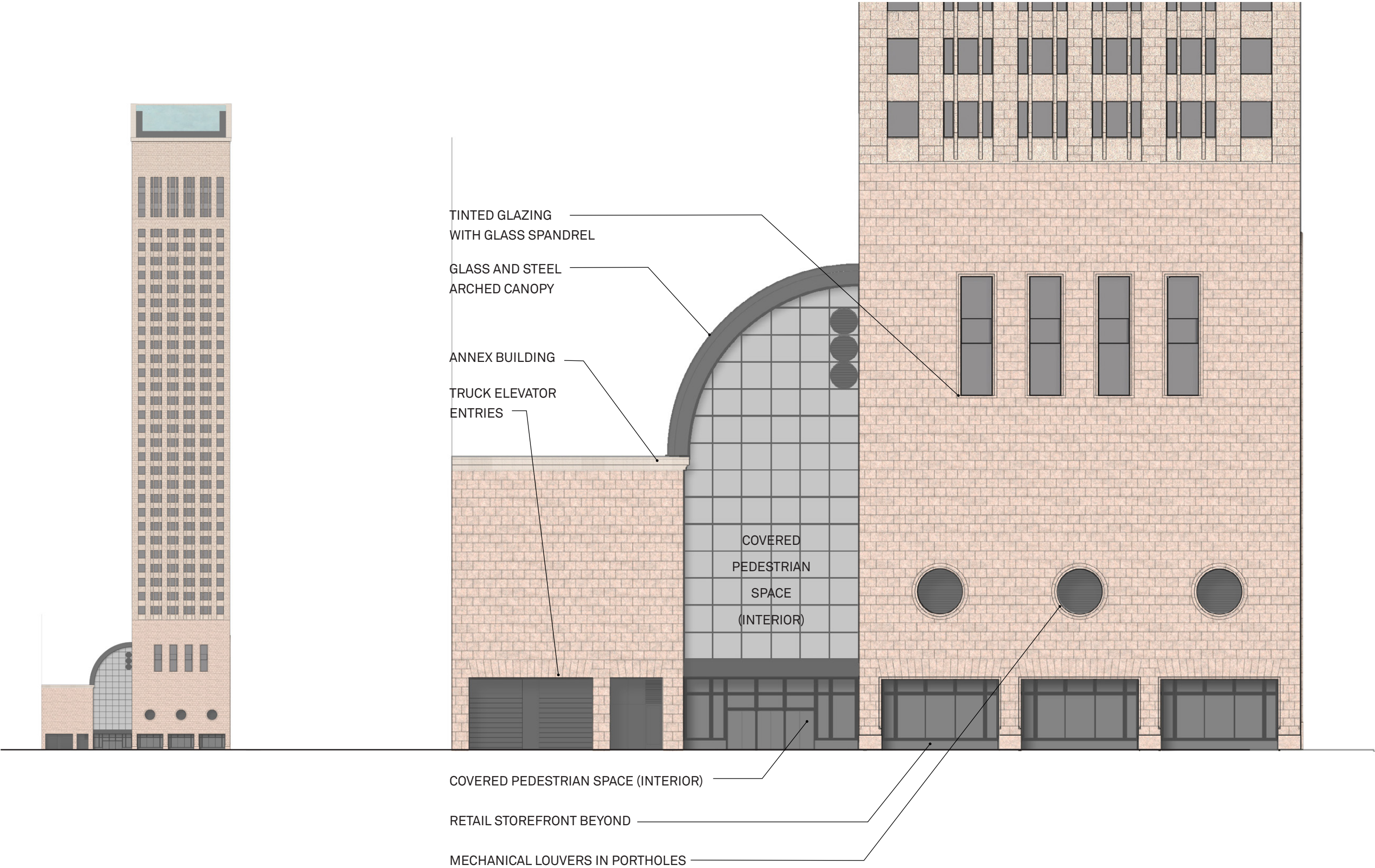


Original South Elevation\*



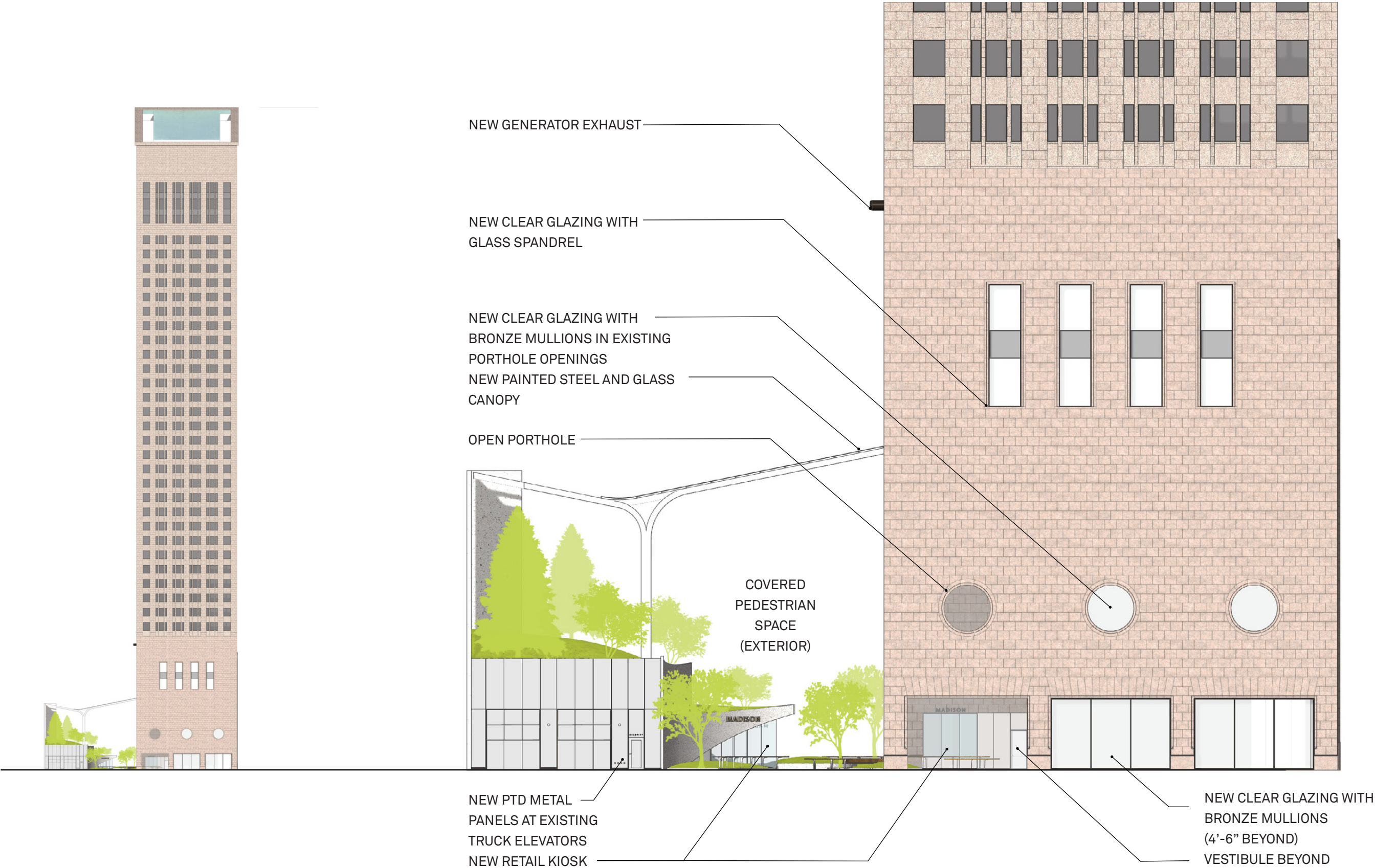


Existing South Elevation





Proposed South Elevation

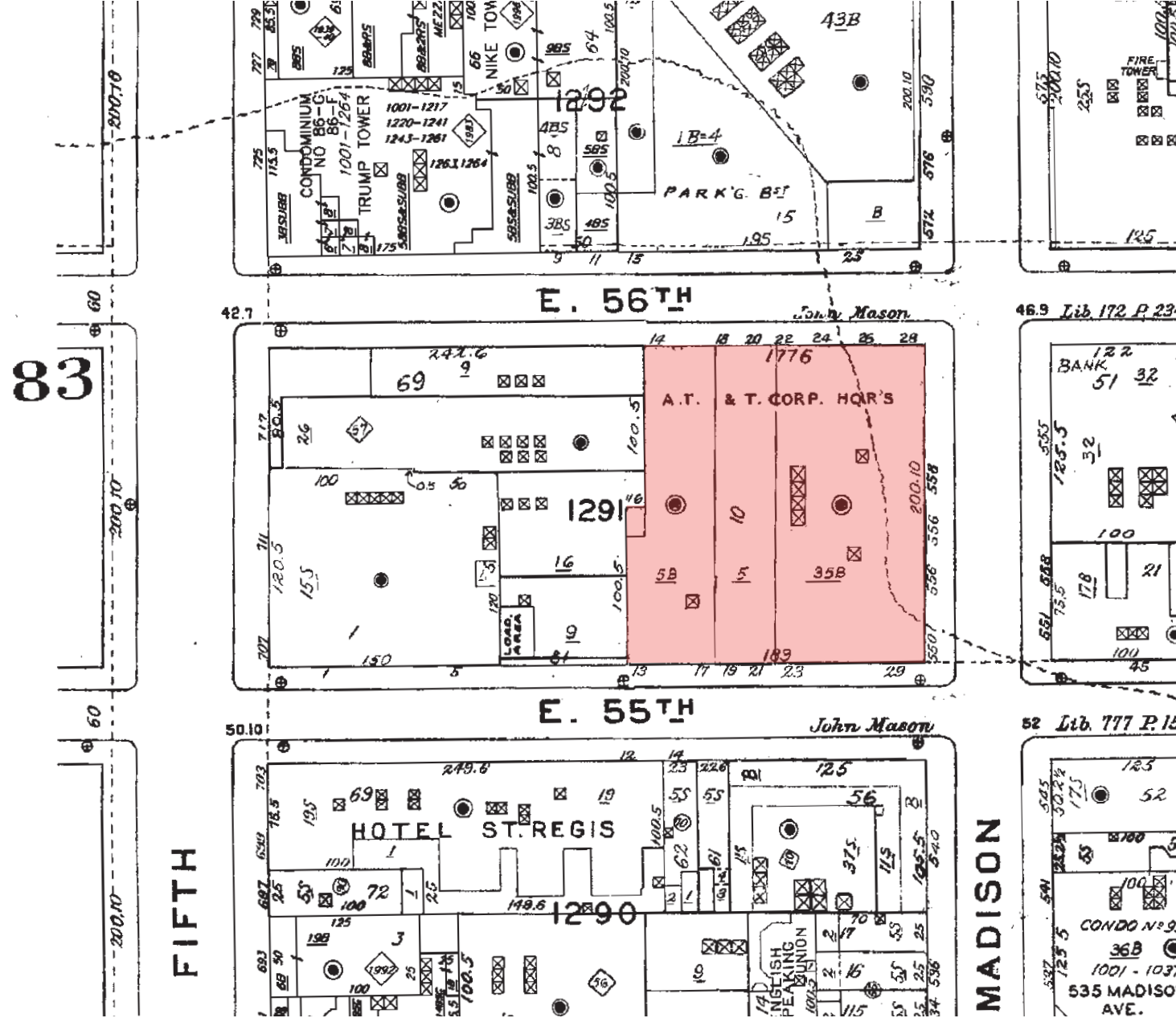




Tax Photographs



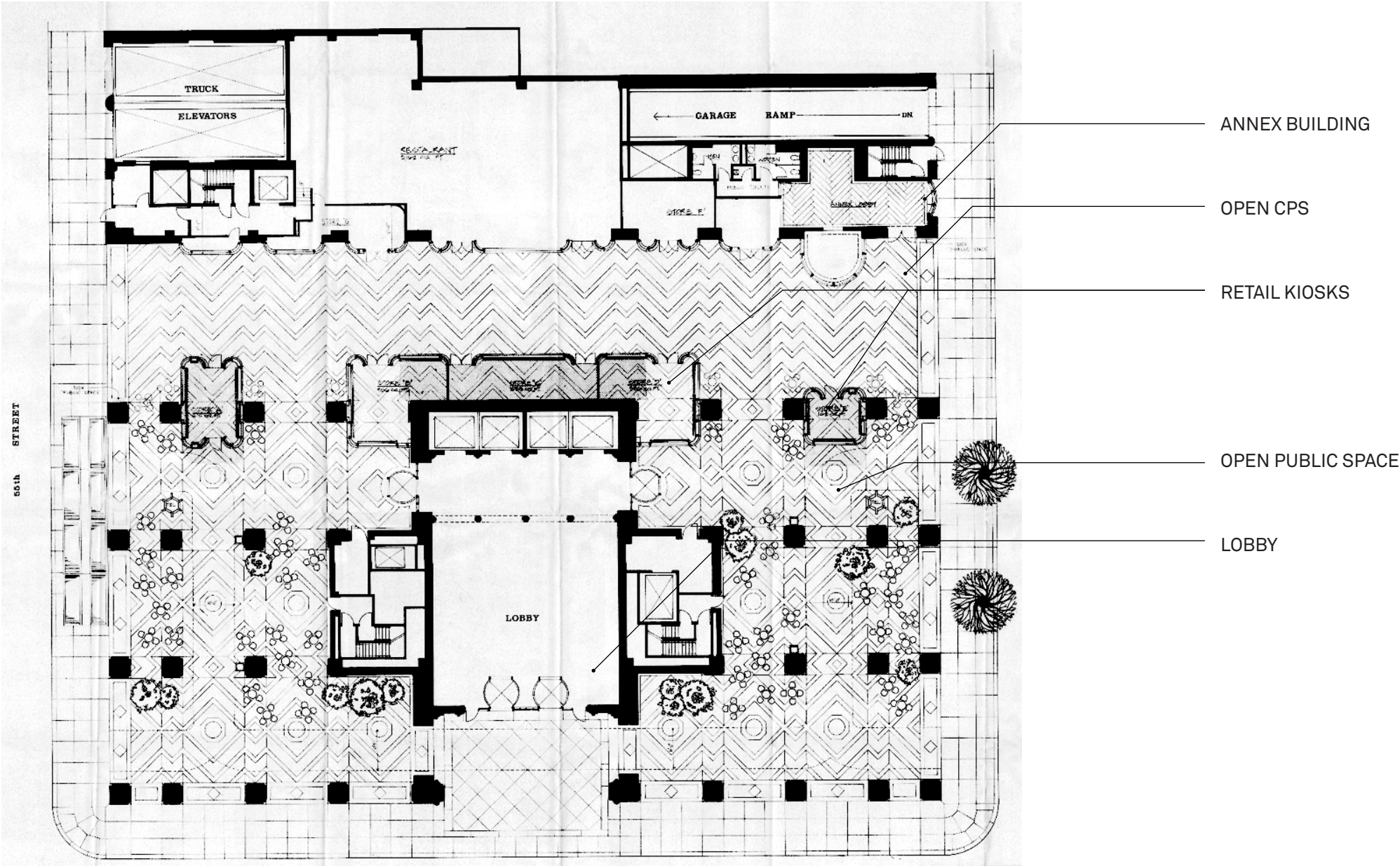
Sanborn Map



550 Madison Avenue

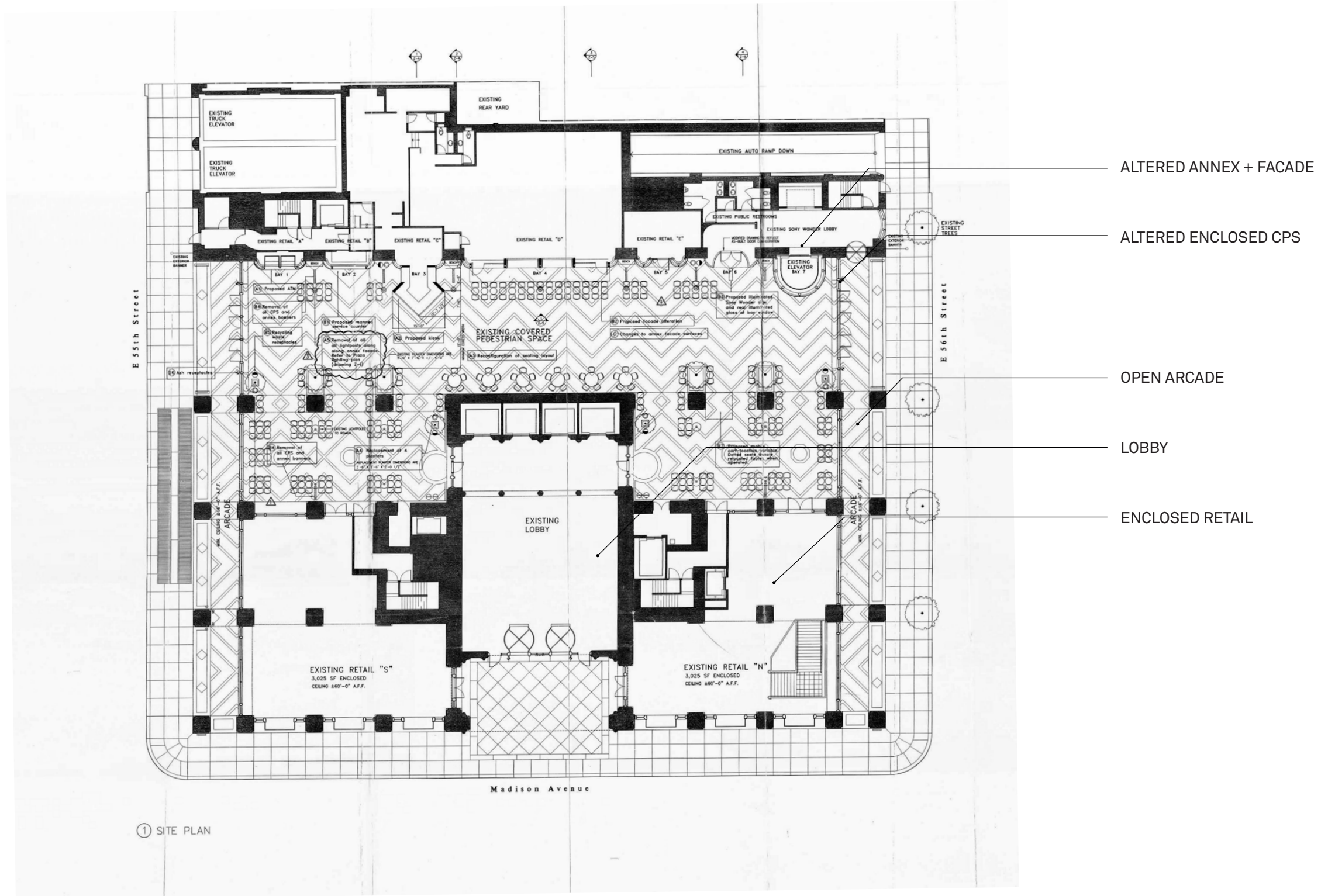


Original Site Plan



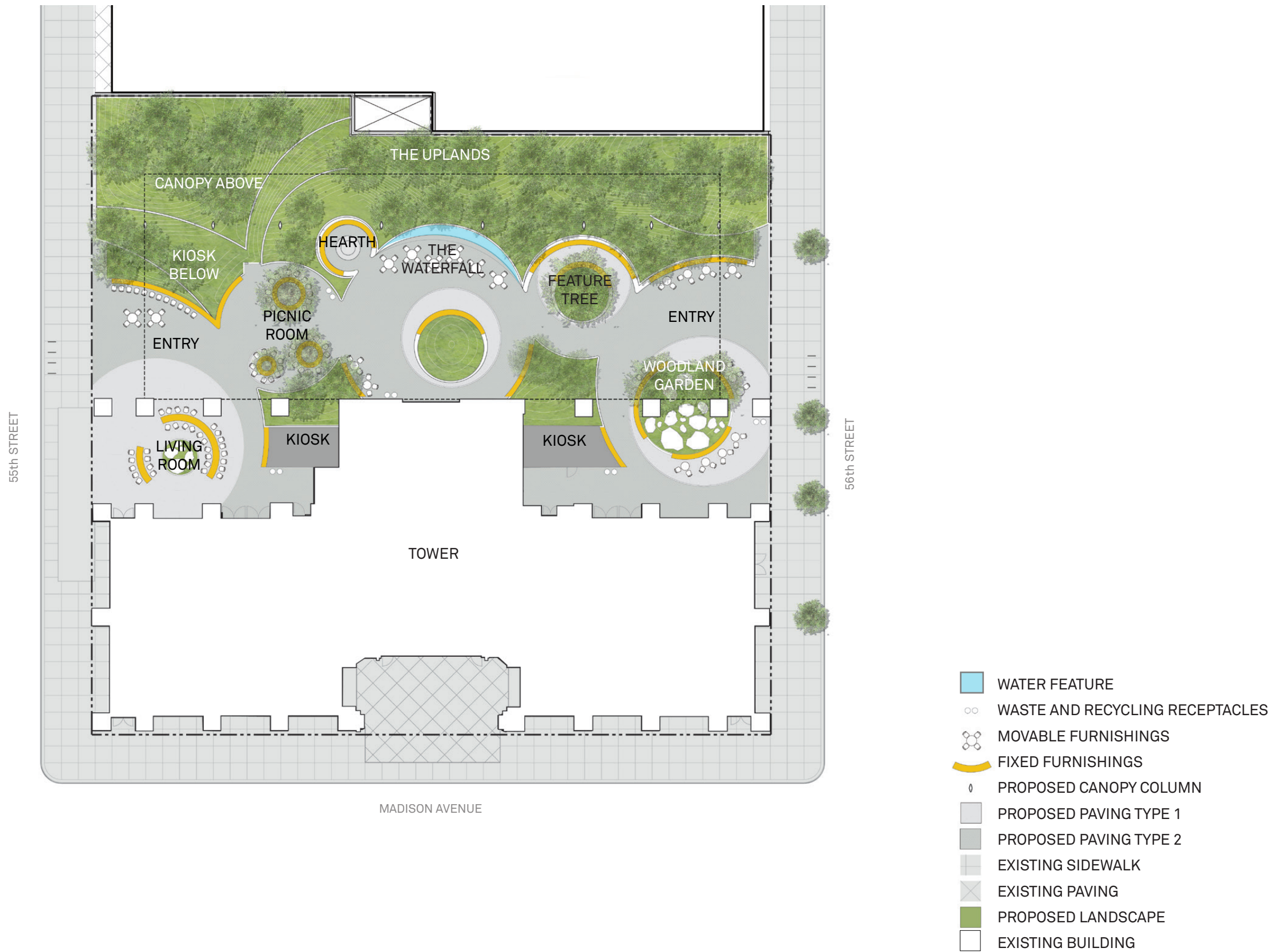


## Existing Site Plan



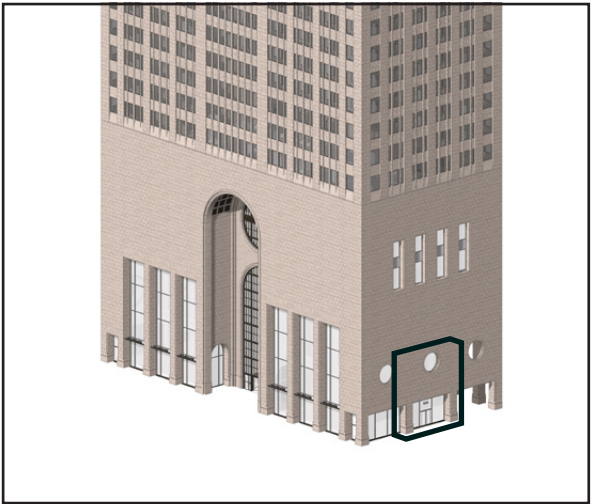
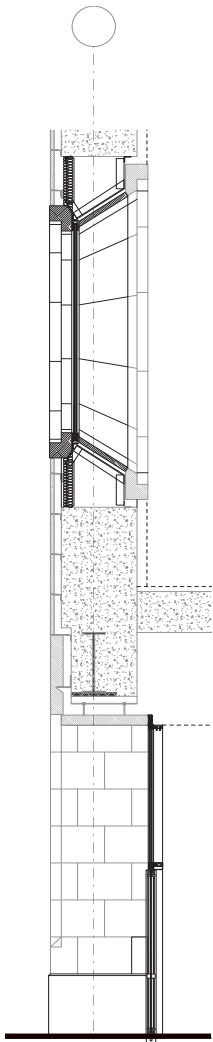
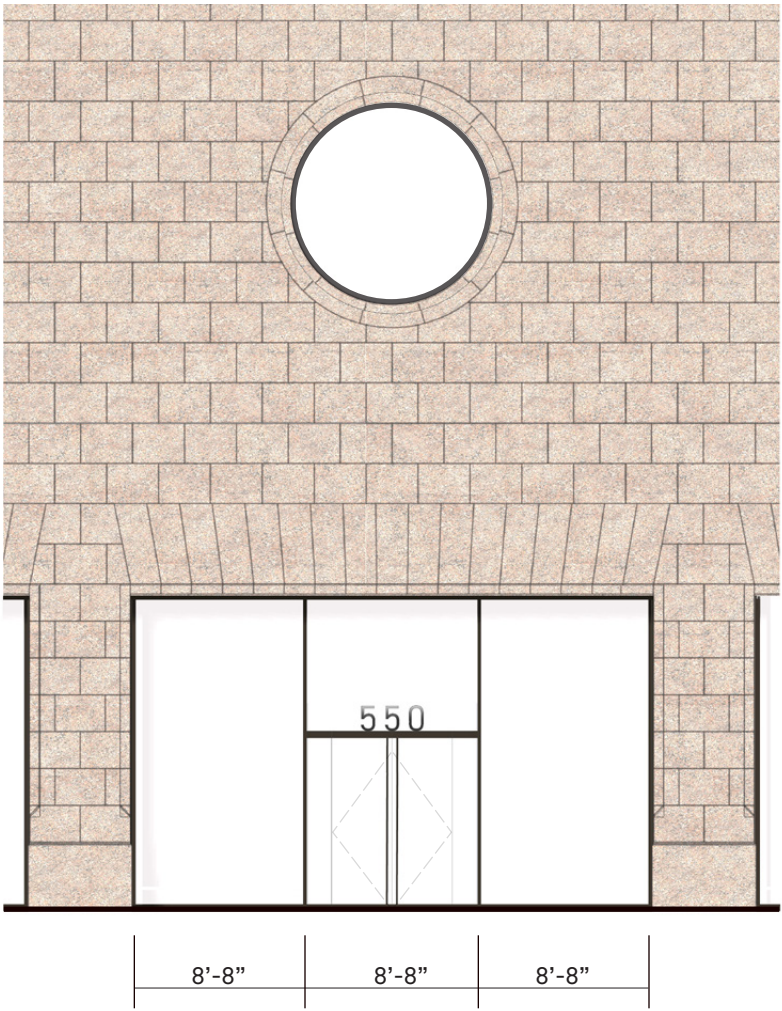
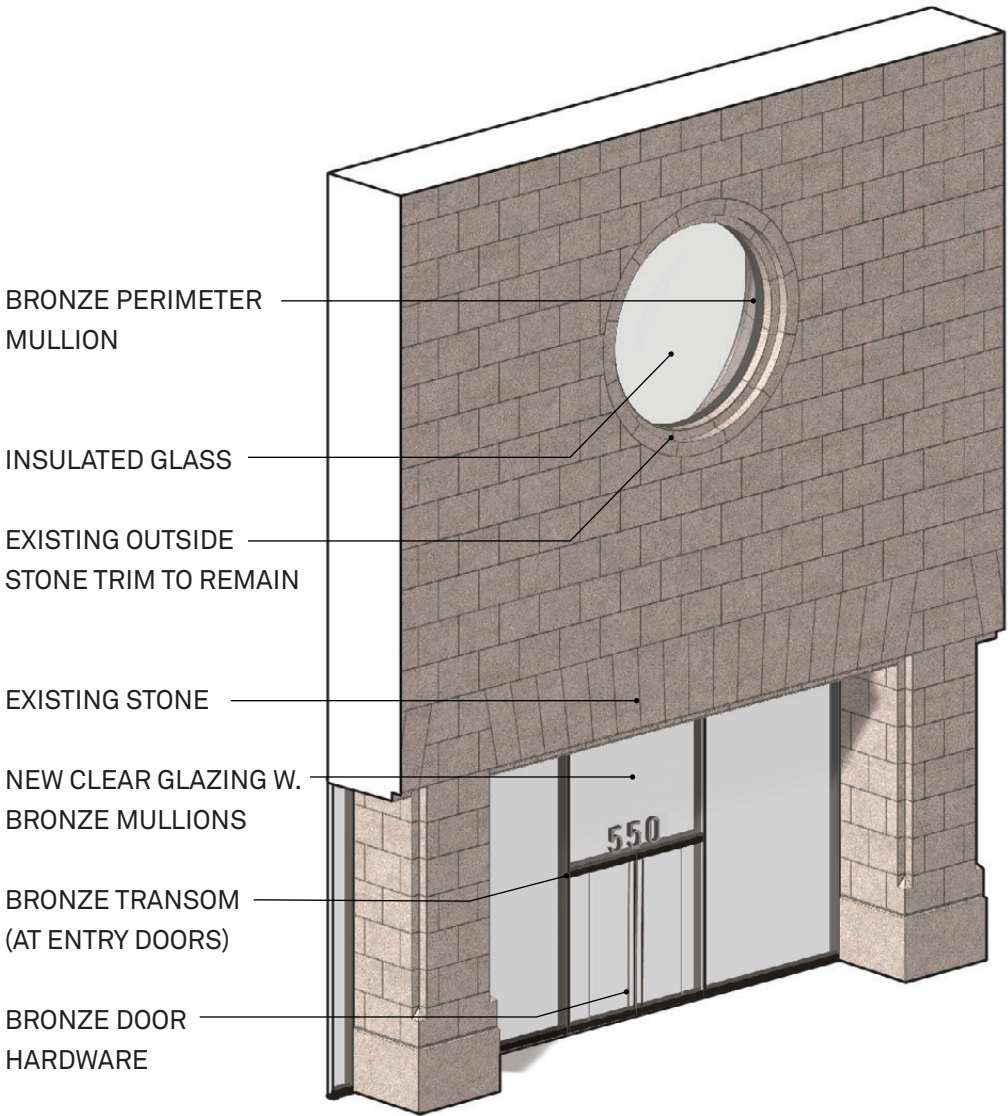


Proposed Site Plan

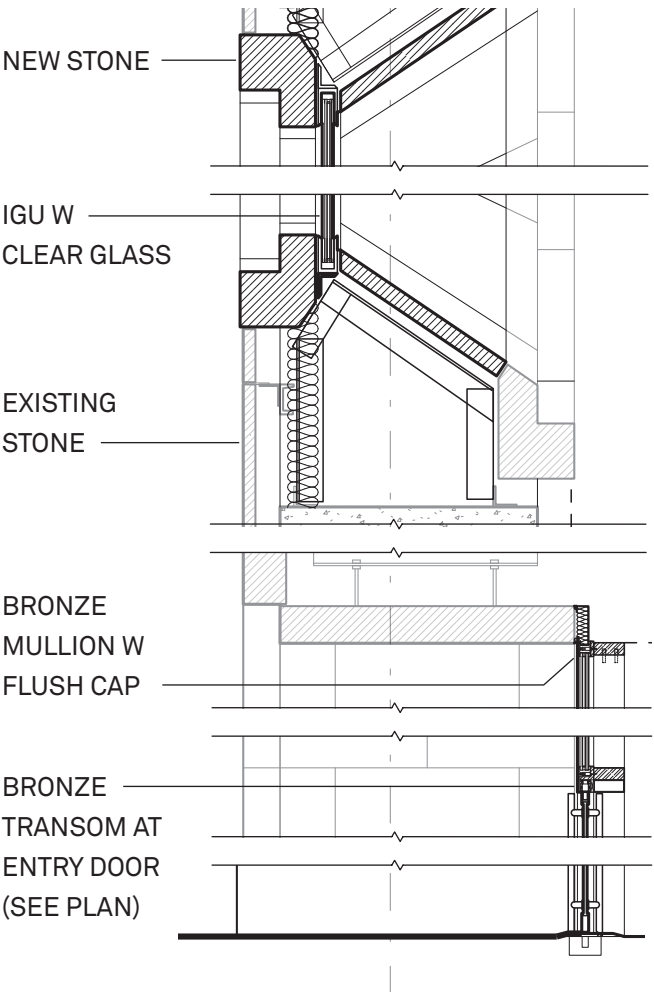




Retail and Porthole Glazing Details

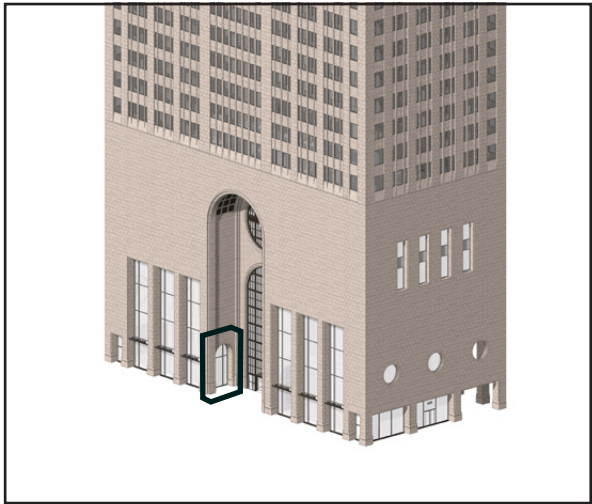
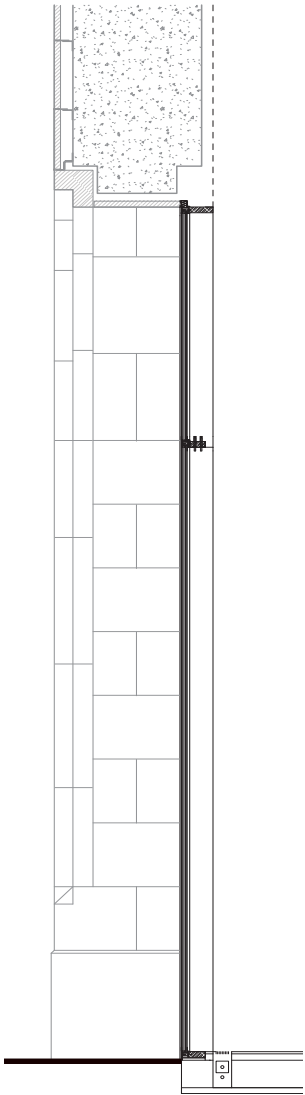
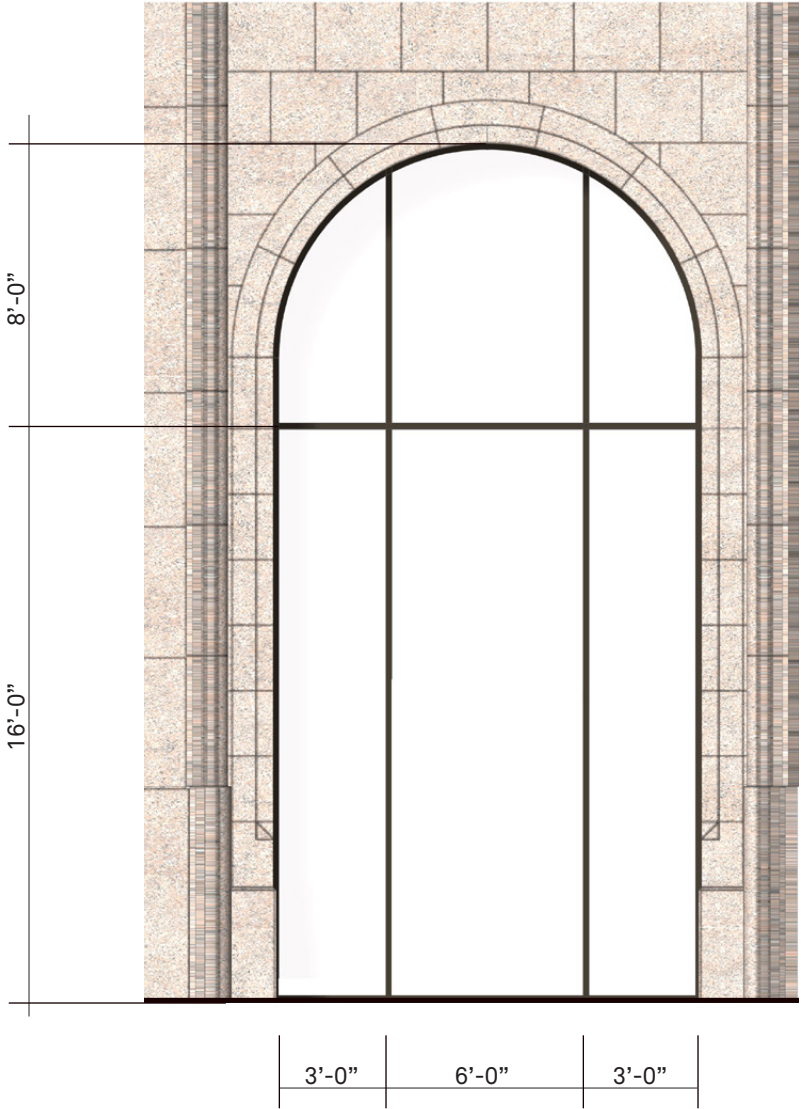
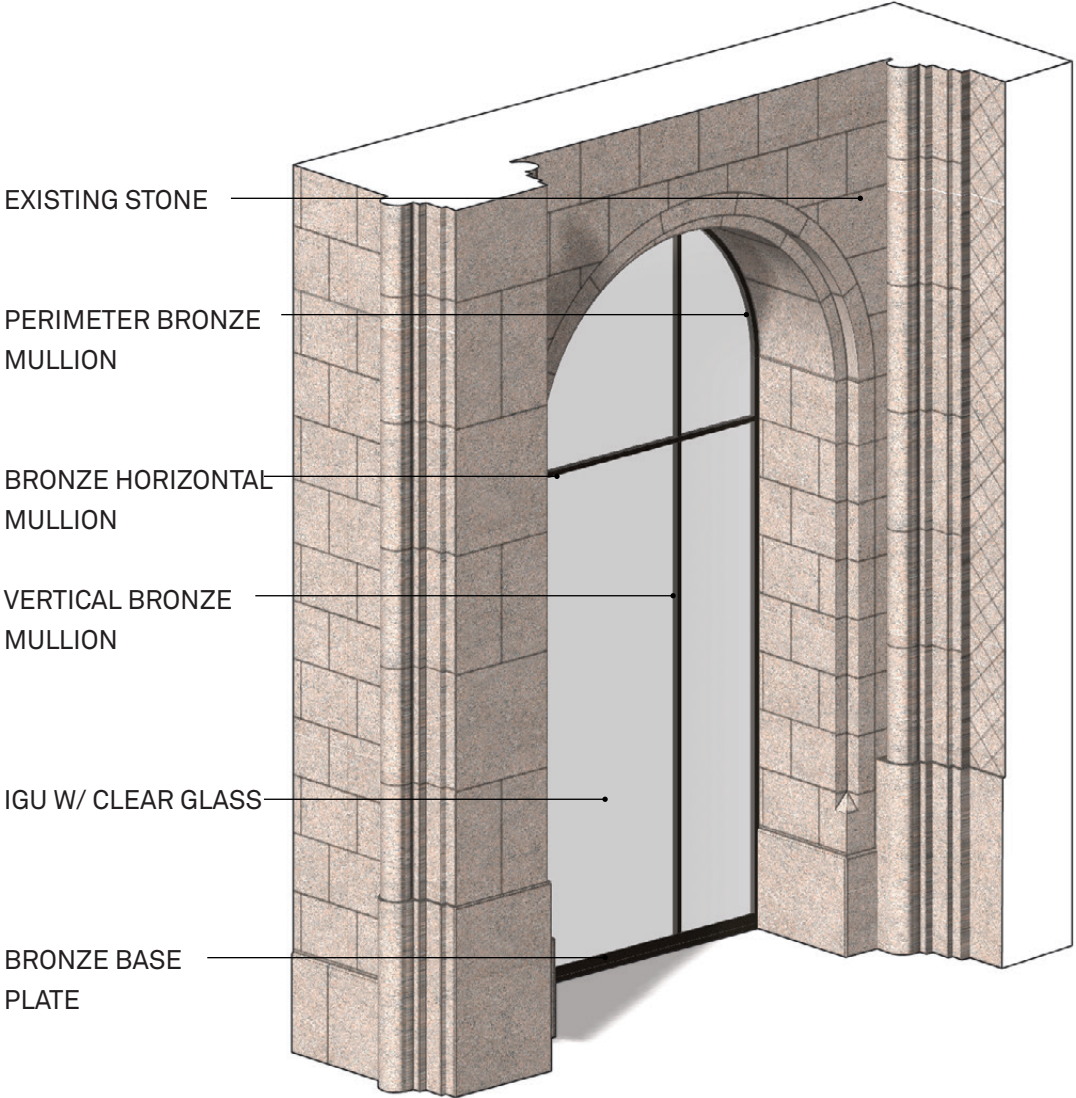


KEY AXON

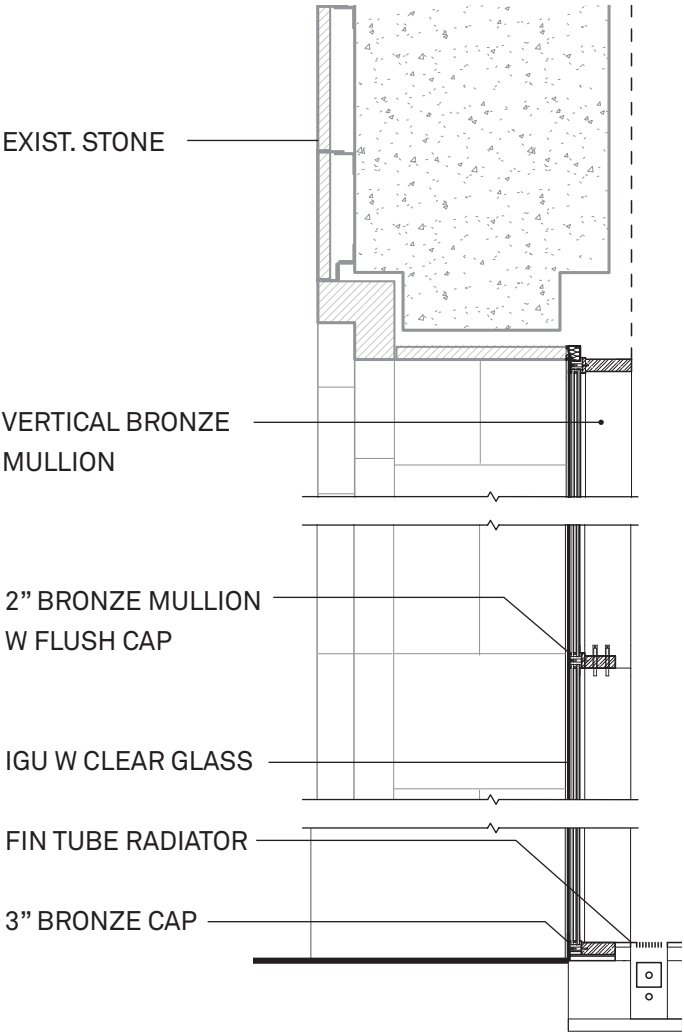




Side Arch Details

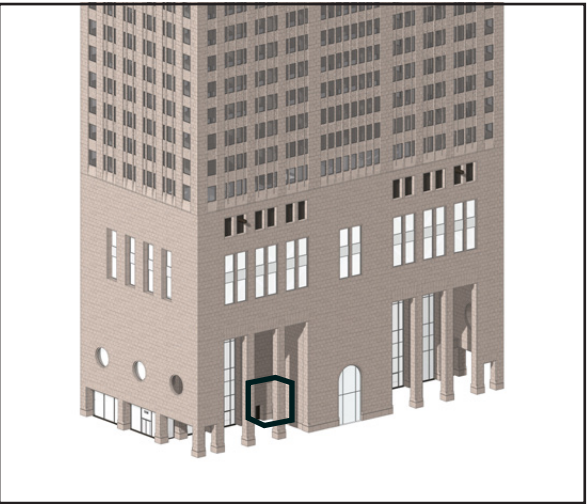


KEY AXON





CPS to Lobby Entry Details



KEY AXON



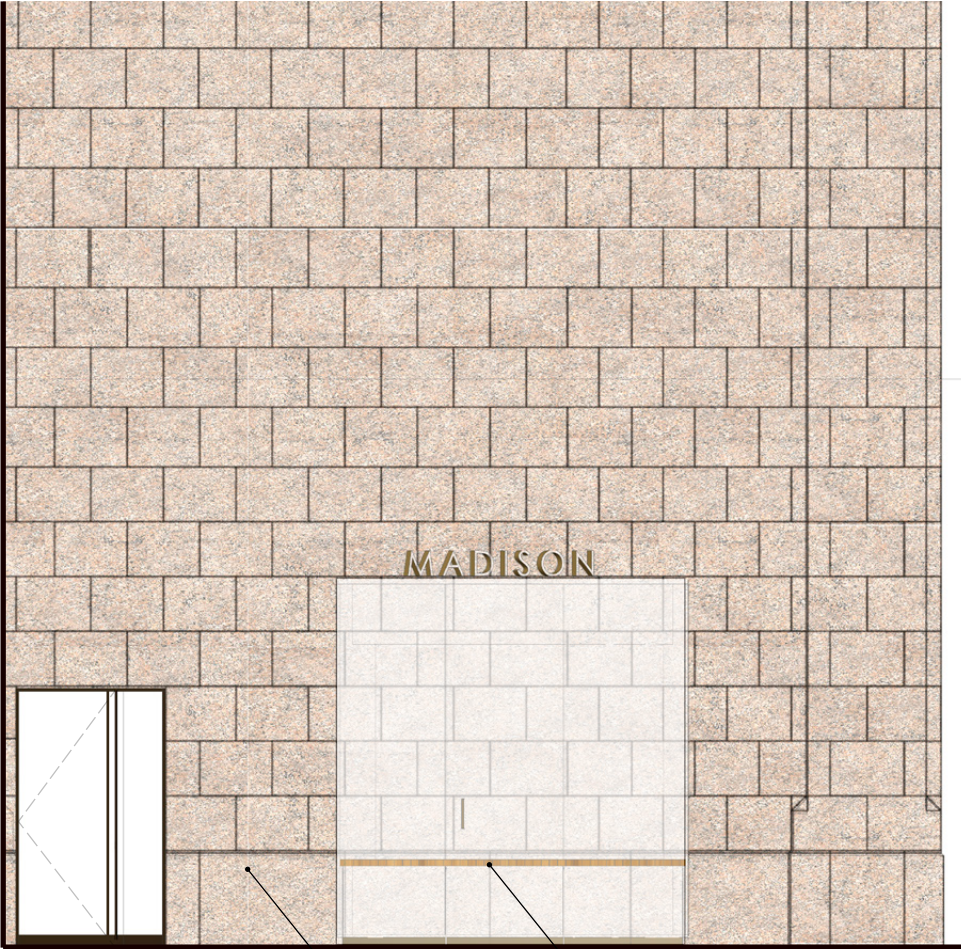
REVOLVING DOOR

ORIGINAL



SWING DOOR

EXISTING



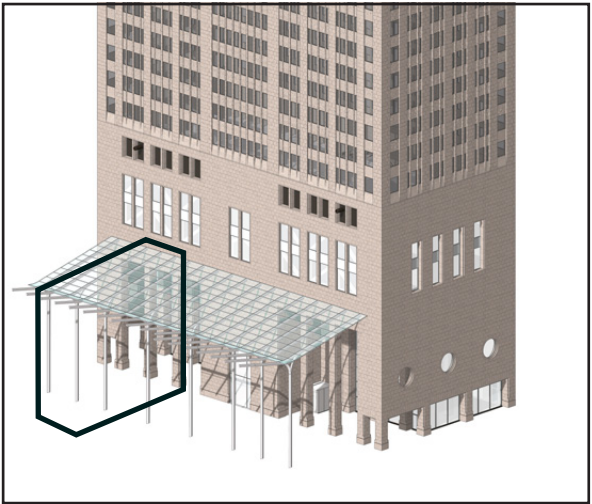
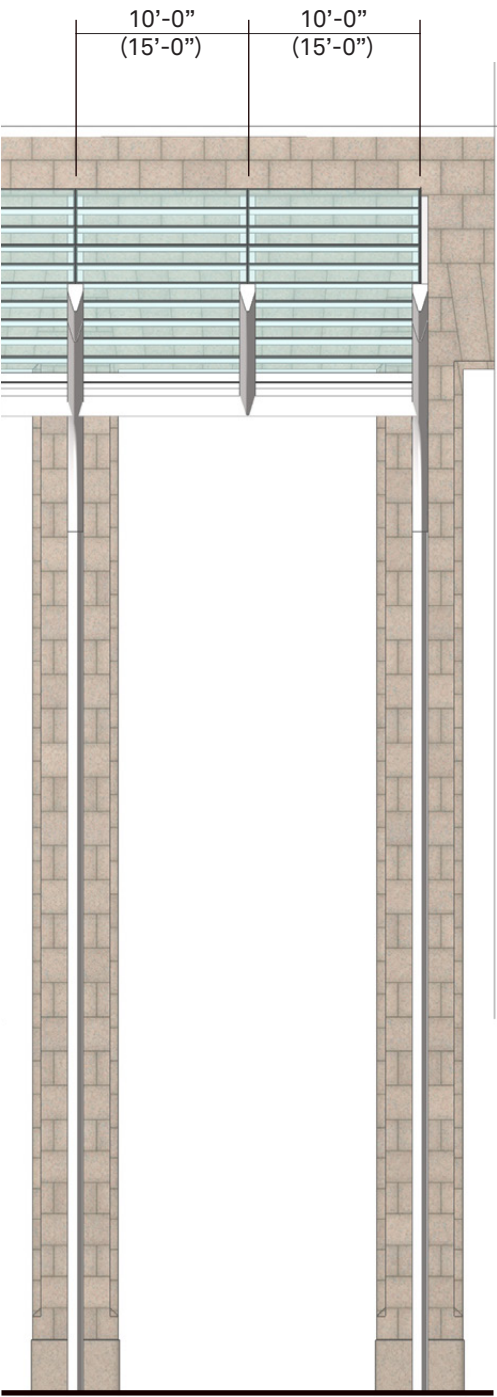
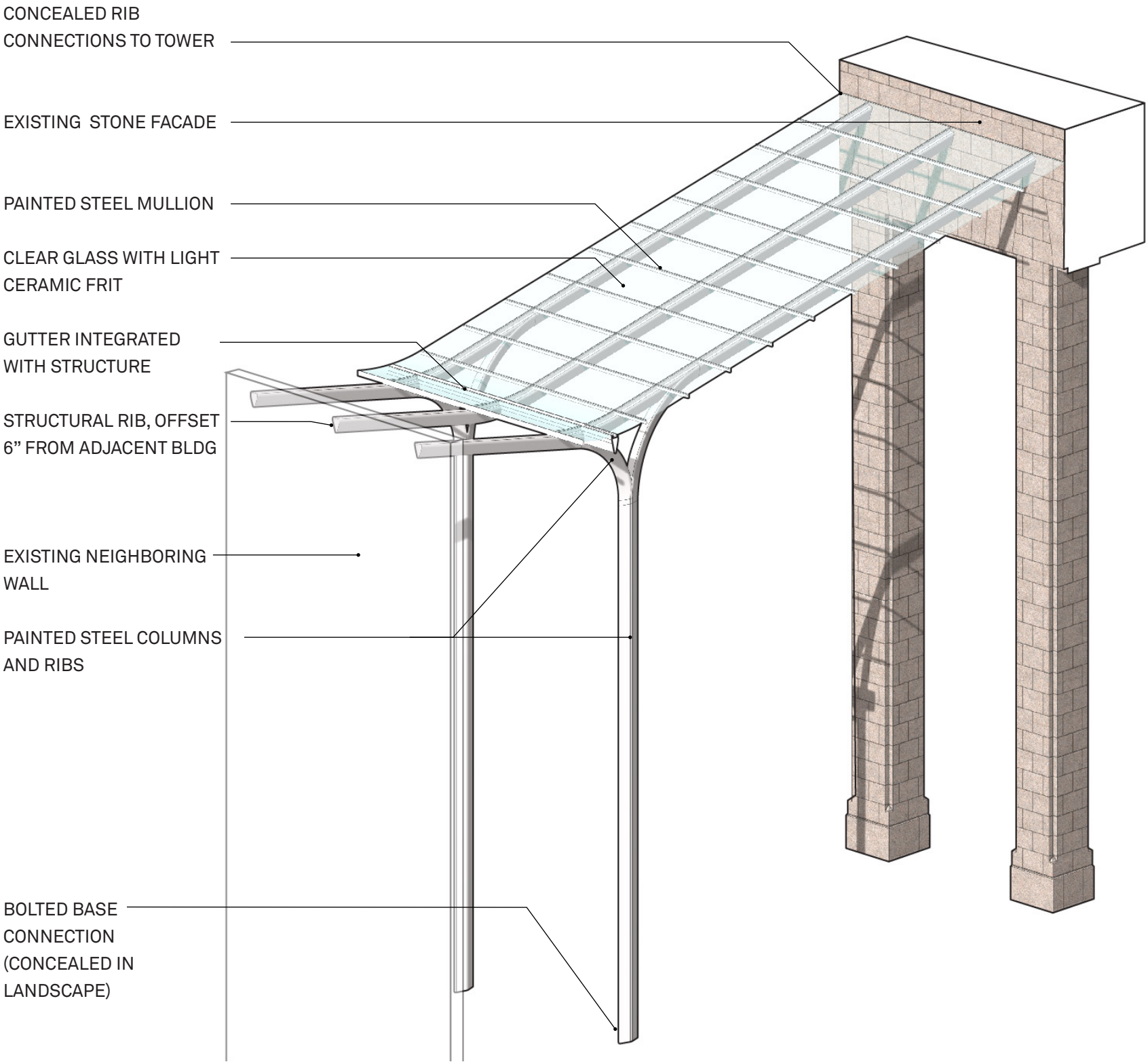
MADISON

(RETAIL KIOSK)  
PATCH INFILL WITH  
SALVAGED STONE

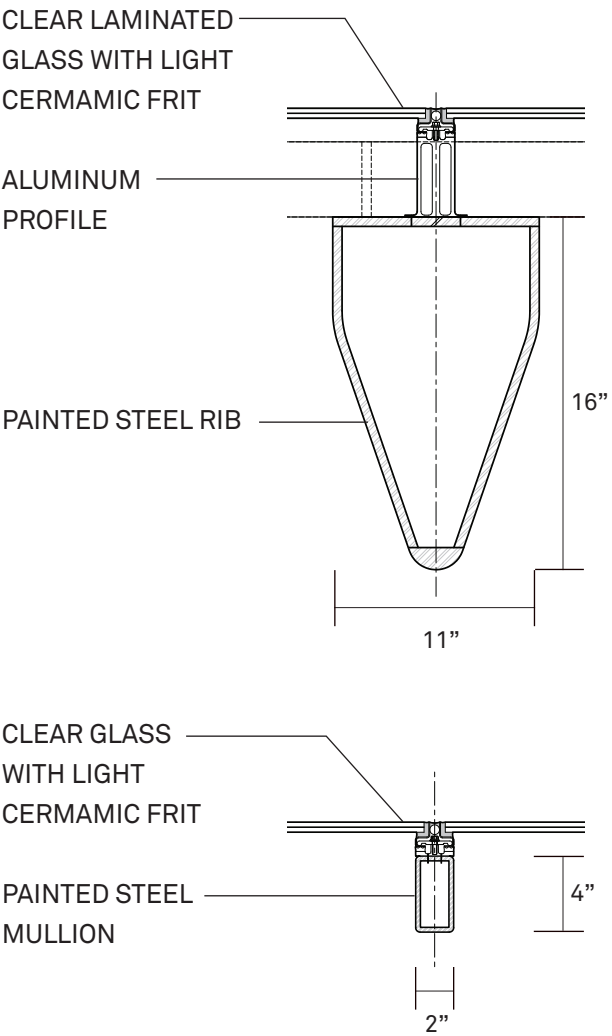
PROPOSED



Canopy Details



KEY AXON





Bloom Planting Selection

KEY

 bloom time

INTERPLANTED HIGHLIGHTS



*Aster macrophyllus*



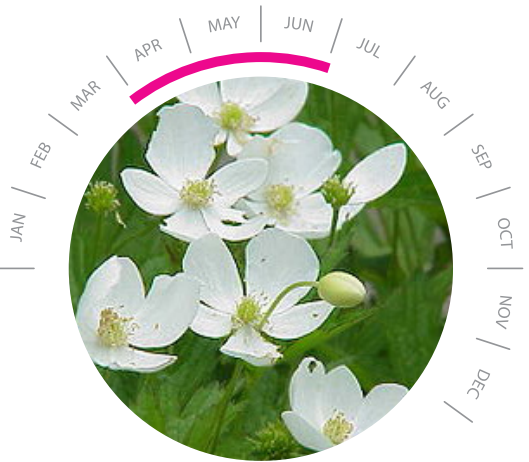
*Allium cernuum*



*Aquilegia canadensis*



*Monarda bradburiana*



*Anemone canadensis*

ANNUAL BULBS



*Chionodoxa luciliae*



*Lilium martagon*



*Hyacinthoides hispanica*



*Lycoris squamigera*



*Galanthus nivalis*



# Educational Component

## REVEALING TIME

Converting the public realm from a hermetically sealed atrium and technology museum to an open garden opens up new educational opportunities for this space. The proposal reveals pieces of the site’s geological history, solar orientation and seasonality - all seen through the lens of **time**.

Educational elements are located strategically through the space allowing visitors an opportunity to discover these upon every visit to the space. Information is embedded within the proposed seating and walking surfaces rather than introducing free-standing elements similar to a botanic garden or museum.

KEY

seasonal time

cosmic time

geologic time

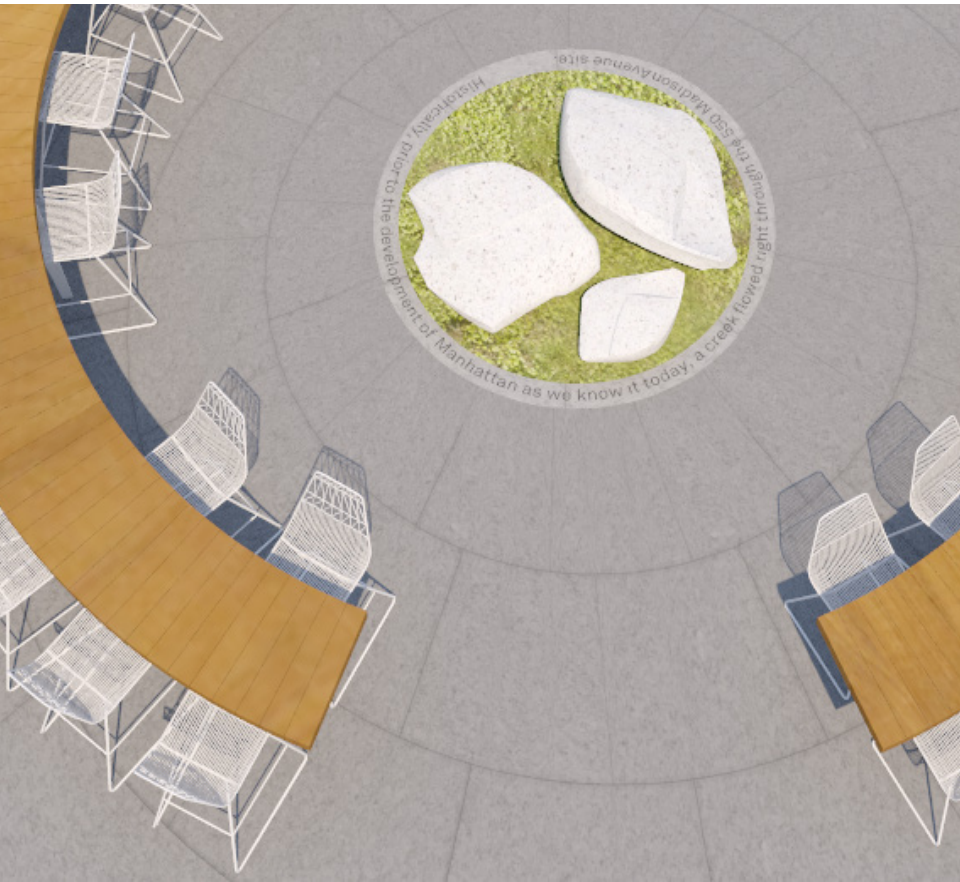
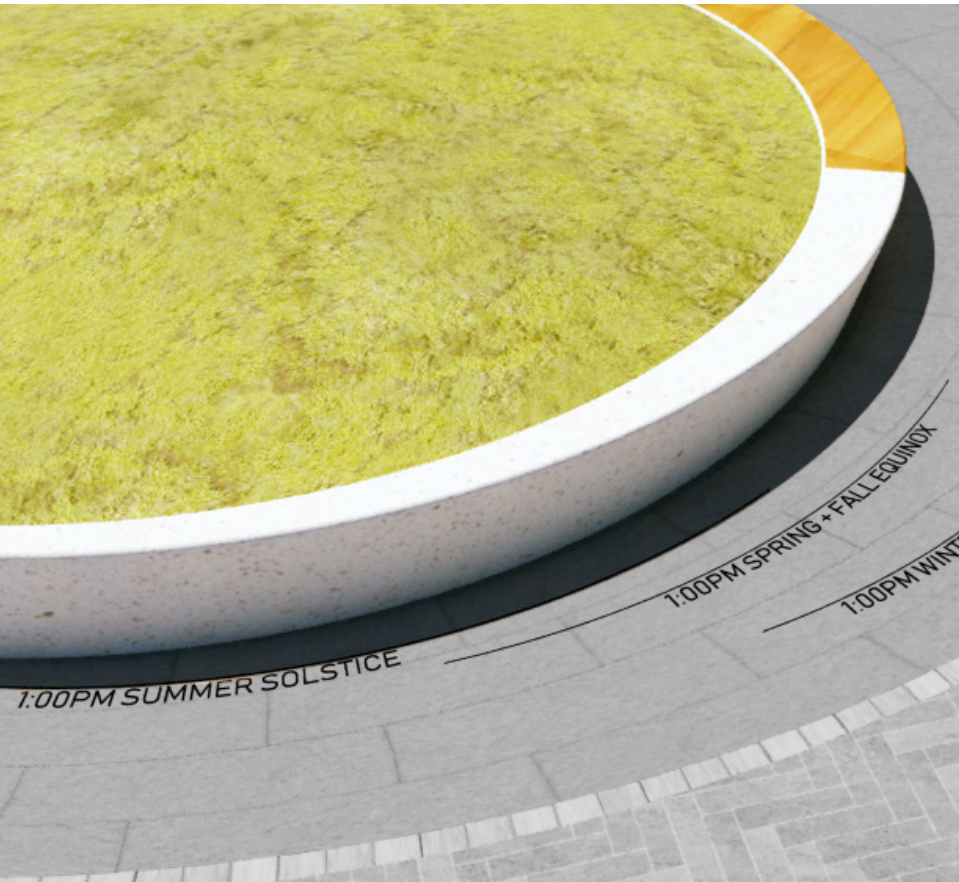
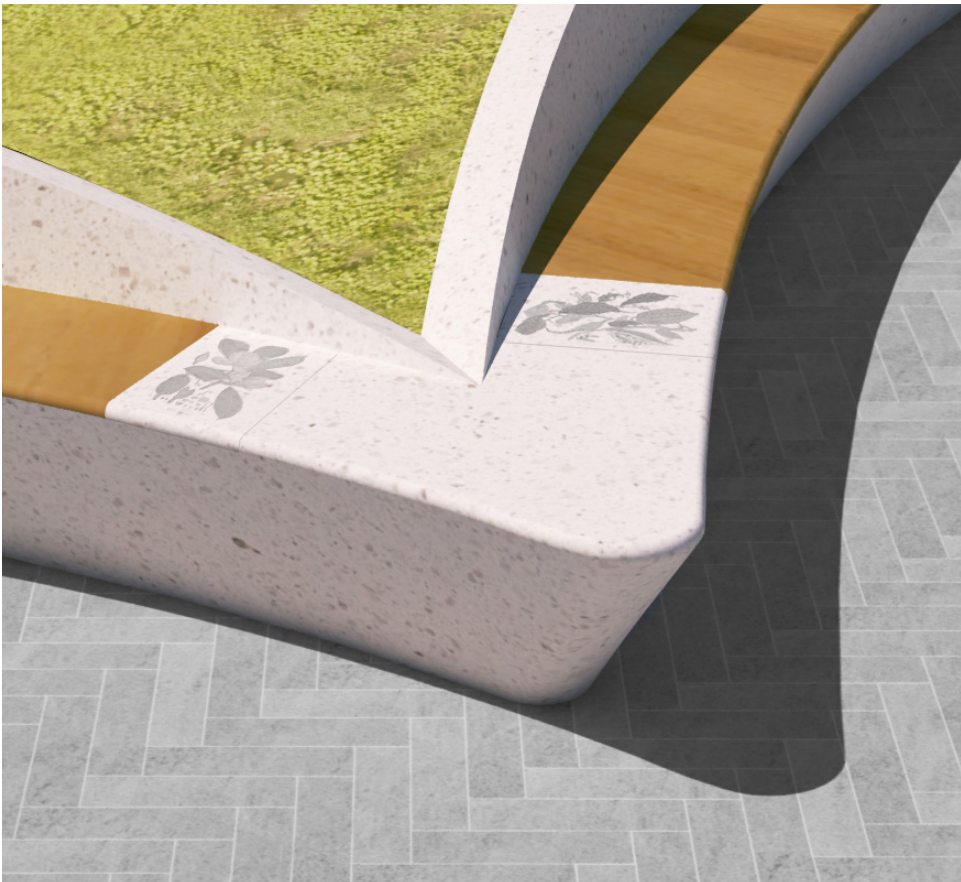
An architectural site plan of a garden area. The plan shows a large rectangular area with a building footprint at the bottom. The garden area is divided into several sections by paths and seating areas. A large circular feature with a pink border is located in the upper center. Several smaller circular features with pink borders are scattered throughout the garden. The plan includes various landscape elements like trees, shrubs, and paths. A dashed line outlines the garden area, and a solid line outlines the building footprint. The plan is oriented with the building at the bottom and the garden area above it.

OLAYAN Chelsfield RXR Snøhetta

550 Madison Avenue 86



Educational Component



seasonal time//**species**



cosmic time//**sun**

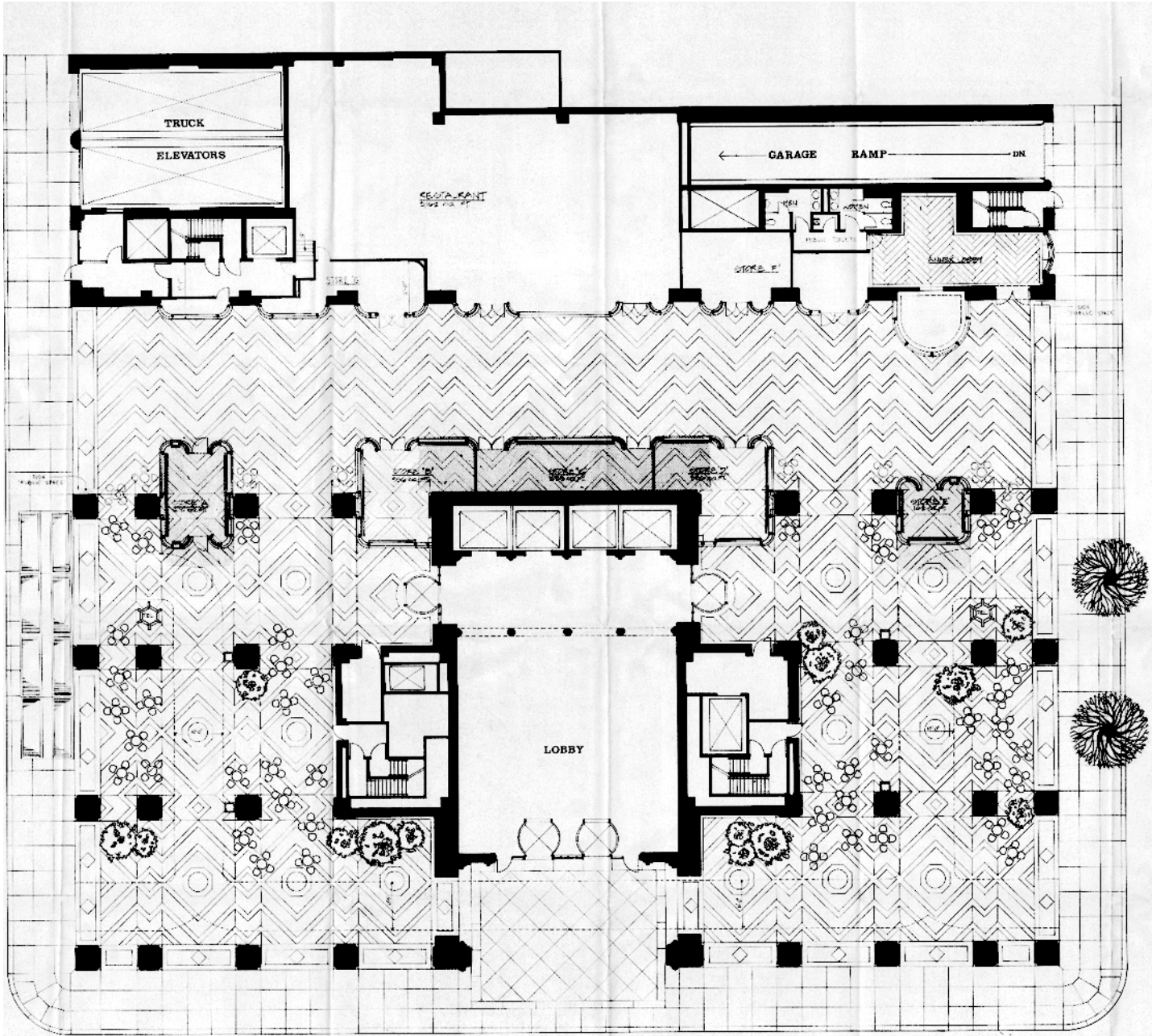


geologic time//**water**

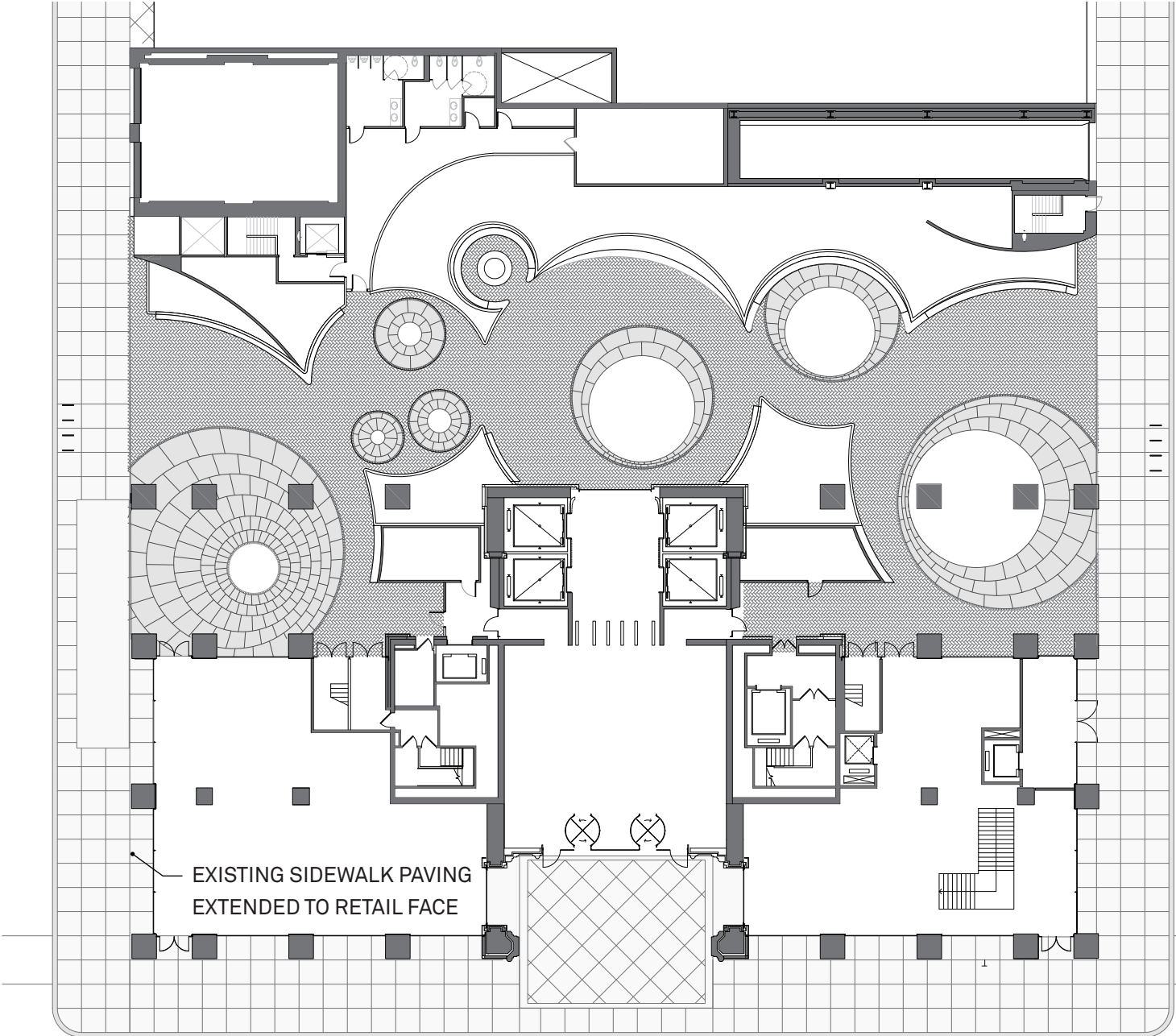




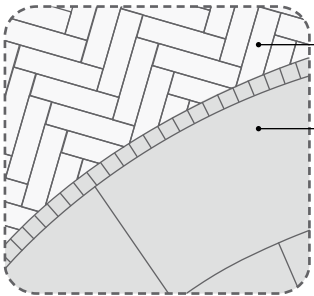
Original and Proposed Paving Plans



ORIGINAL 1984 PAVING DESIGN



PROPOSED PAVING PLAN



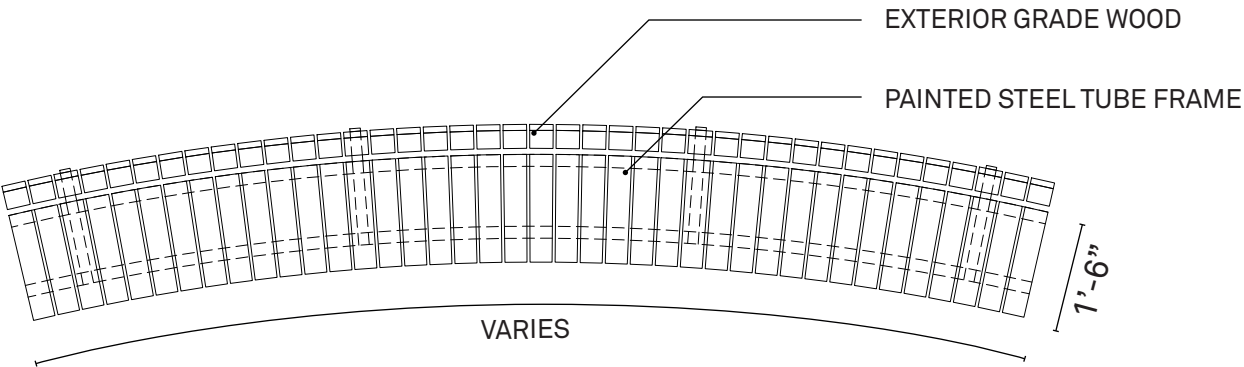
LIGHT COLORED GRANITE PAVER

DARK COLORED GRANITE SLAB

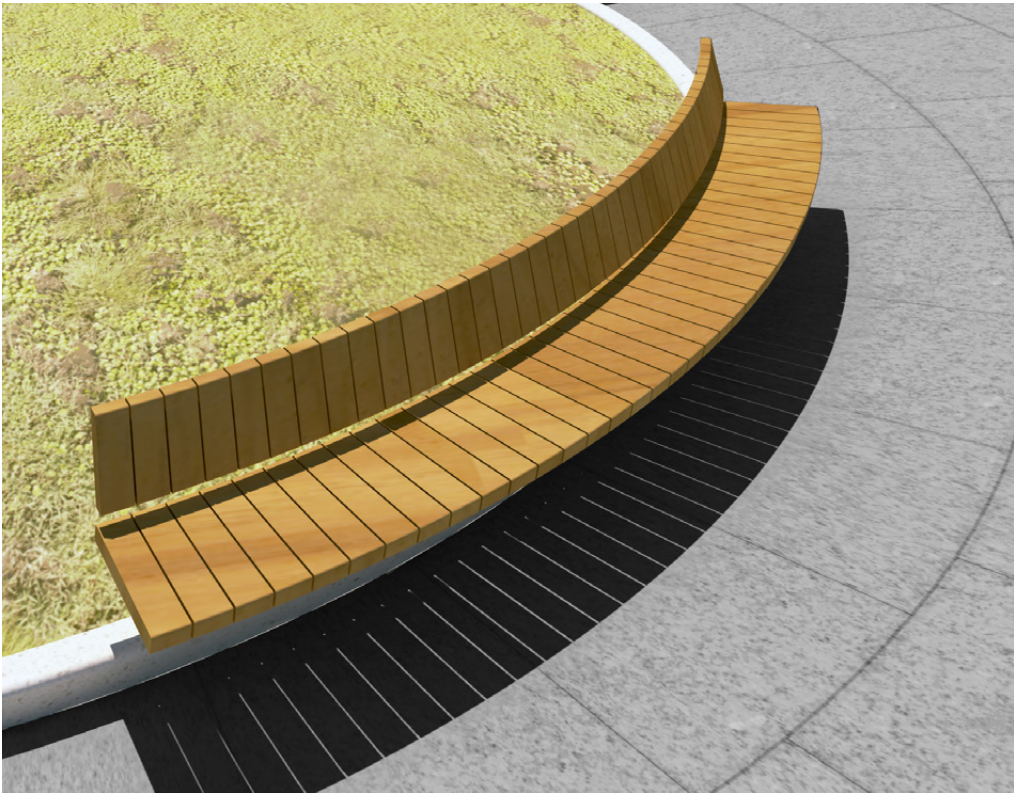
PROPOSED PAVING DETAIL



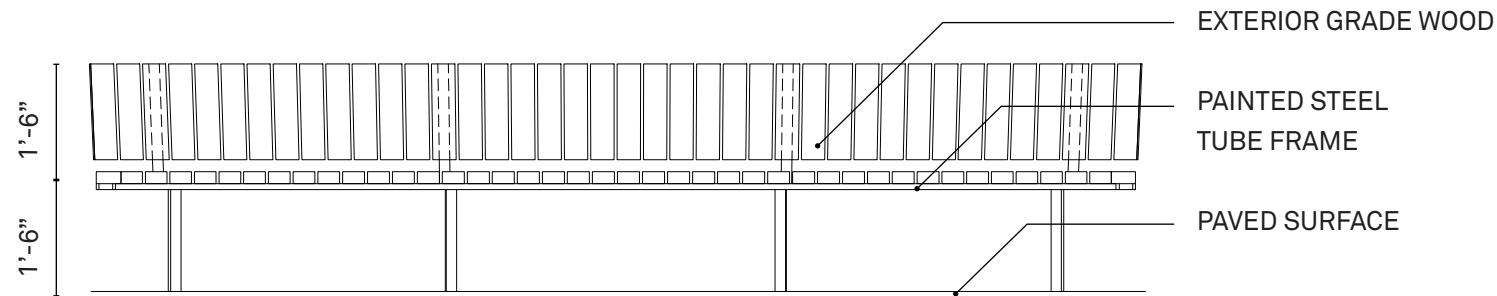
Proposed Freestanding Bench Details



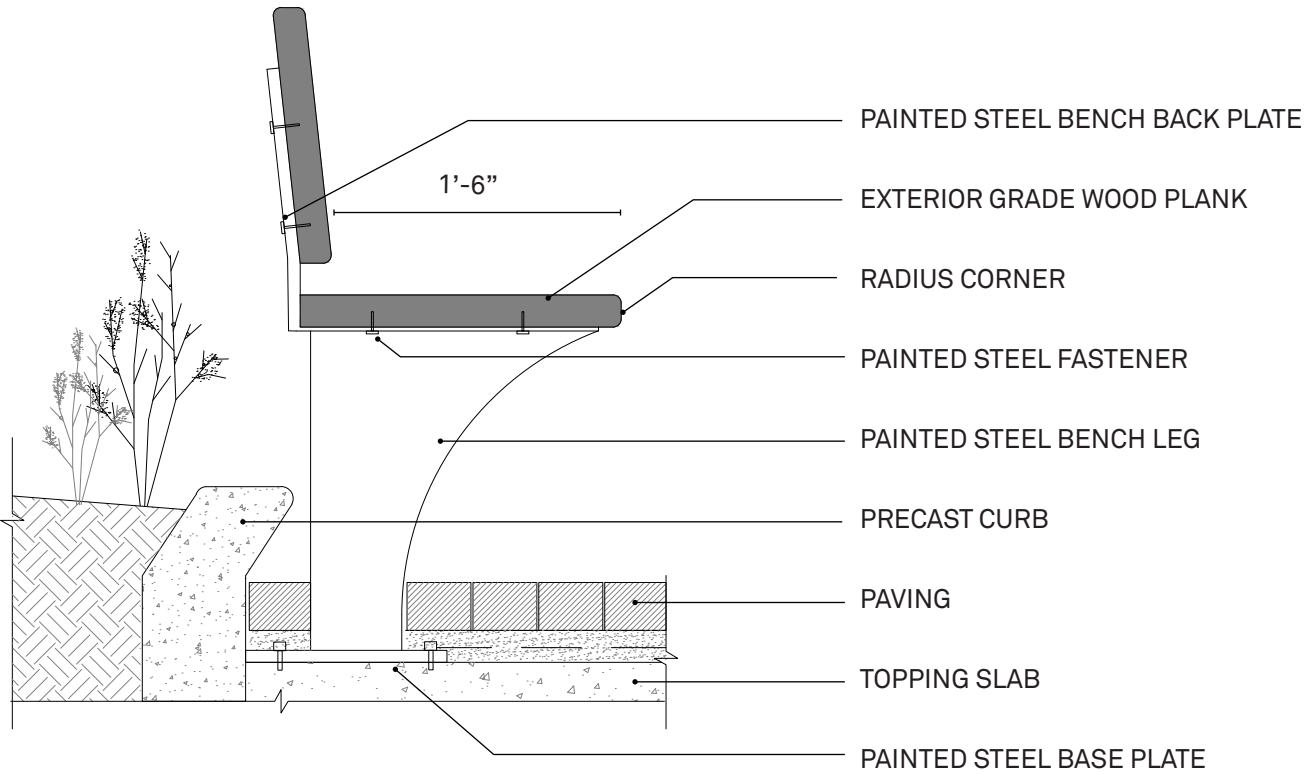
TYPICAL BENCH PLAN



TYPICAL BENCH ASSEMBLY



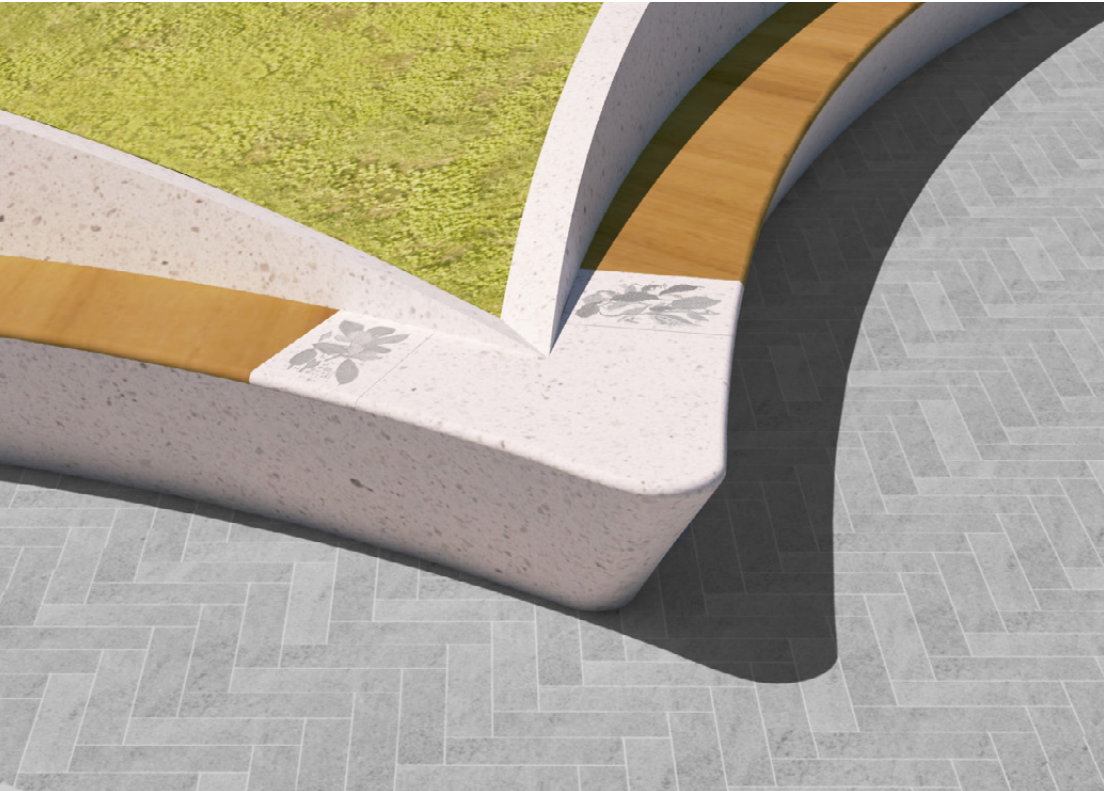
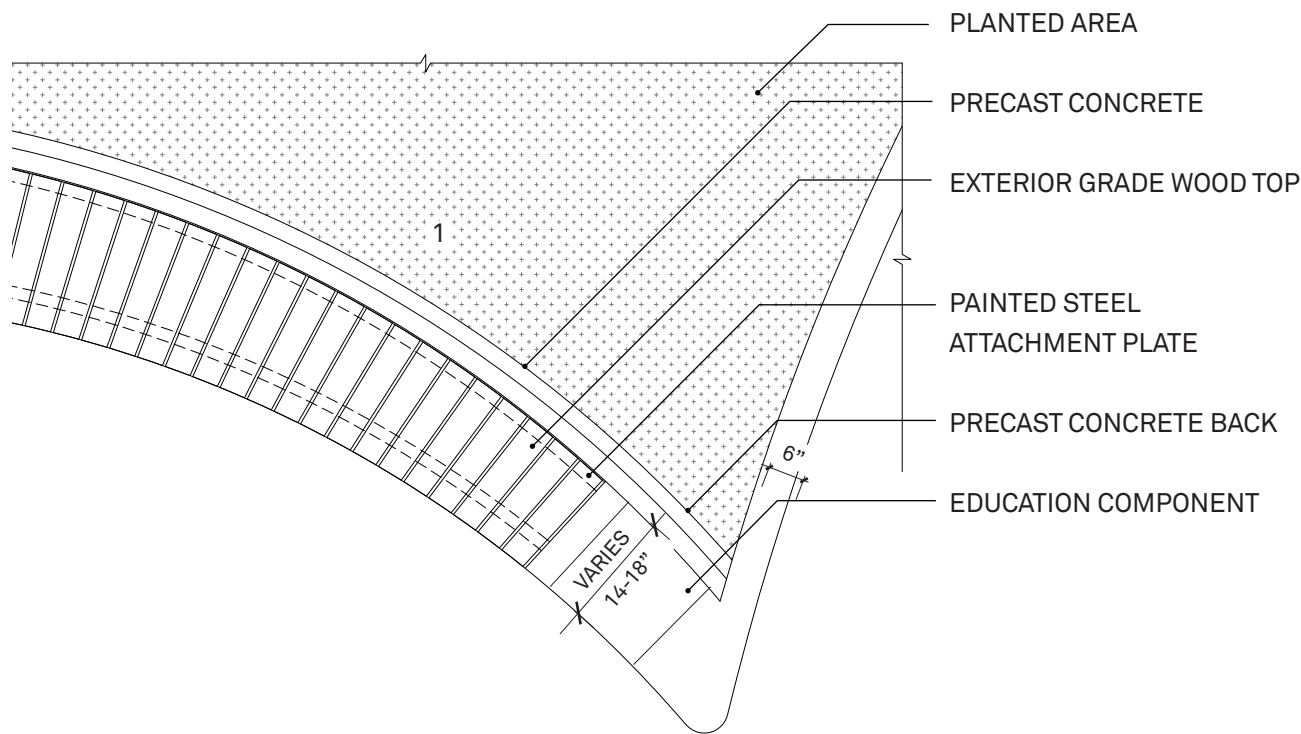
TYPICAL BENCH ELEVATION



TYPICAL BENCH SECTION

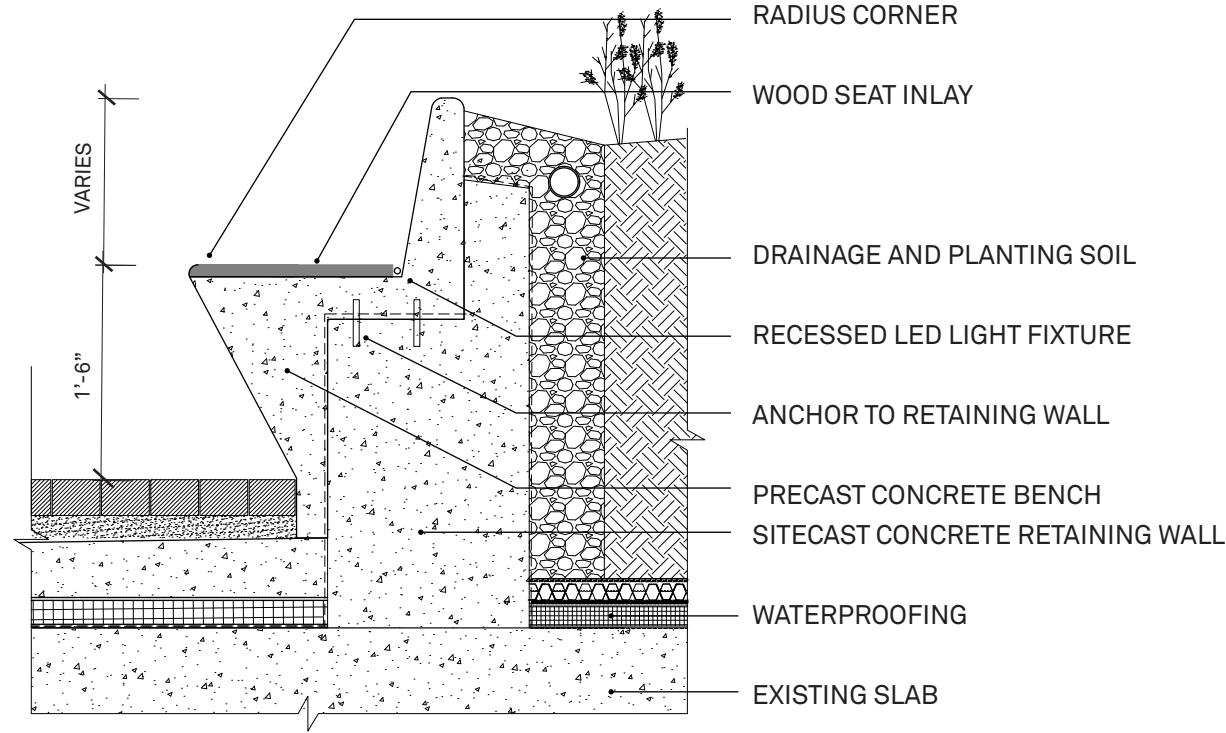


# Proposed Fixed Bench Details



TYPICAL FIXED BENCH PLAN

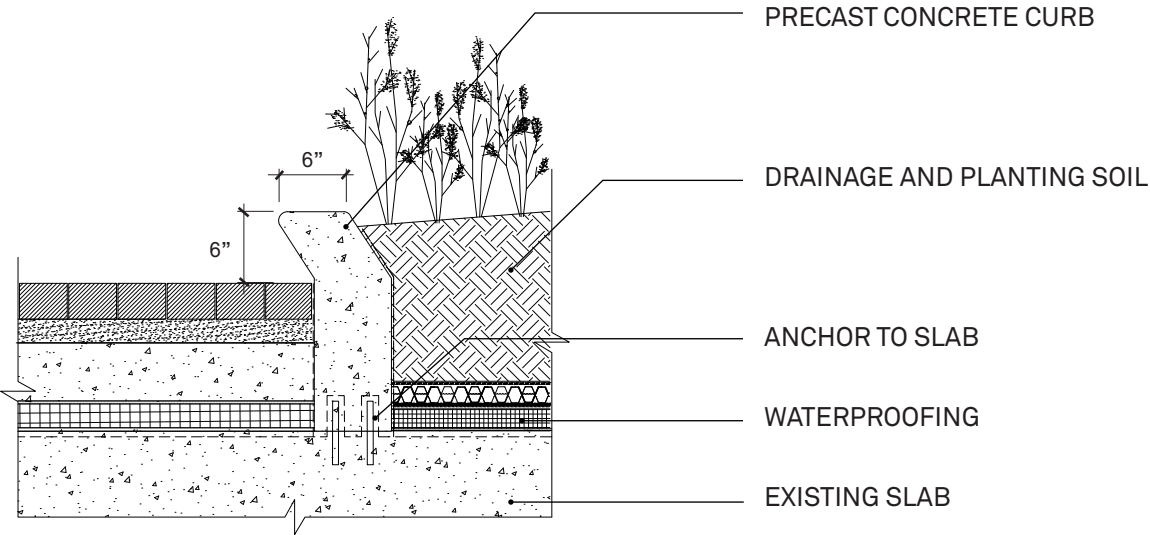
TYPICAL FIXED BENCH VIEW



TYPICAL FIXED BENCH SECTION



Proposed Curb Details



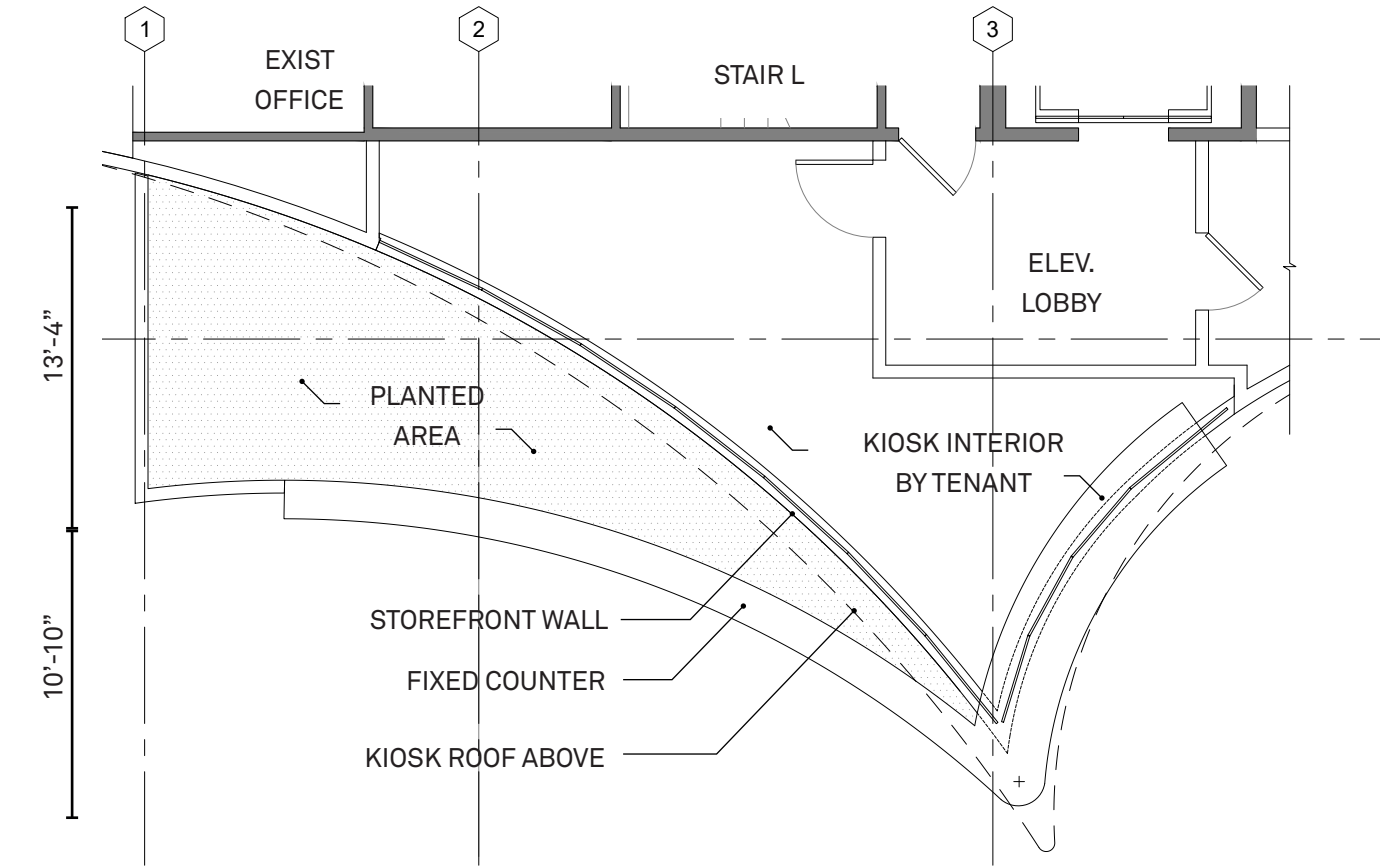
TYPICAL CURB SECTION



TYPICAL CURB VIEW



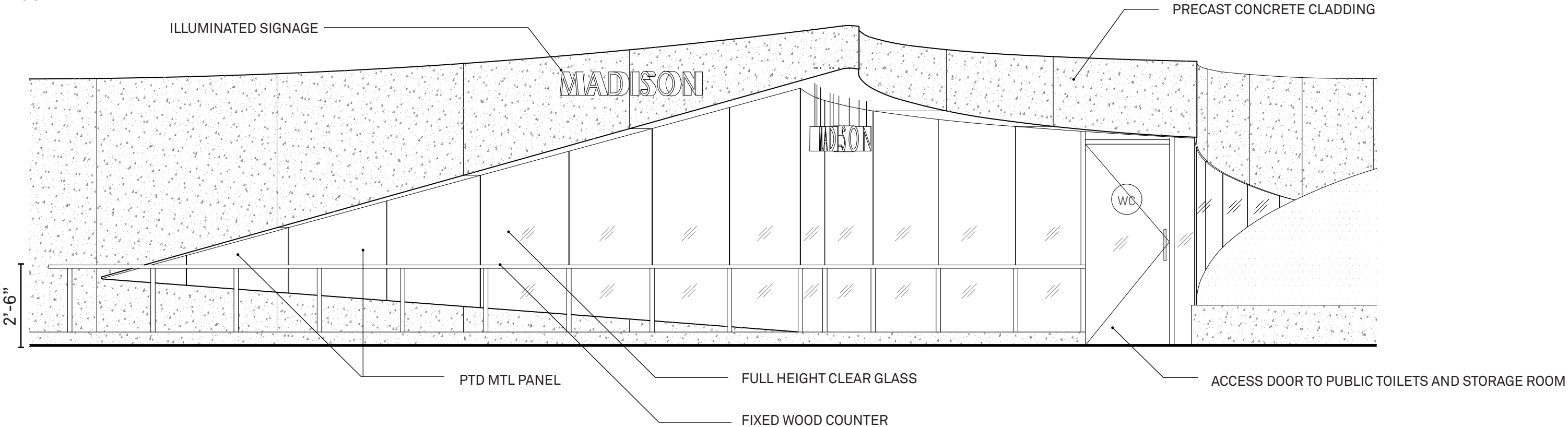
Proposed Kiosk Details



KIOSK PLAN



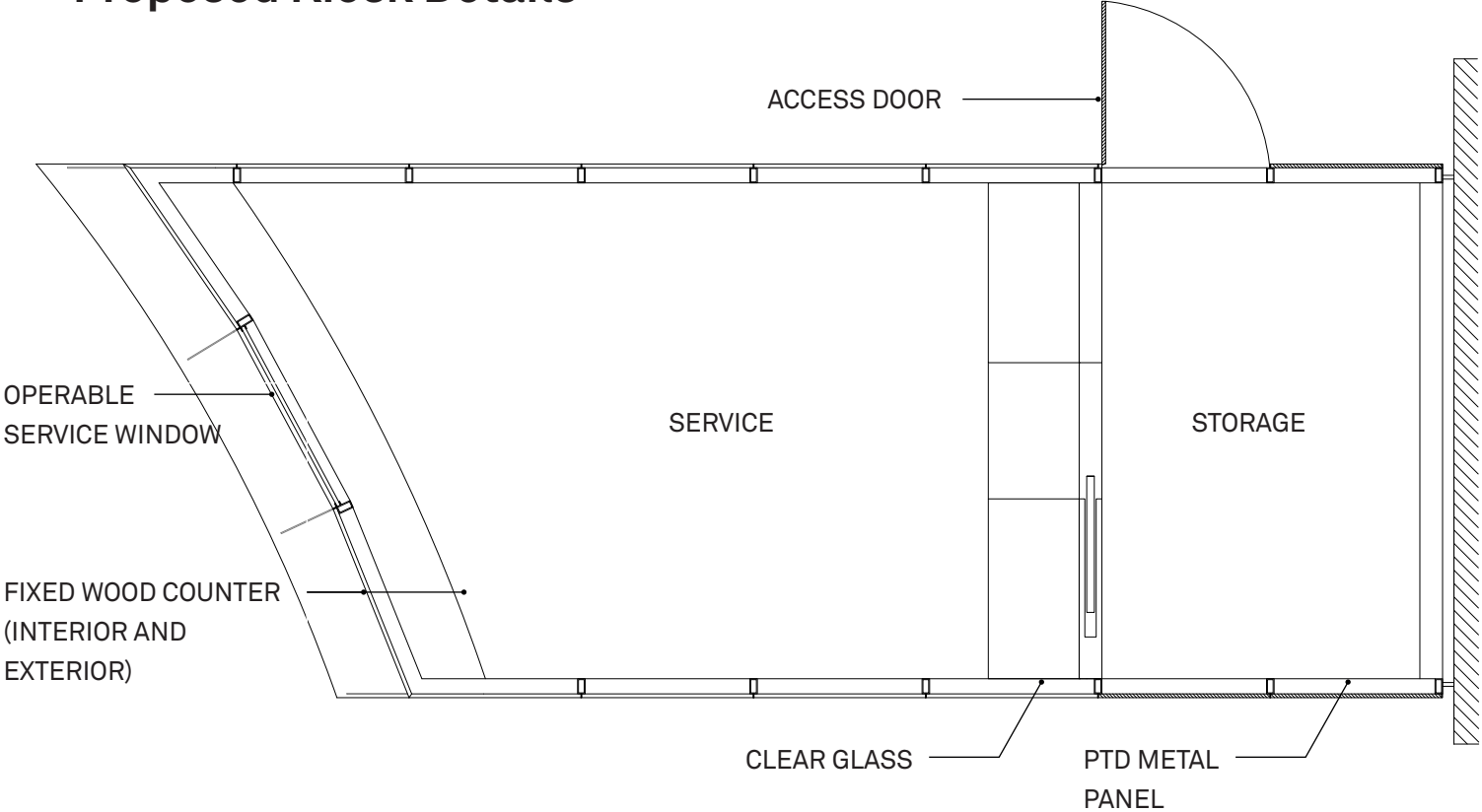
KIOSK VIEW



KIOSK WEST ELEVATION



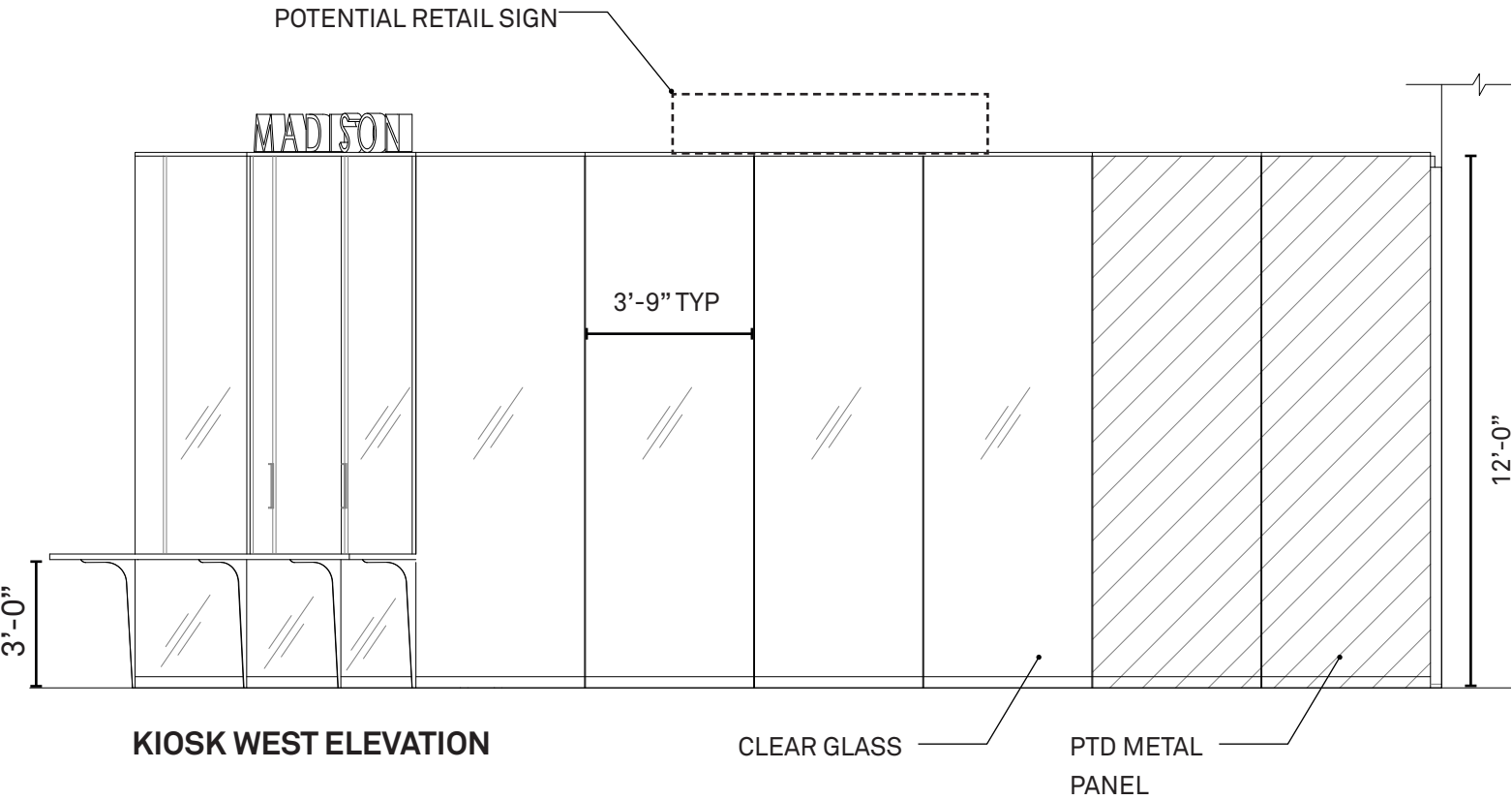
Proposed Kiosk Details



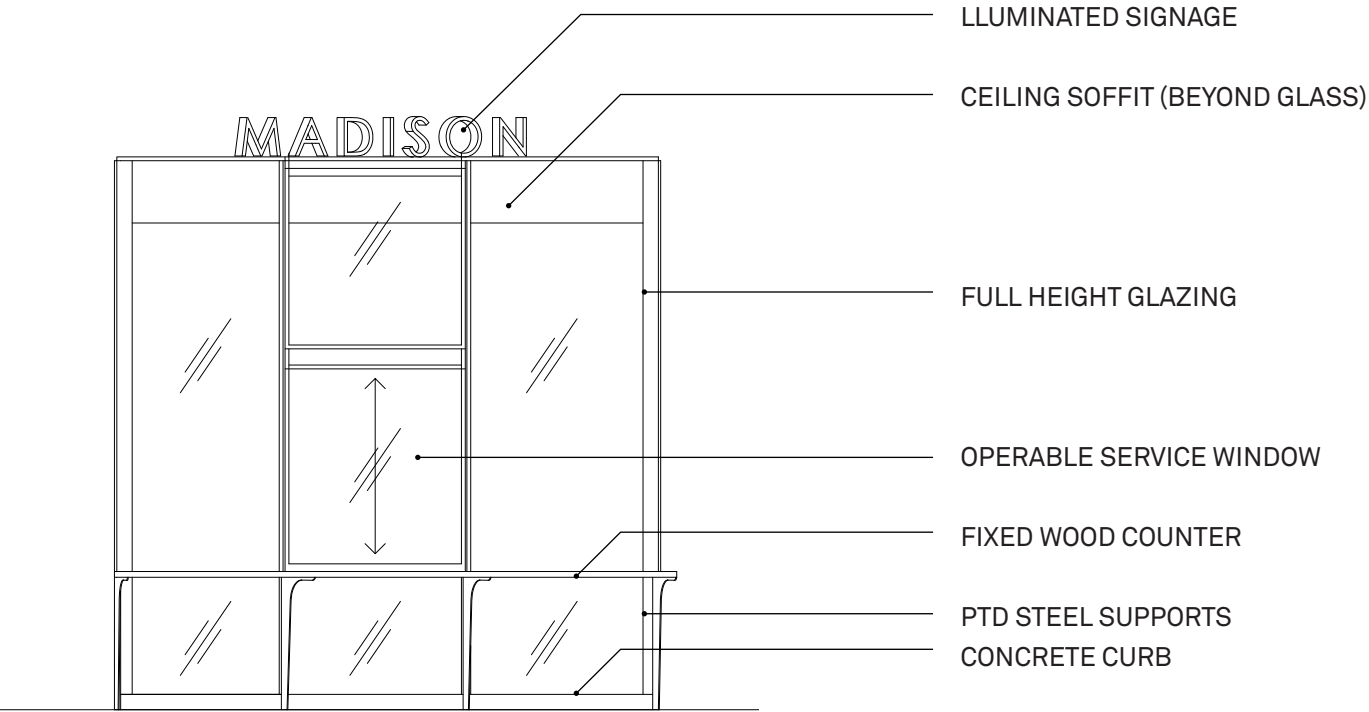
KIOSK PLAN



KIOSK VIEW



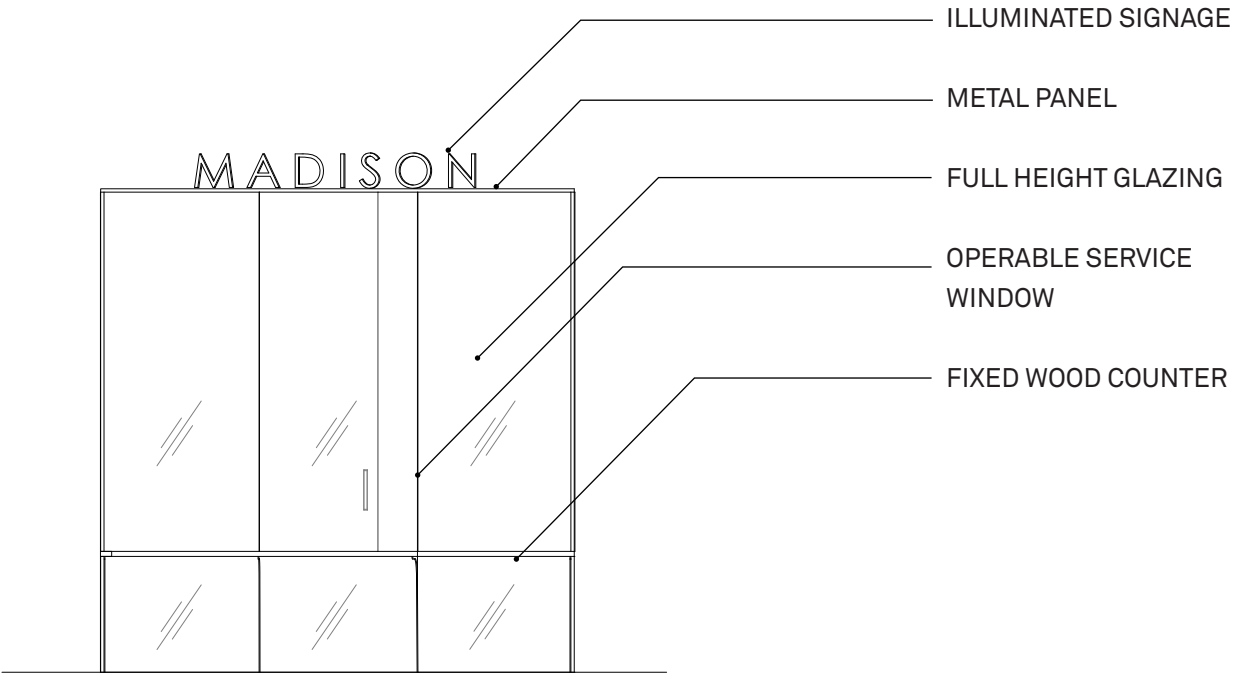
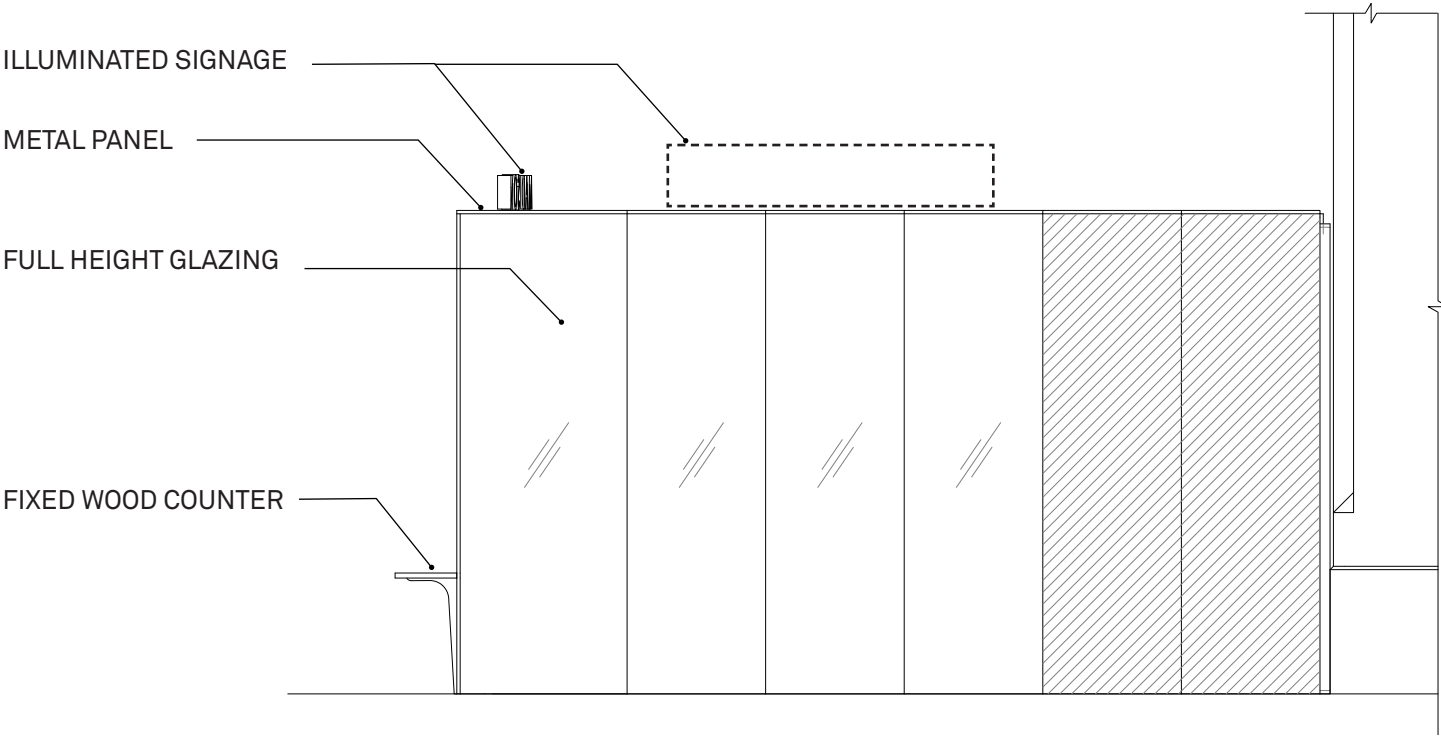
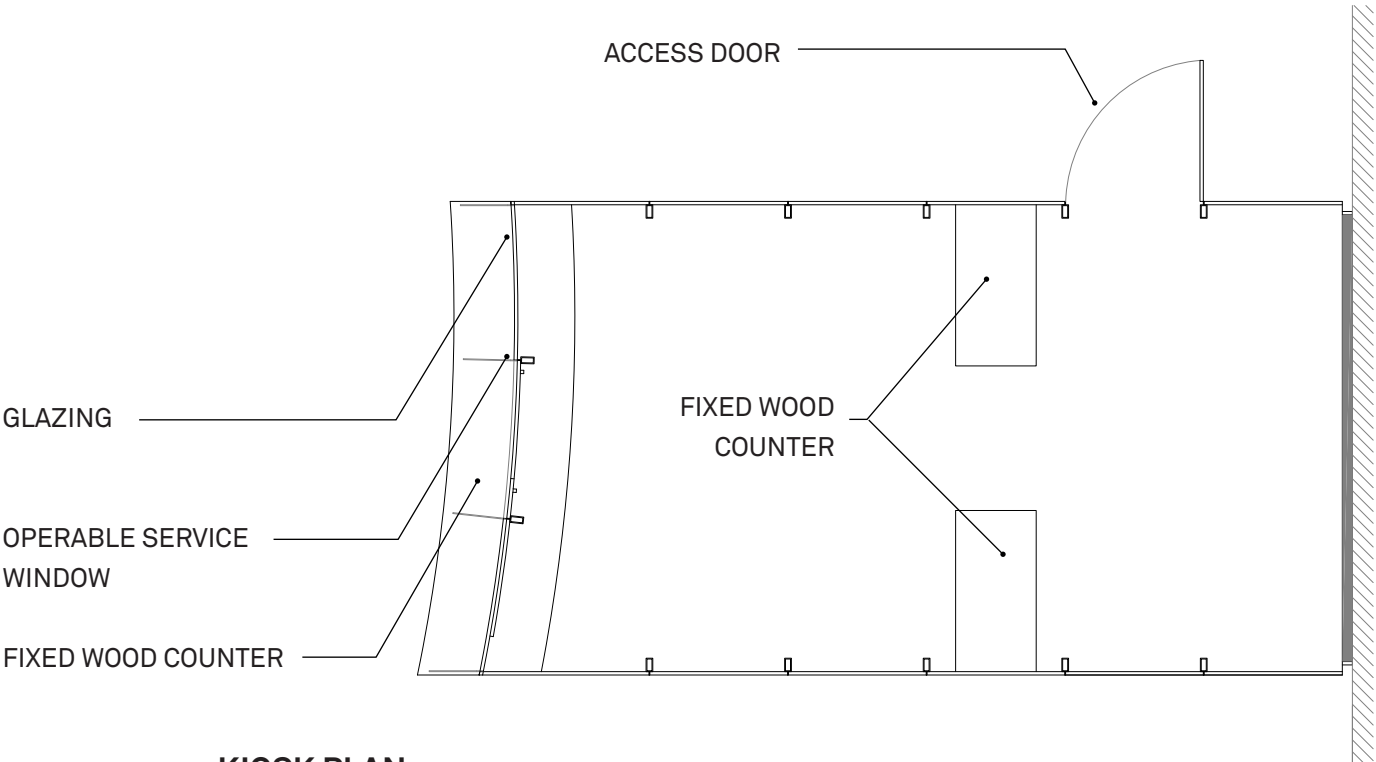
KIOSK WEST ELEVATION



KIOSK NORTH ELEVATION

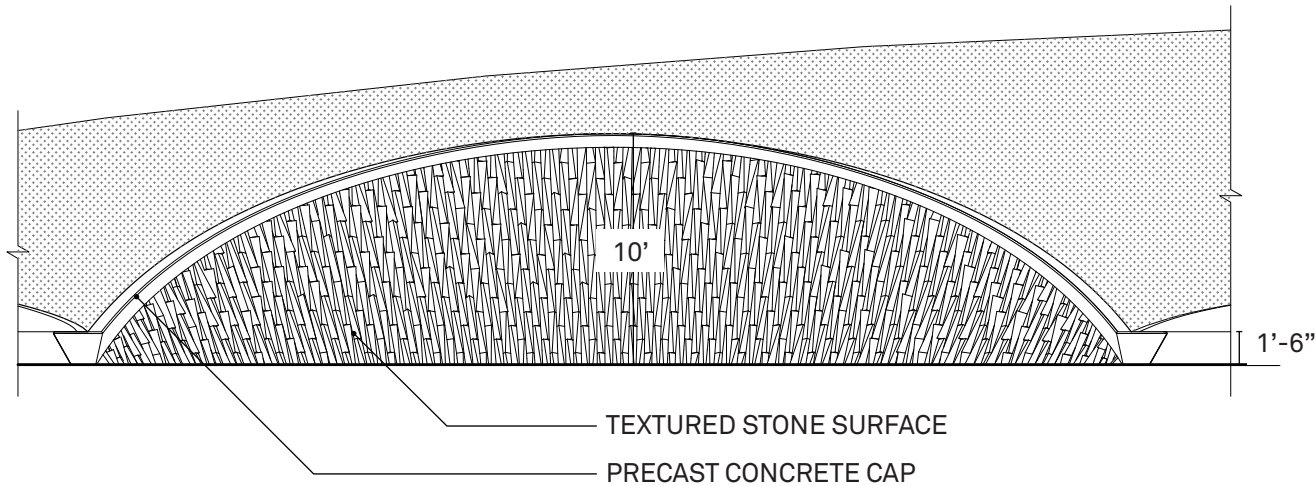


Proposed Kiosk Details





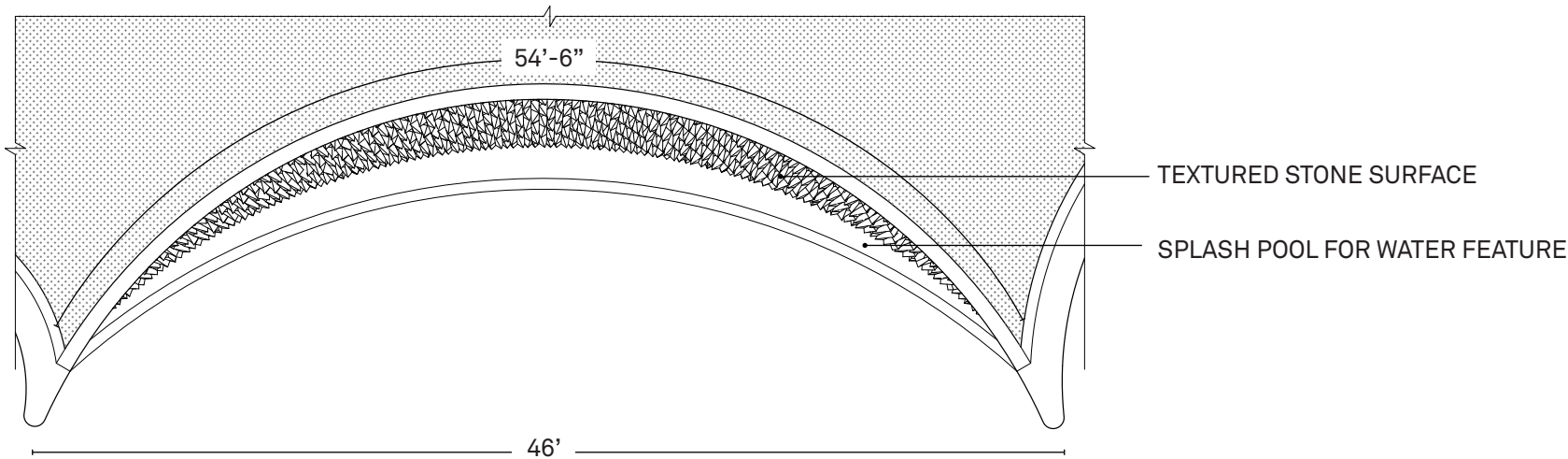
Proposed Water Wall Details



WATER WALL ELEVATION



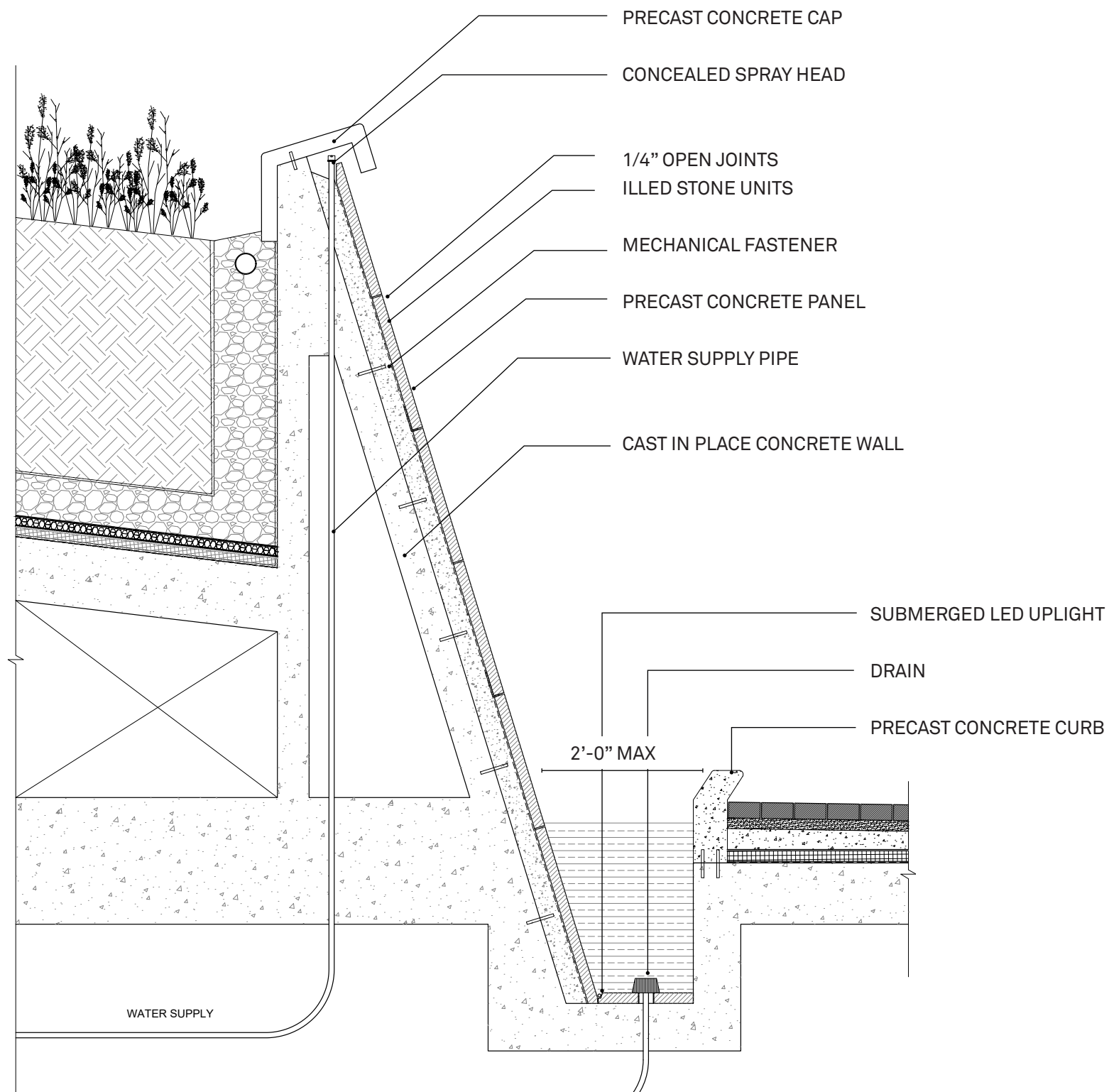
WATER WALL VIEW



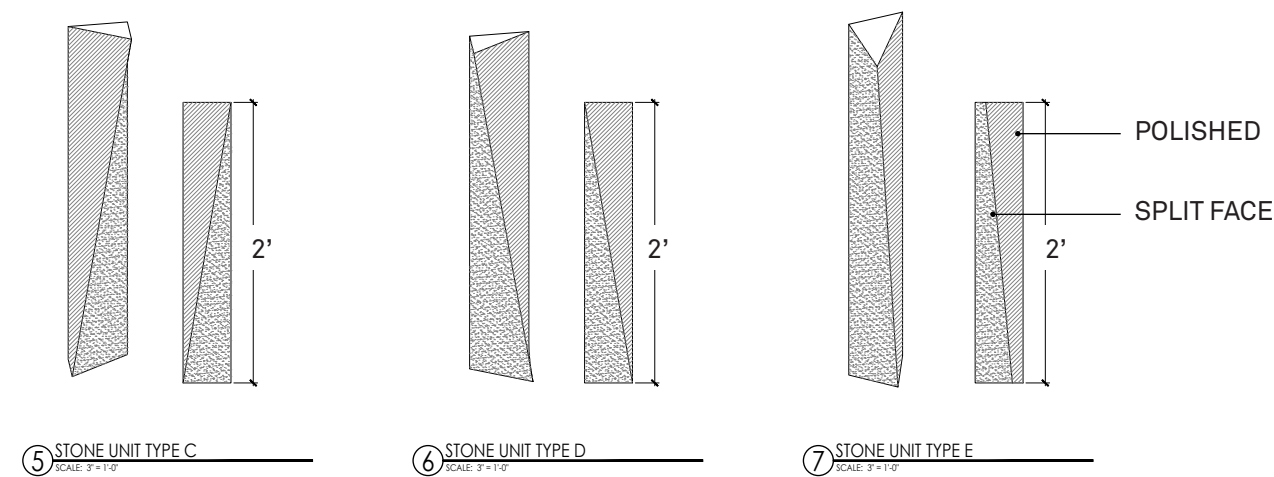
WATER WALL PLAN



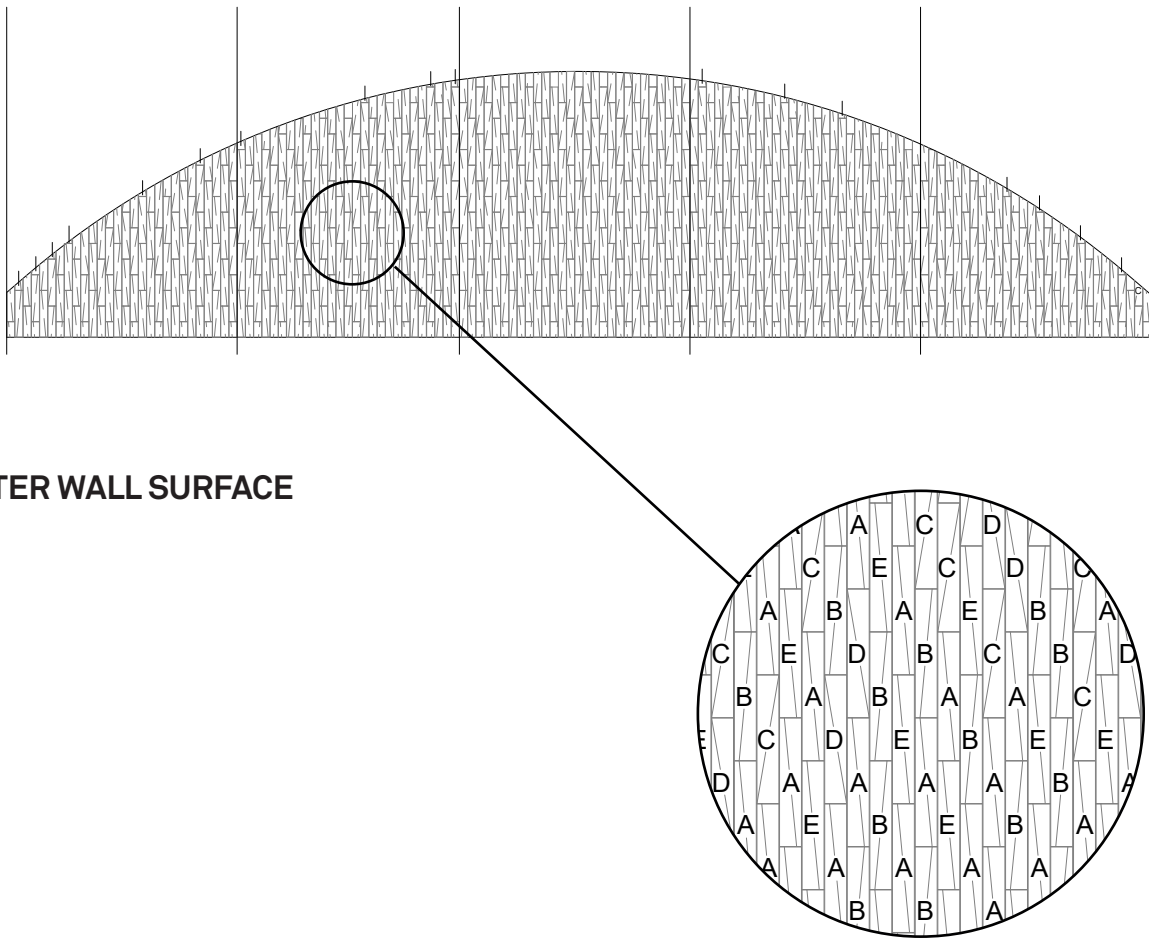
Proposed Water Wall Details



WATER WALL SECTION

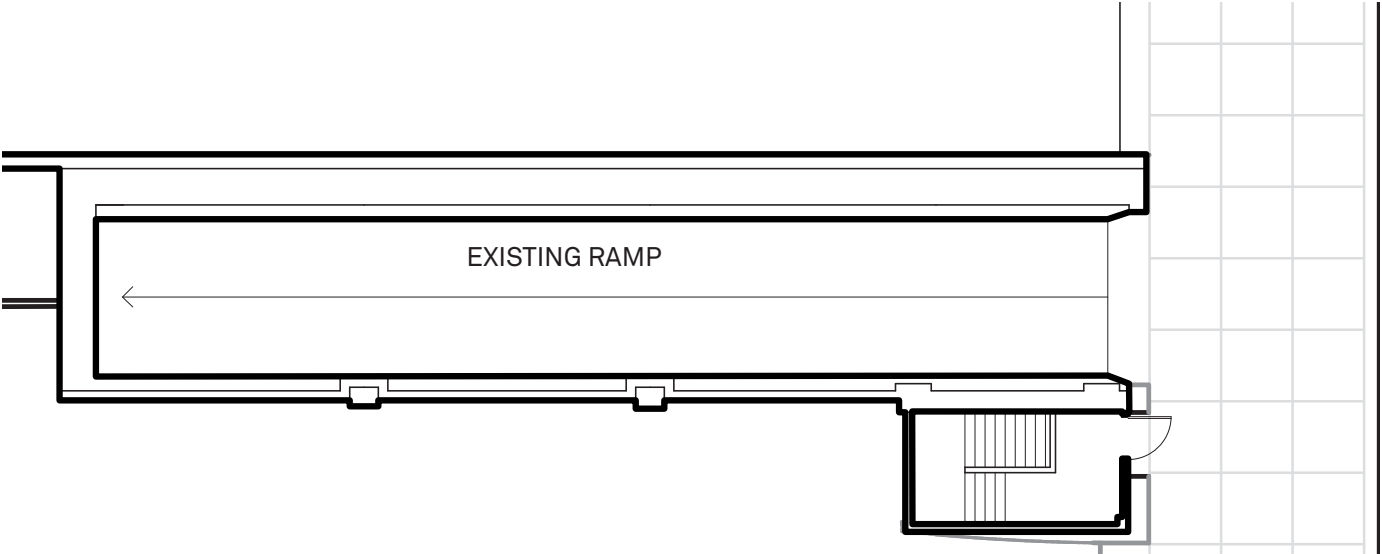


WATER WALL SURFACE

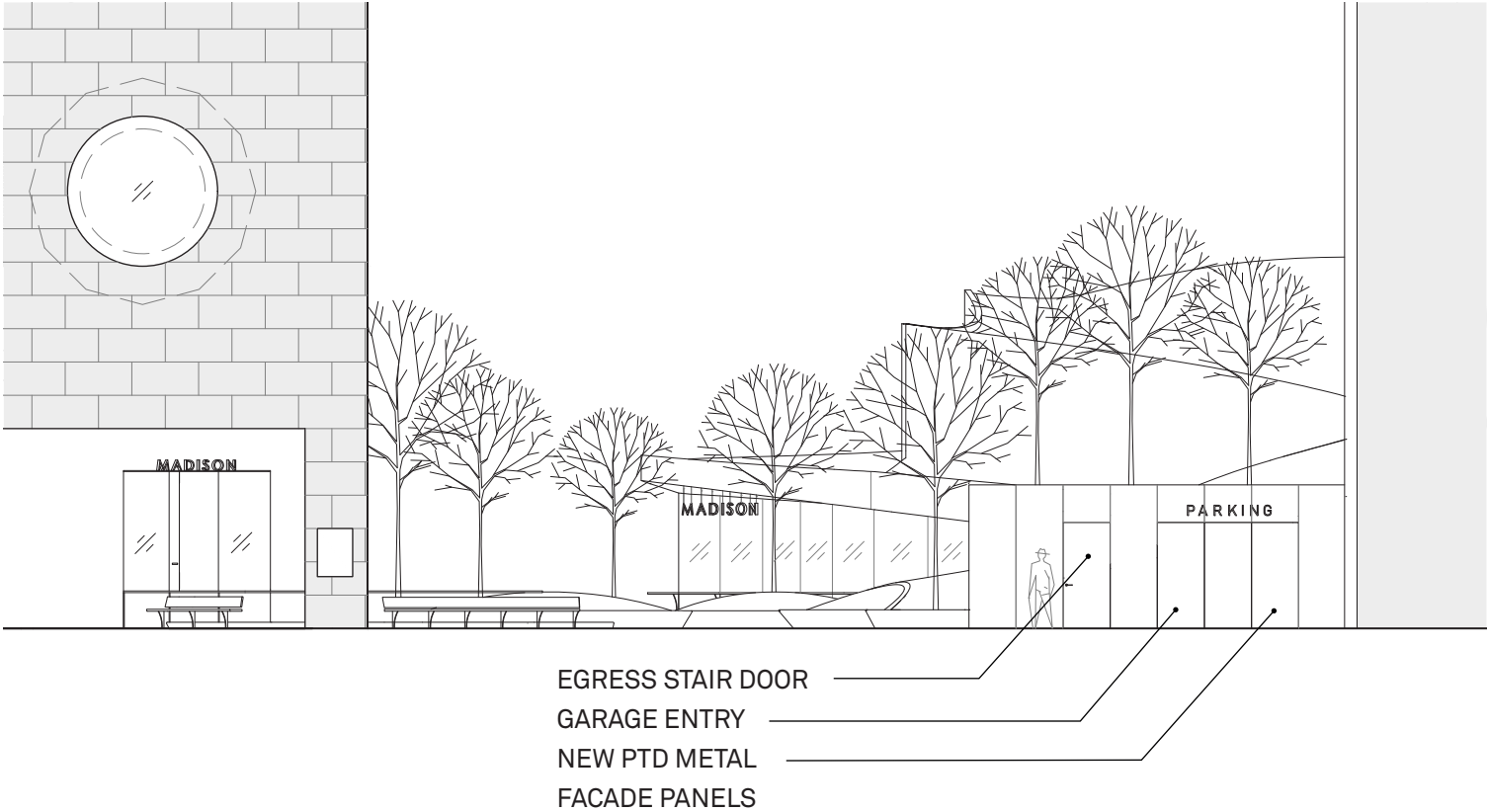




Proposed North Garage Entry Details



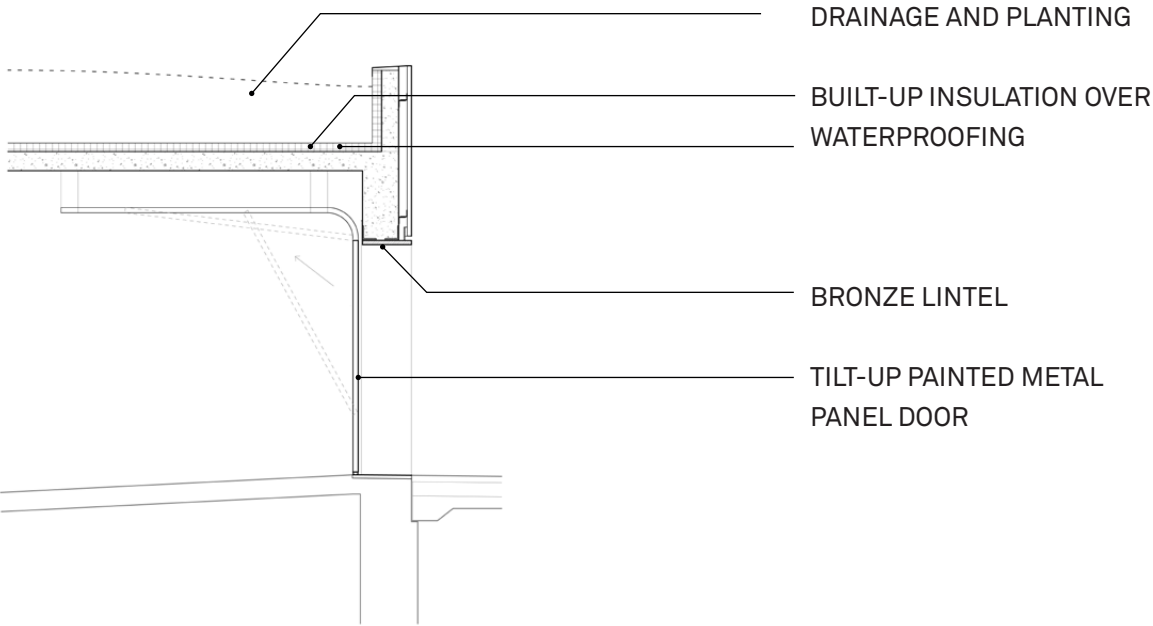
North Garage Plan



NORTH GARAGE ELEVATION



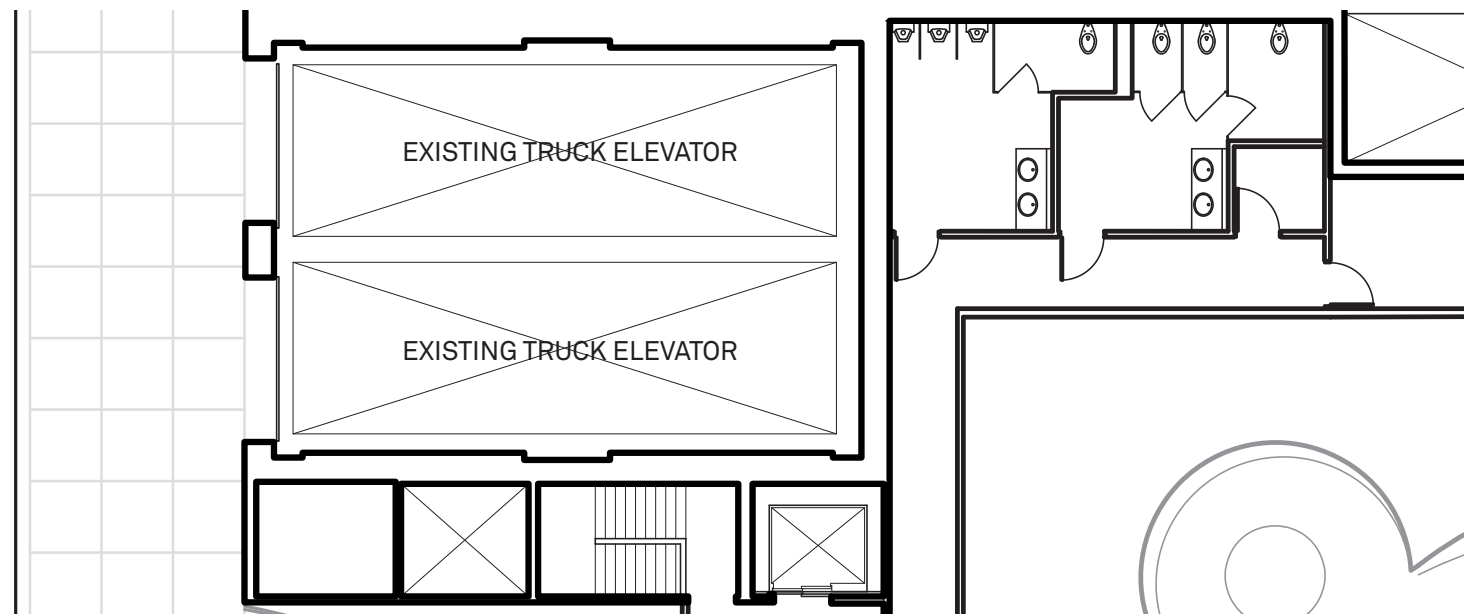
NORTH GARAGE VIEW



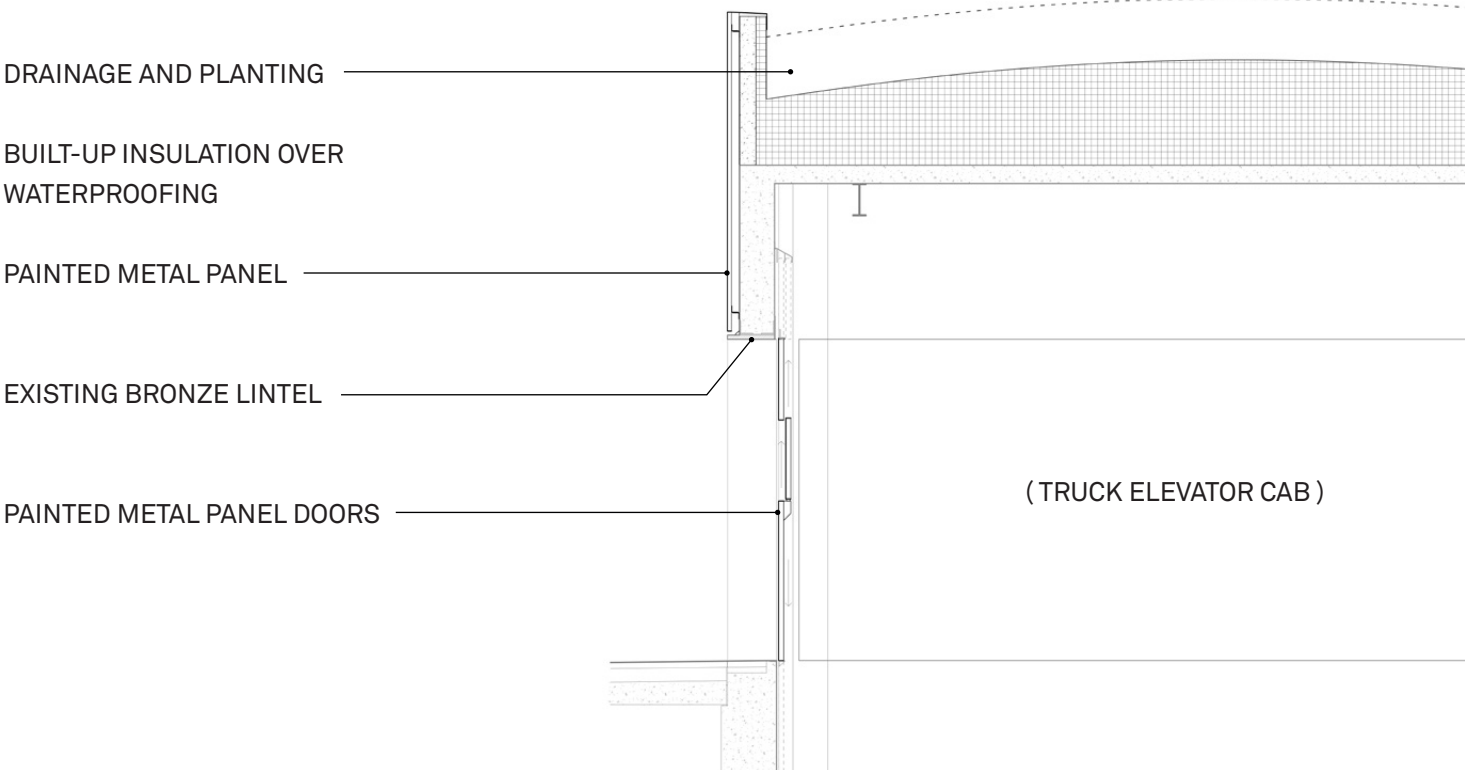
NORTH GARAGE SECTION



Proposed South Garage Entry Details



SOUTH GARAGE VIEW



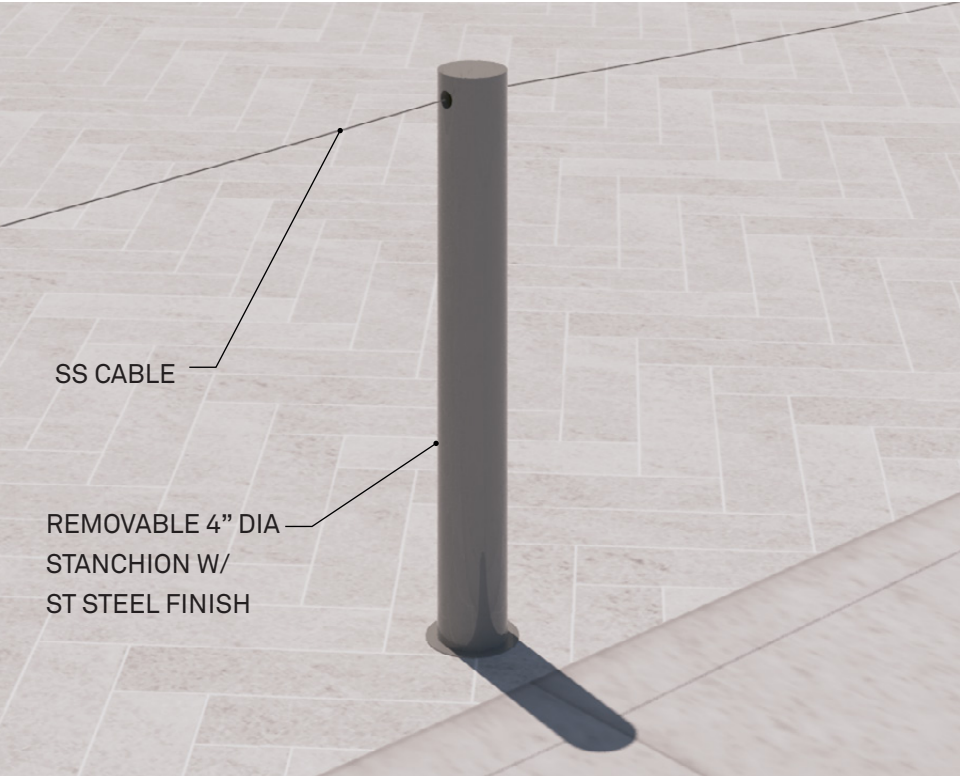
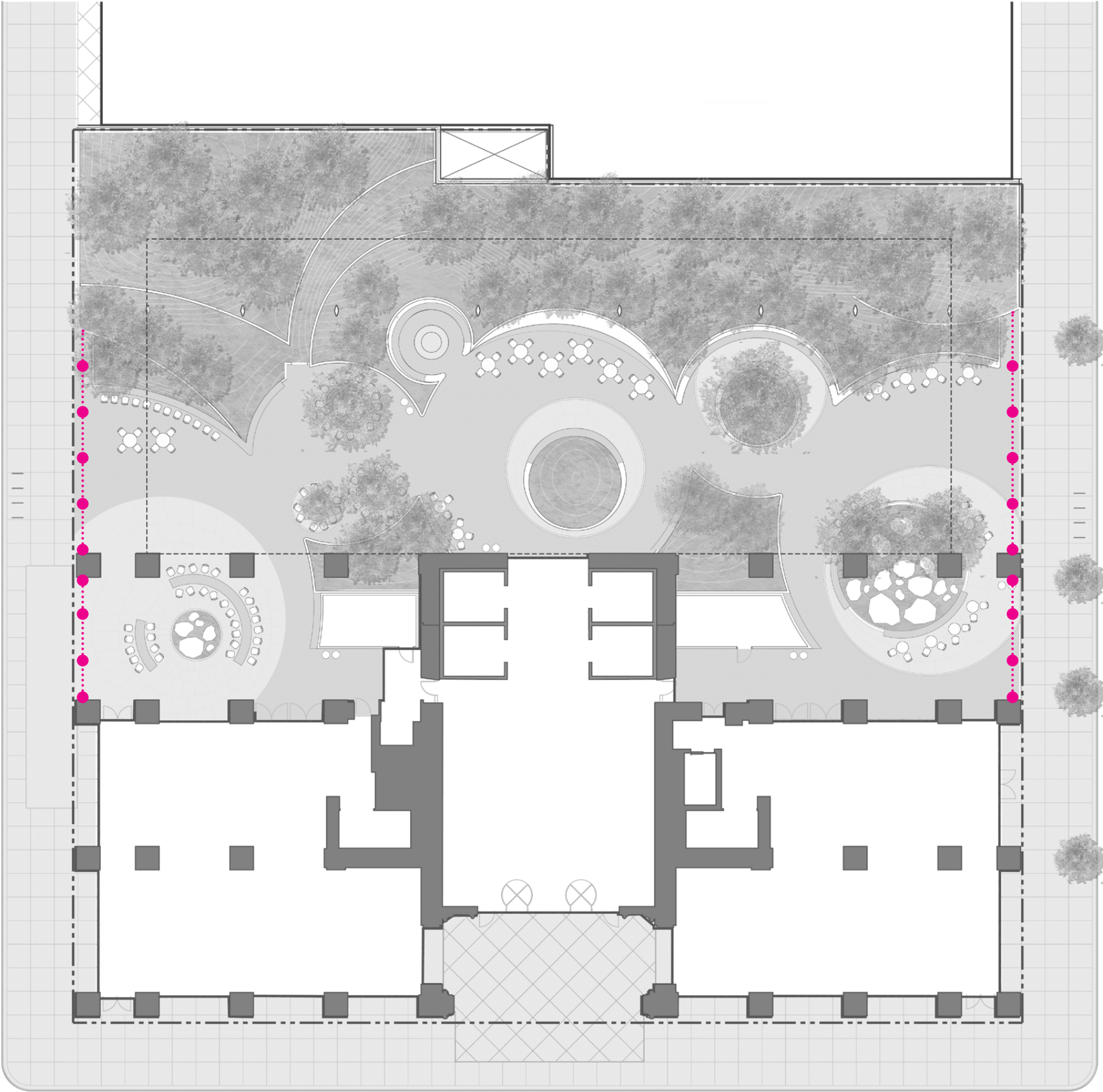
SOUTH GARAGE SECTION

SOUTH GARAGE PLAN

SOUTH GARAGE ELEVATION



CPS Edge Closure (off hours only)



REMOVABLE STANCHION WITH CABLE



DCP Signage Details



**OPEN TO PUBLIC:**

**7:00am - 11:00pm**

This public plaza is accessible to persons with disabilities

**This public plaza contains:**

266 seats	45 trees
241 table/counter spaces	8 bicycle racks
3 kiosks	

Jane Doe Equities Ltd  
550 Madison Ave  
New York, NY 10003  
(212) 555-5555  
owner@janedoeequities.com

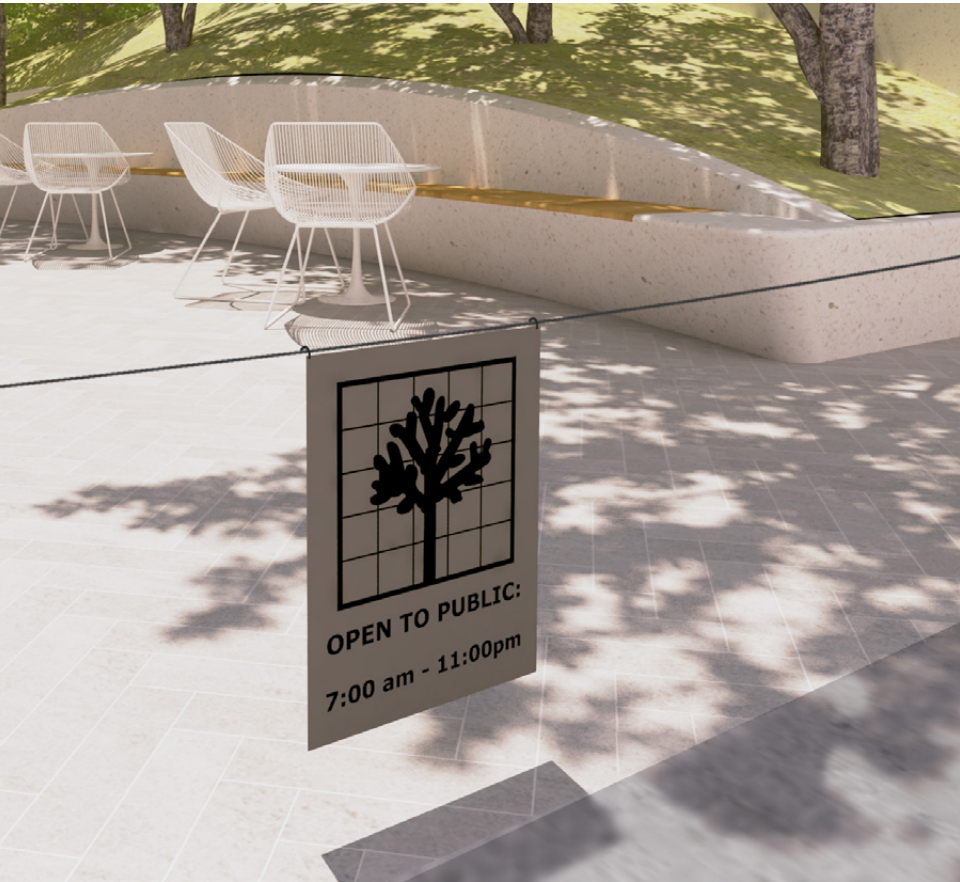
For complaints regarding this public plaza, please call the City of New York at 311 and reference the public plaza at 550 Madison Ave

INFORMATION PLAQUE REQUIREMENTS



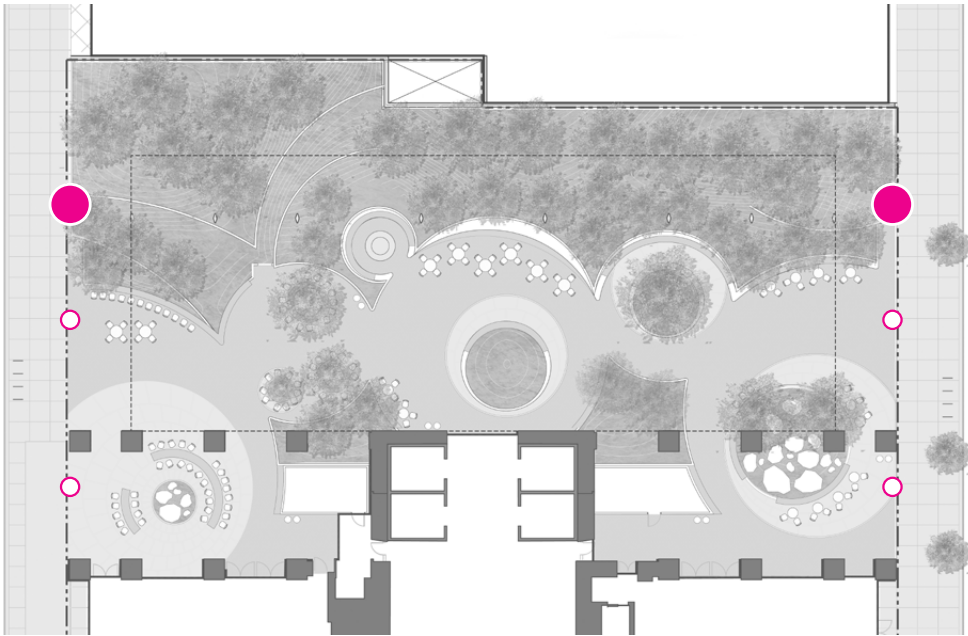
● INFORMATION PLAQUE

Extruded lettering flush with wall surface



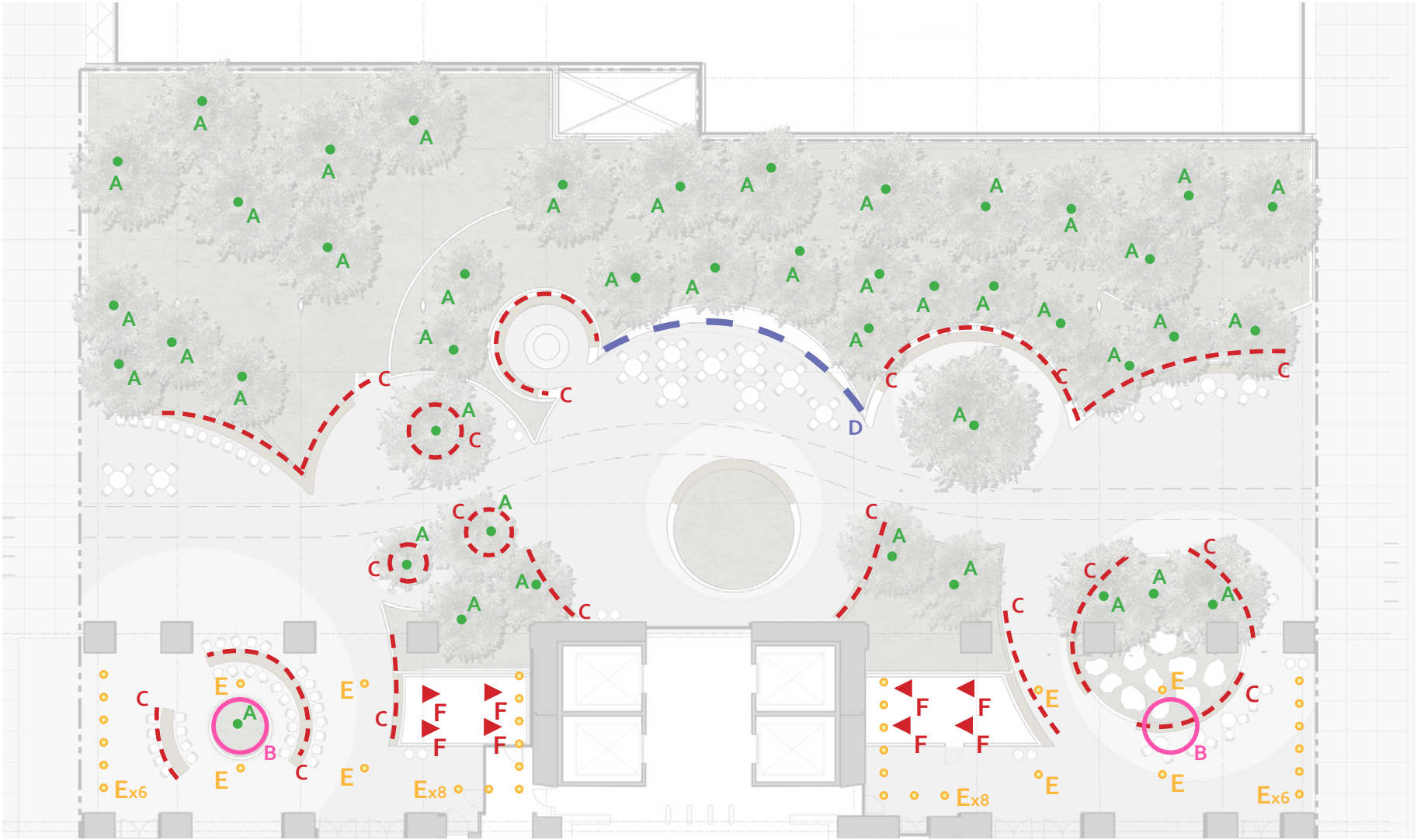
○ HOURS OF ACCESS PLAQUE

Metal plaque with engraved graphics hung onto cable





Proposed Garden Lighting Plan



PRELIMINARY GARDEN LIGHT FIXTURE SELECTION



Type A

BK, LED planter  
mount tree uplights  
(count 3 per point in  
plan)



Type D

DesignPlan  
Fountain Linear  
LED \*IP68



Type E

Existing Downlight



Type B

Decorative Pendant  
TBD



Type C

LEDlinear flexible  
LED strip \*IP68



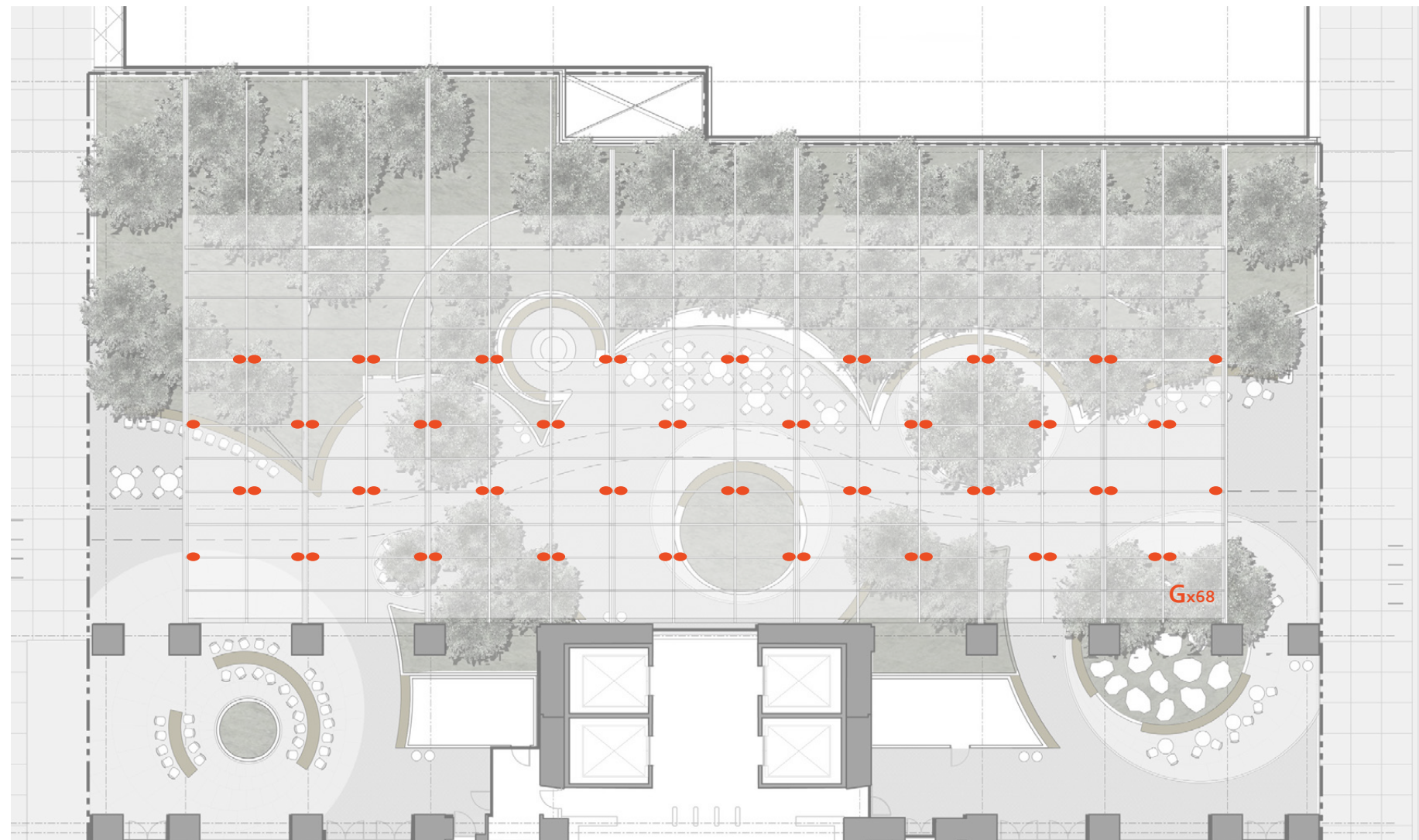
Type F

Lumenpulse,  
Lumenbeam Floodlight



Proposed Canopy Lighting Plan

PRELIMINARY CANOPY LIGHT FIXTURE SELECTION

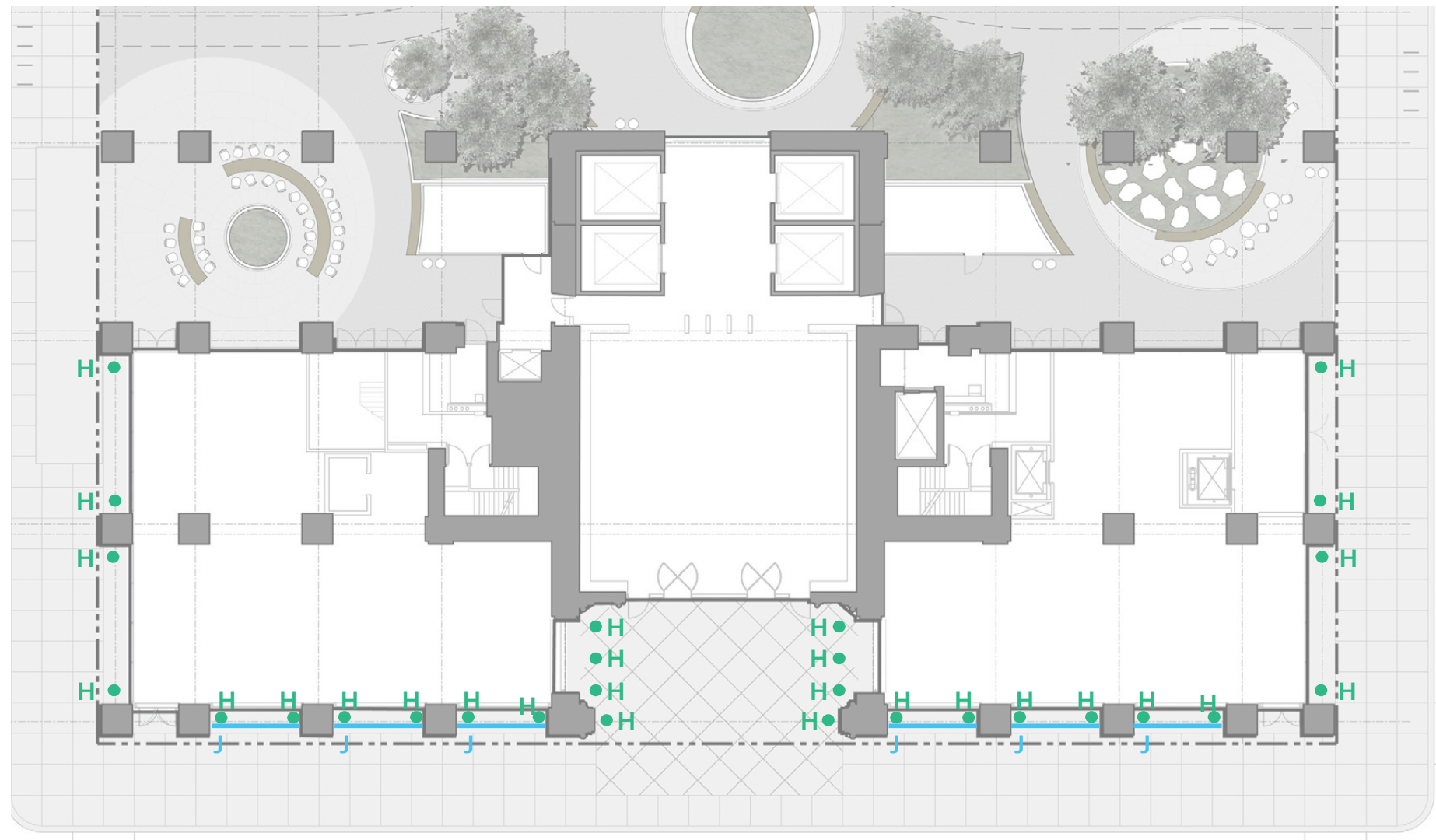


• Type G  
Selux Olivio  
Piccolo LED,  
white finish



Proposed Tower Lighting Plan

PRELIMINARY TOWER LIGHT FIXTURE SELECTION



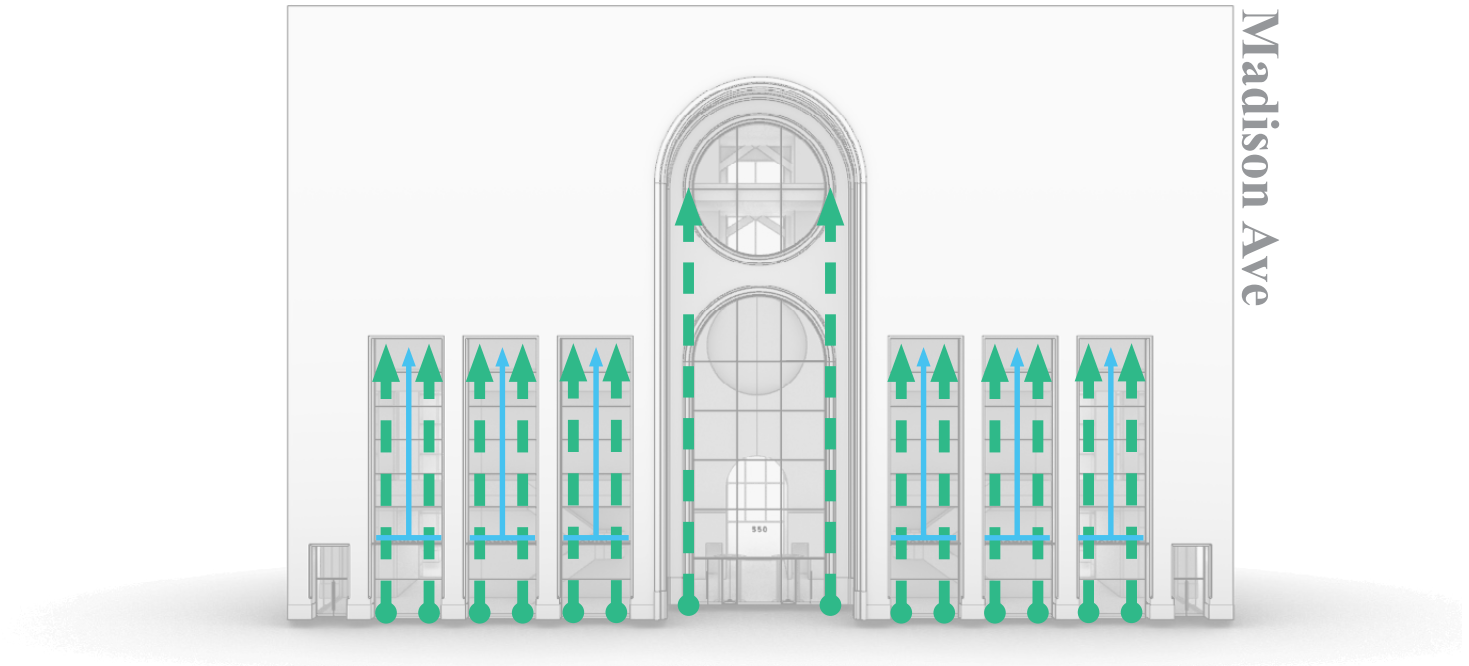
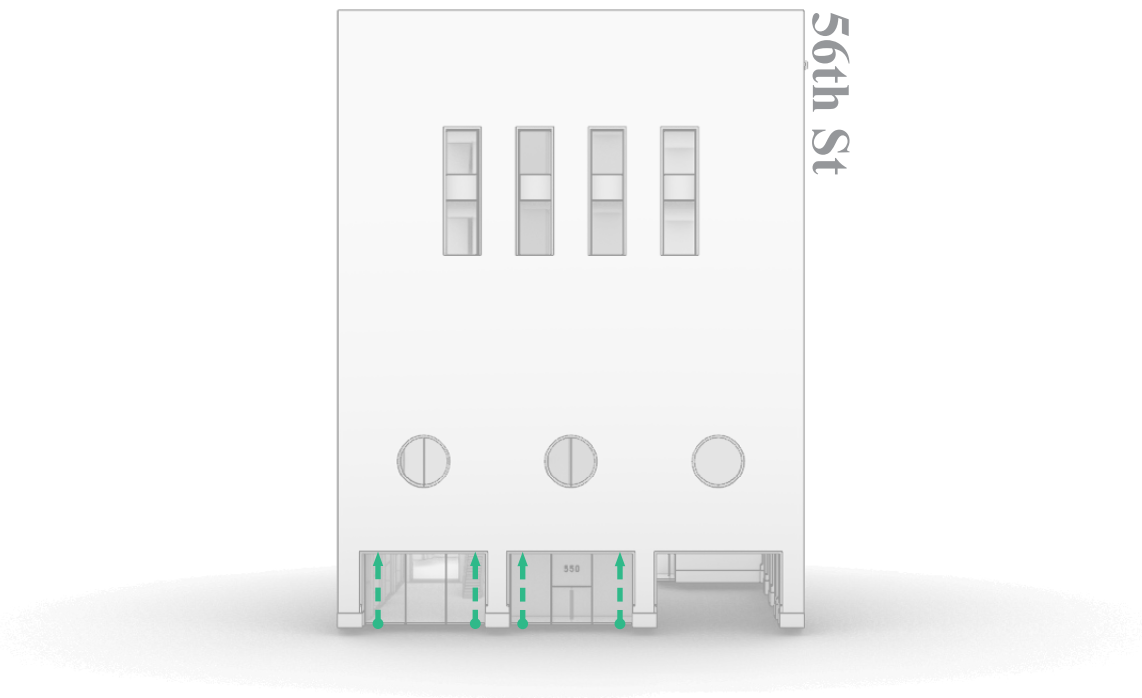
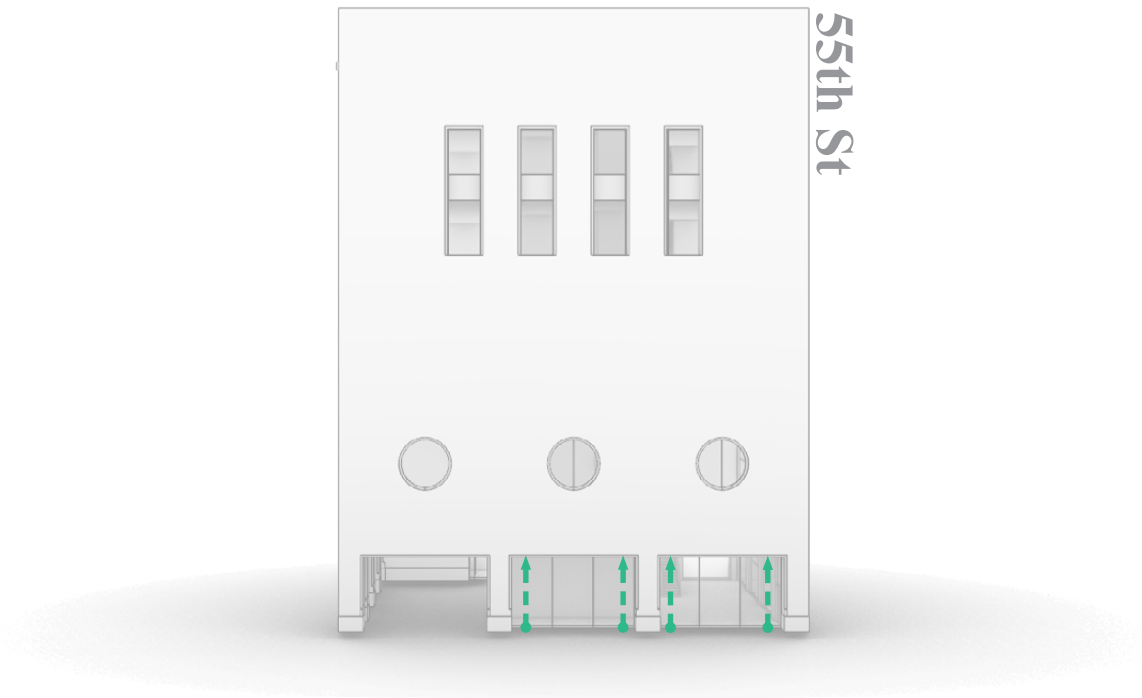
• Type H  
Erco Ingrade Uplight



▸ Type J  
Ecosense TROV,  
mounted to backside  
of signage bar

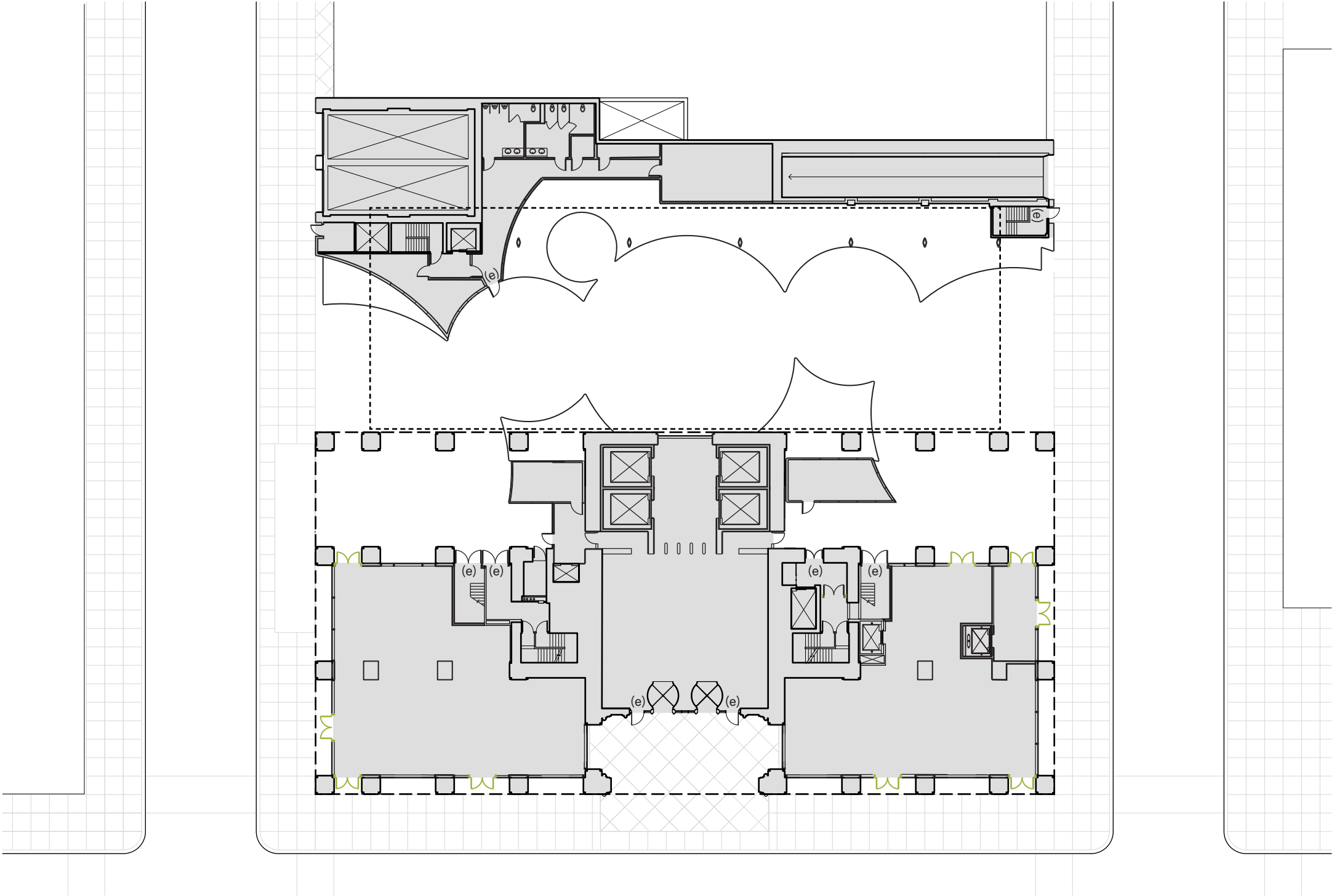


Proposed Tower Lighting Elevations








Ground Floor Entry Masterplan



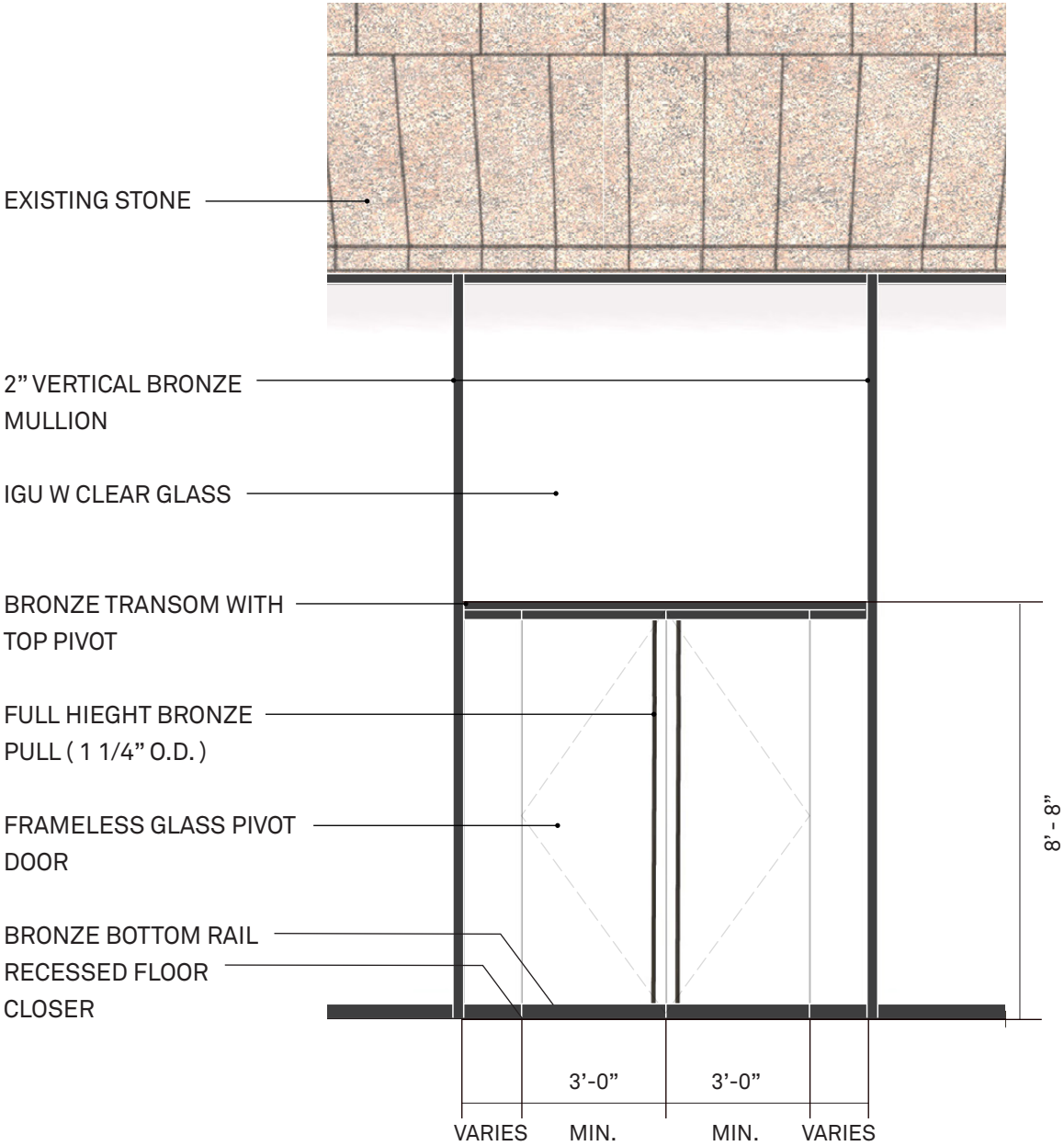
Note: Final Location of Retail Doors Will Depend on Actual Retail Configuration

-  EXISTING TO REMAIN
-  PROPOSED DOOR
-  EGRESS

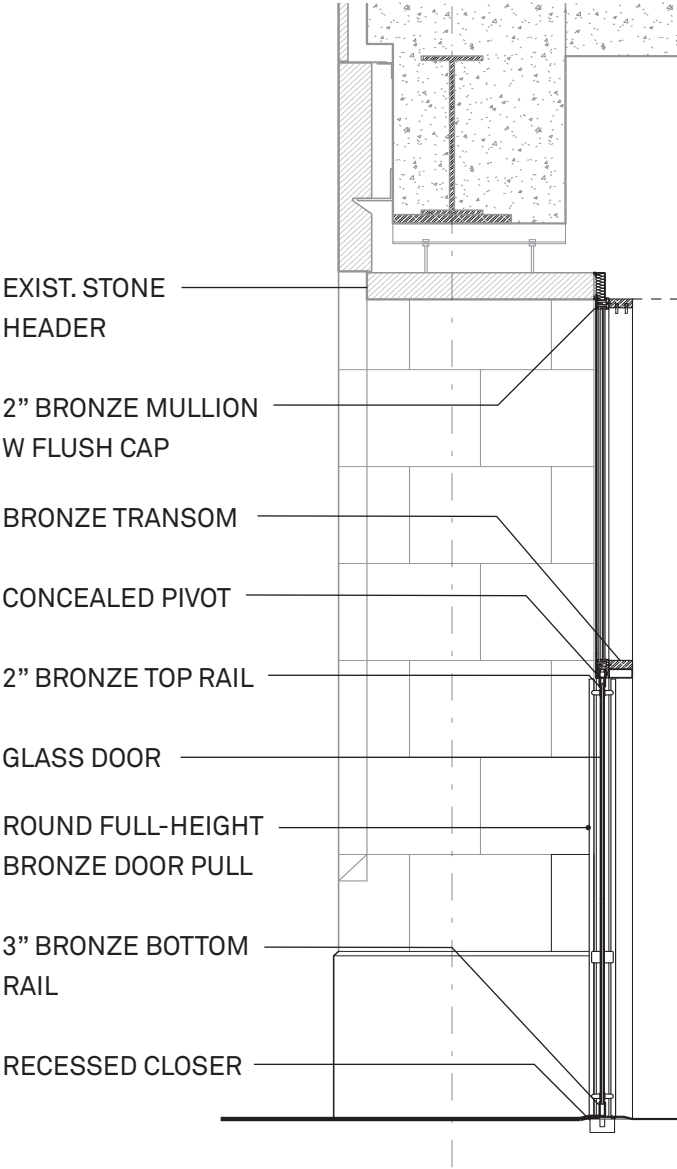
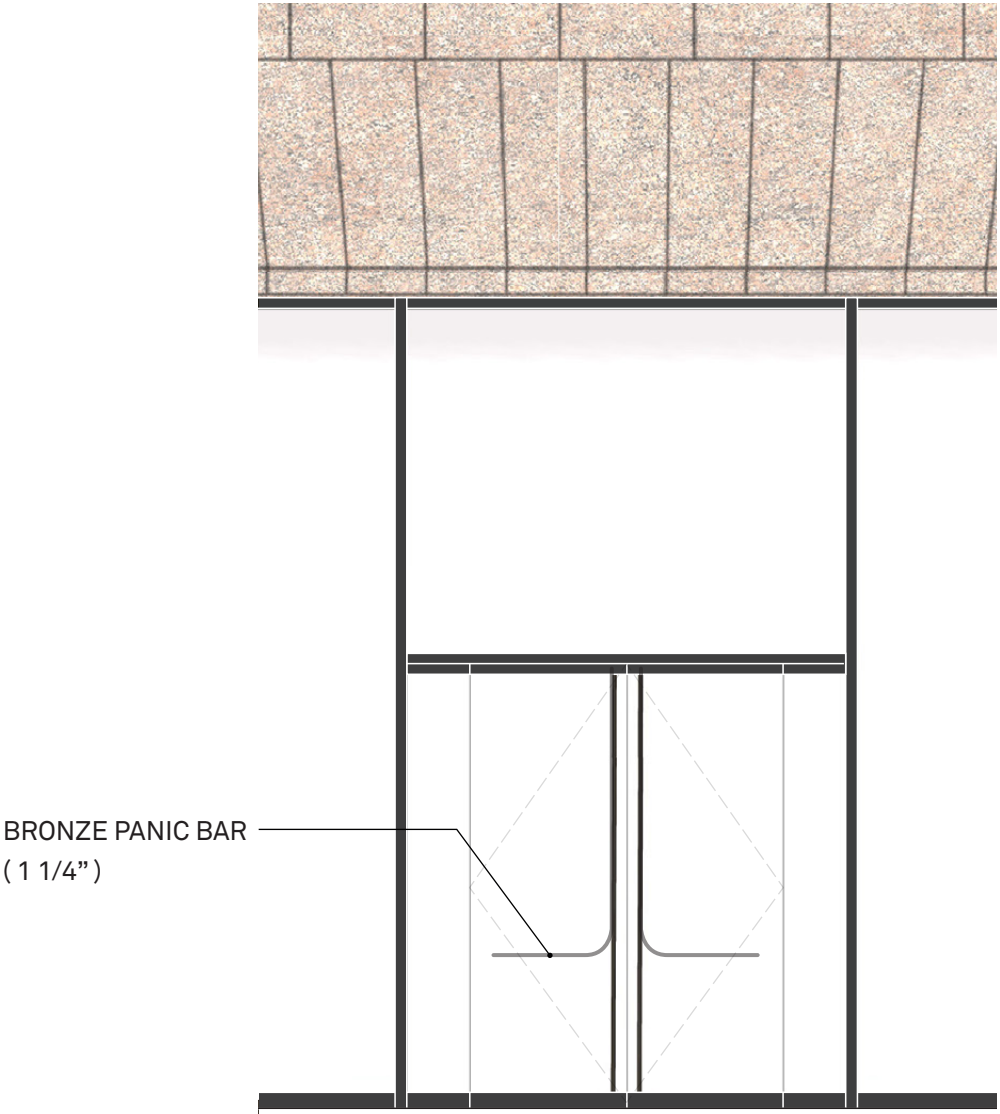


Door Details

TYPICAL DOOR



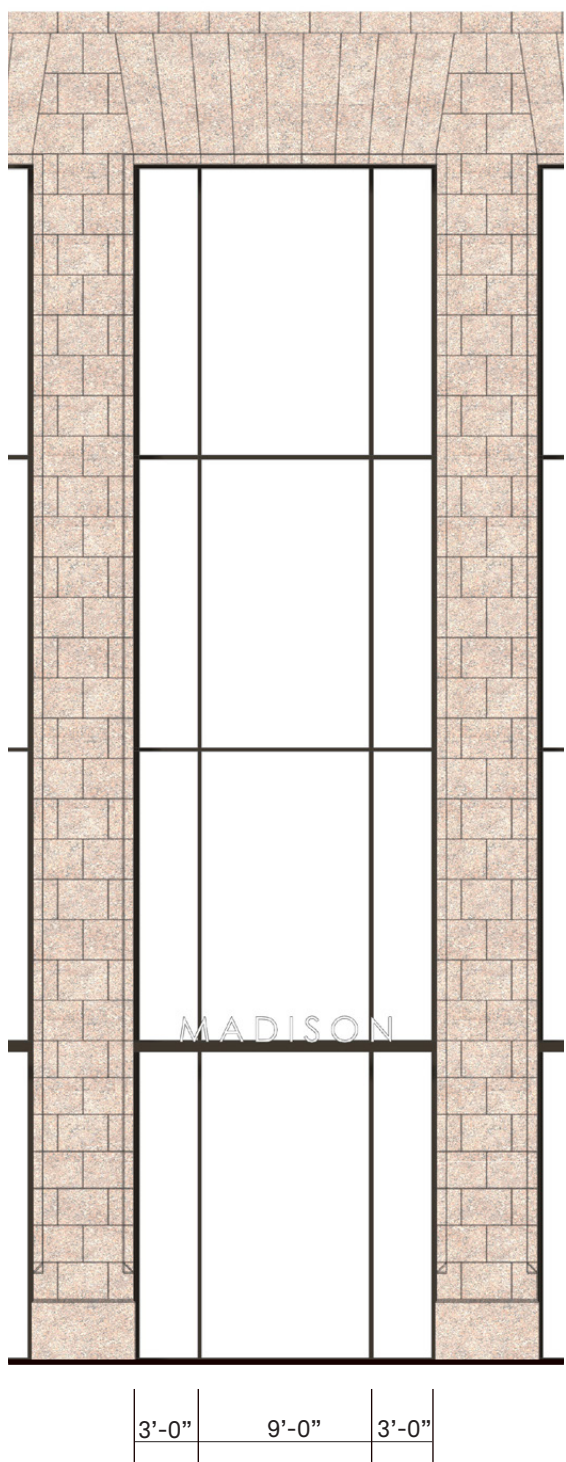
EGRESS DOOR



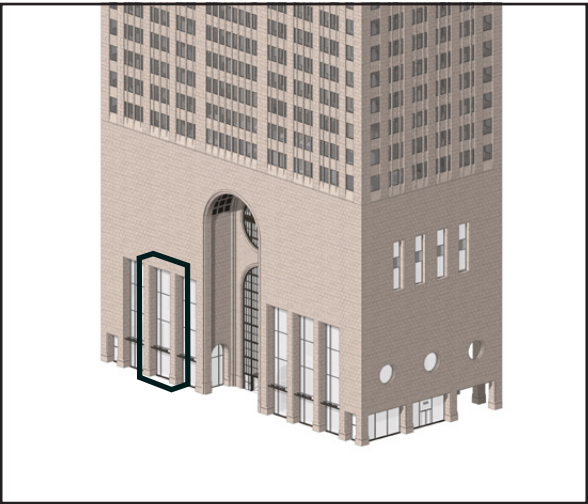
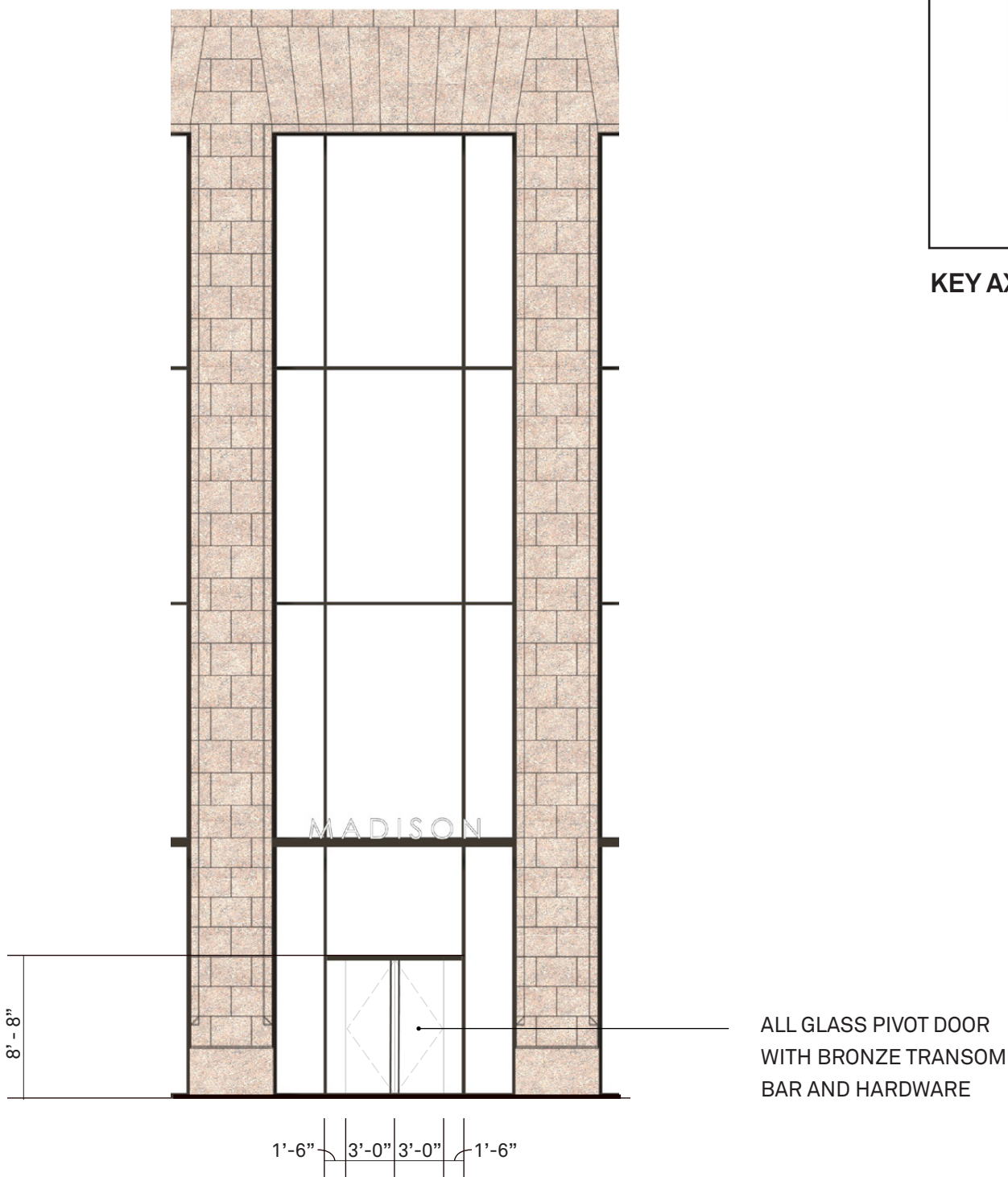


Flat Arch Glazing with Doors

TYPICAL



WITH DOORS

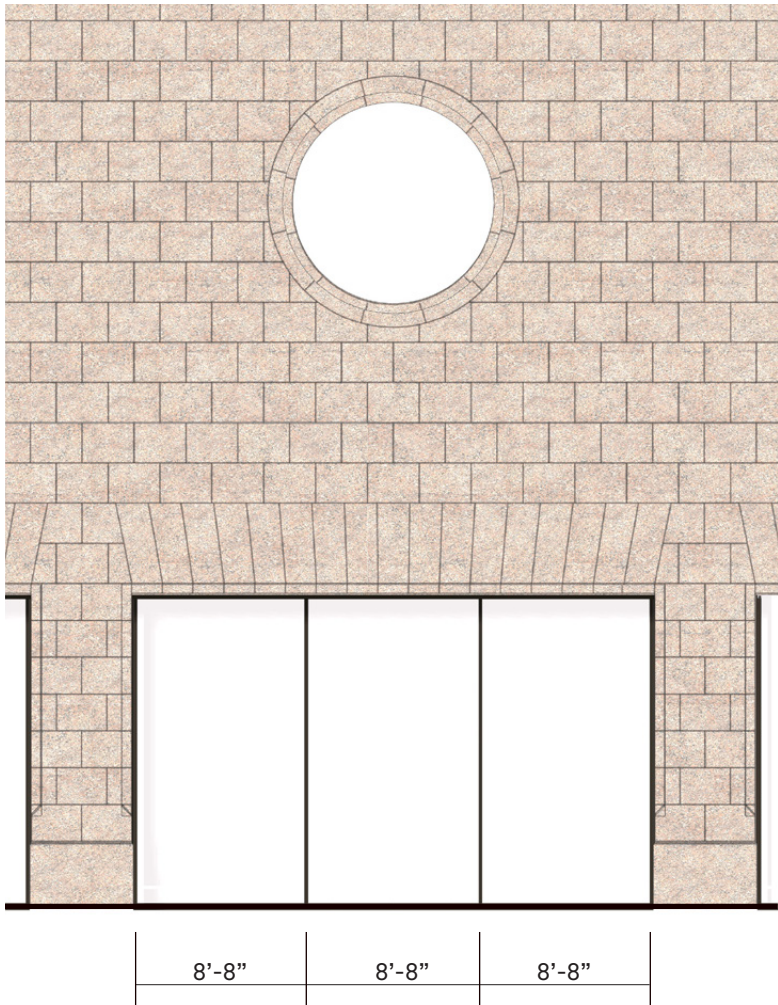


KEY AXON

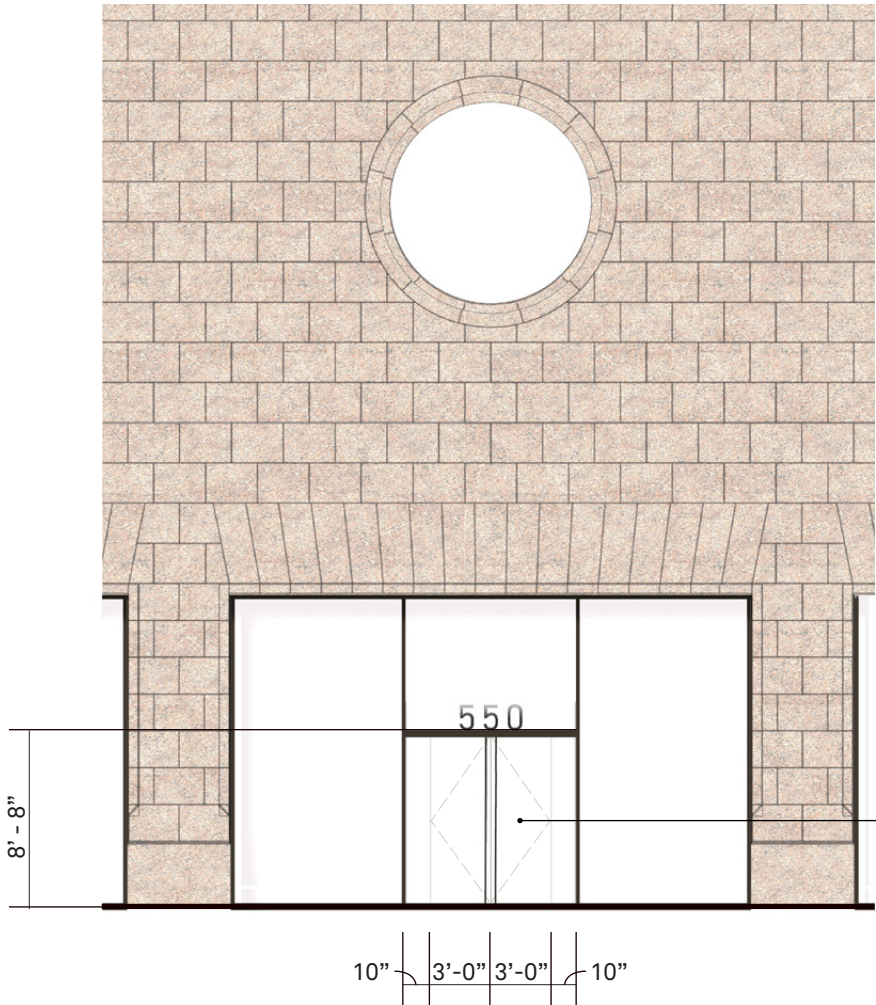


Retail and Porthole Glazing with Doors

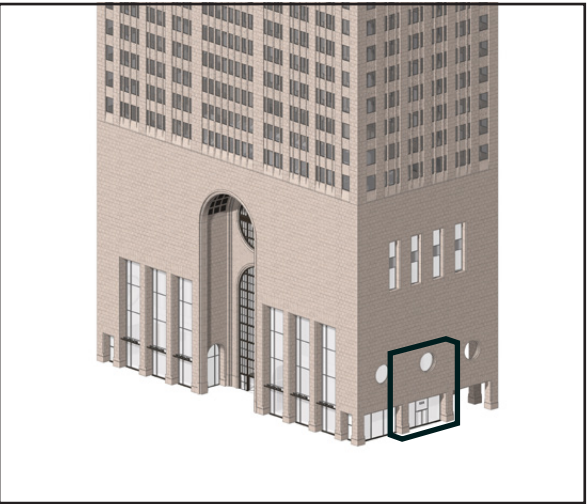
TYPICAL



WITH DOORS



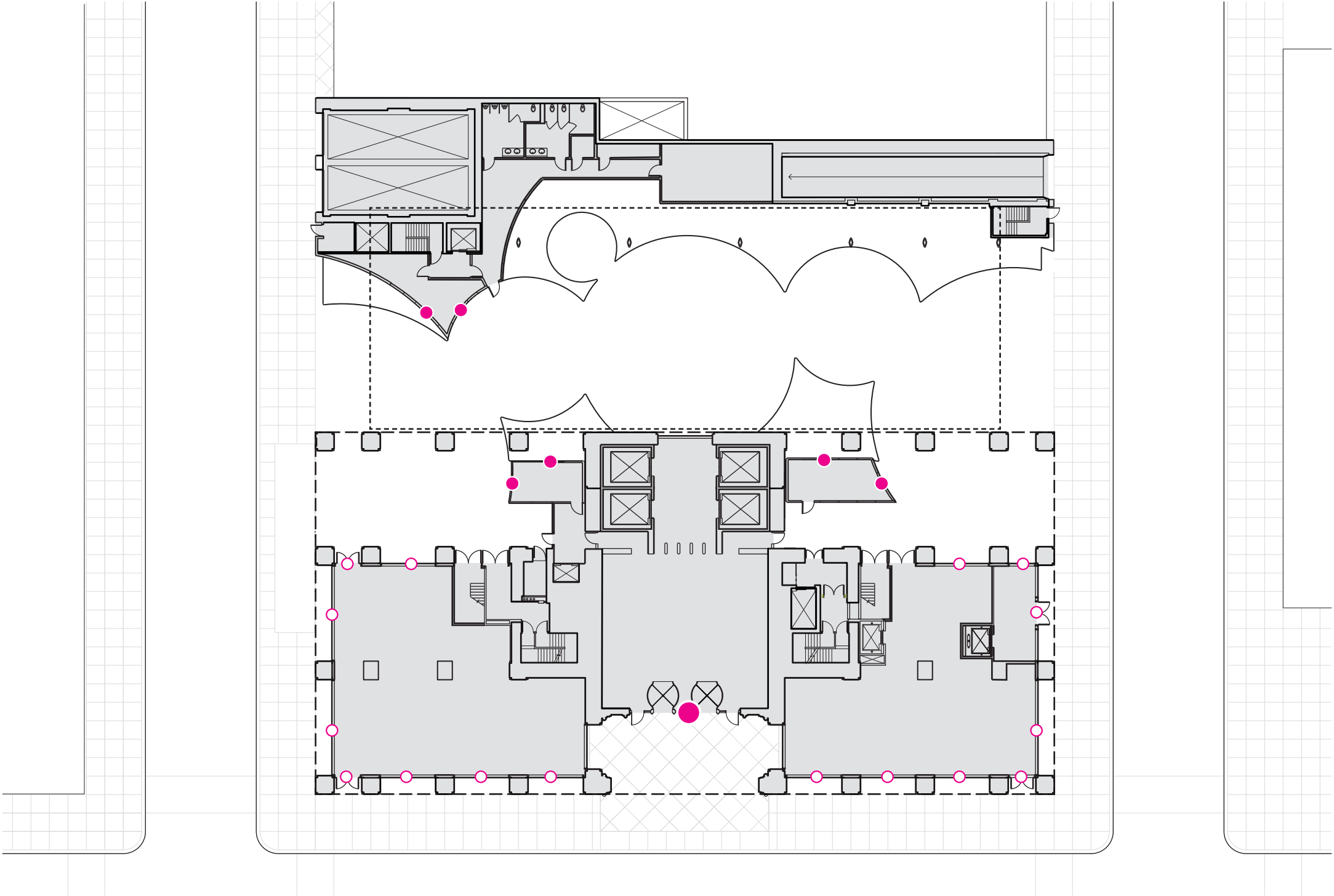
ALL GLASS PIVOT DOOR  
WITH BRONZE TRANSOM  
BAR AND HARDWARE



KEY AXON



Ground Floor Proposed Office and Retail Signage

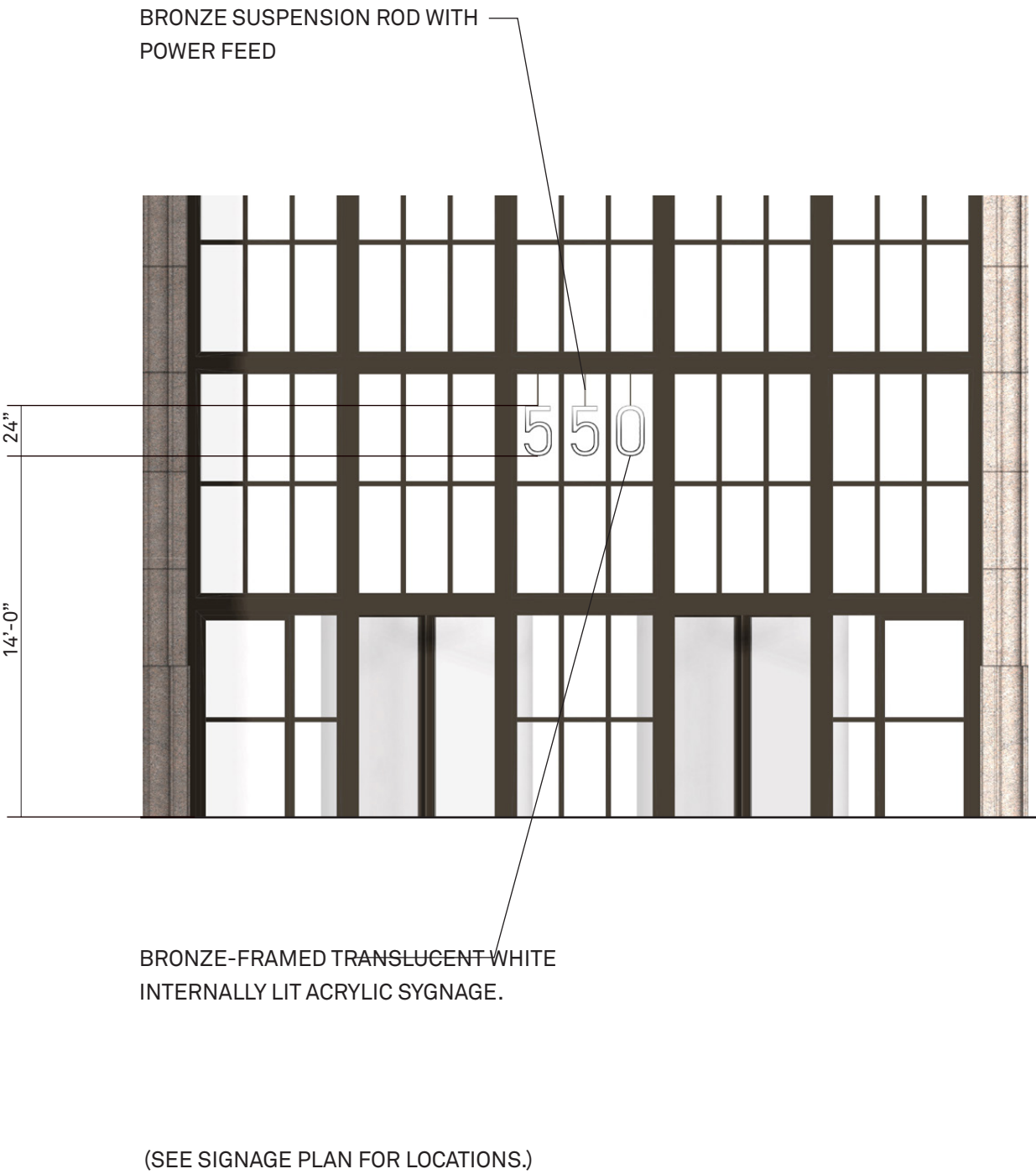


Note: See “DCP Signage” for Additional Required Signage

- POTENTIAL RETAIL SIGNAGE
- KIOSK RETAIL SIGNAGE
- ENTRY SIGNAGE

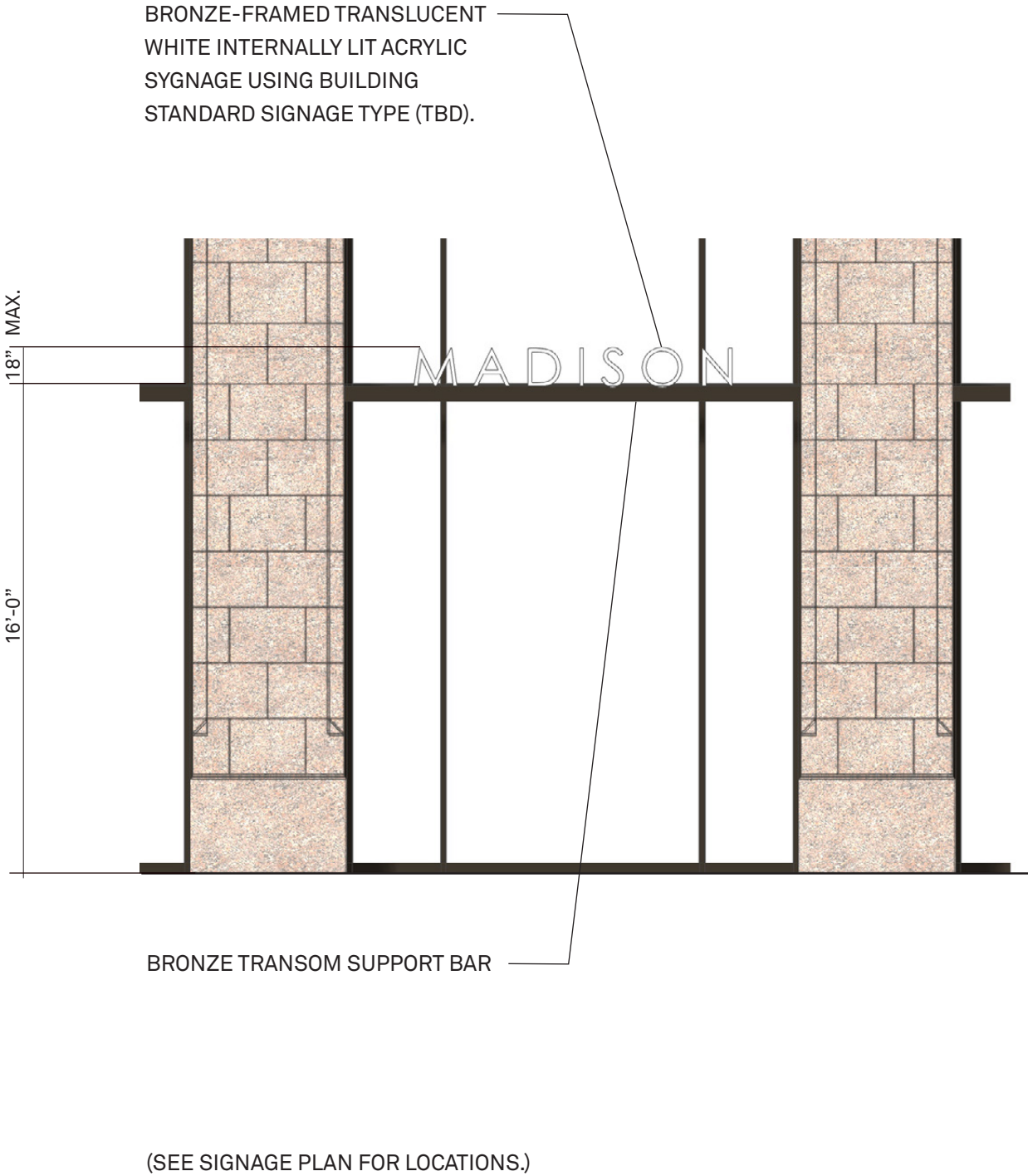


Madison Avenue Entry Arch Signage Details



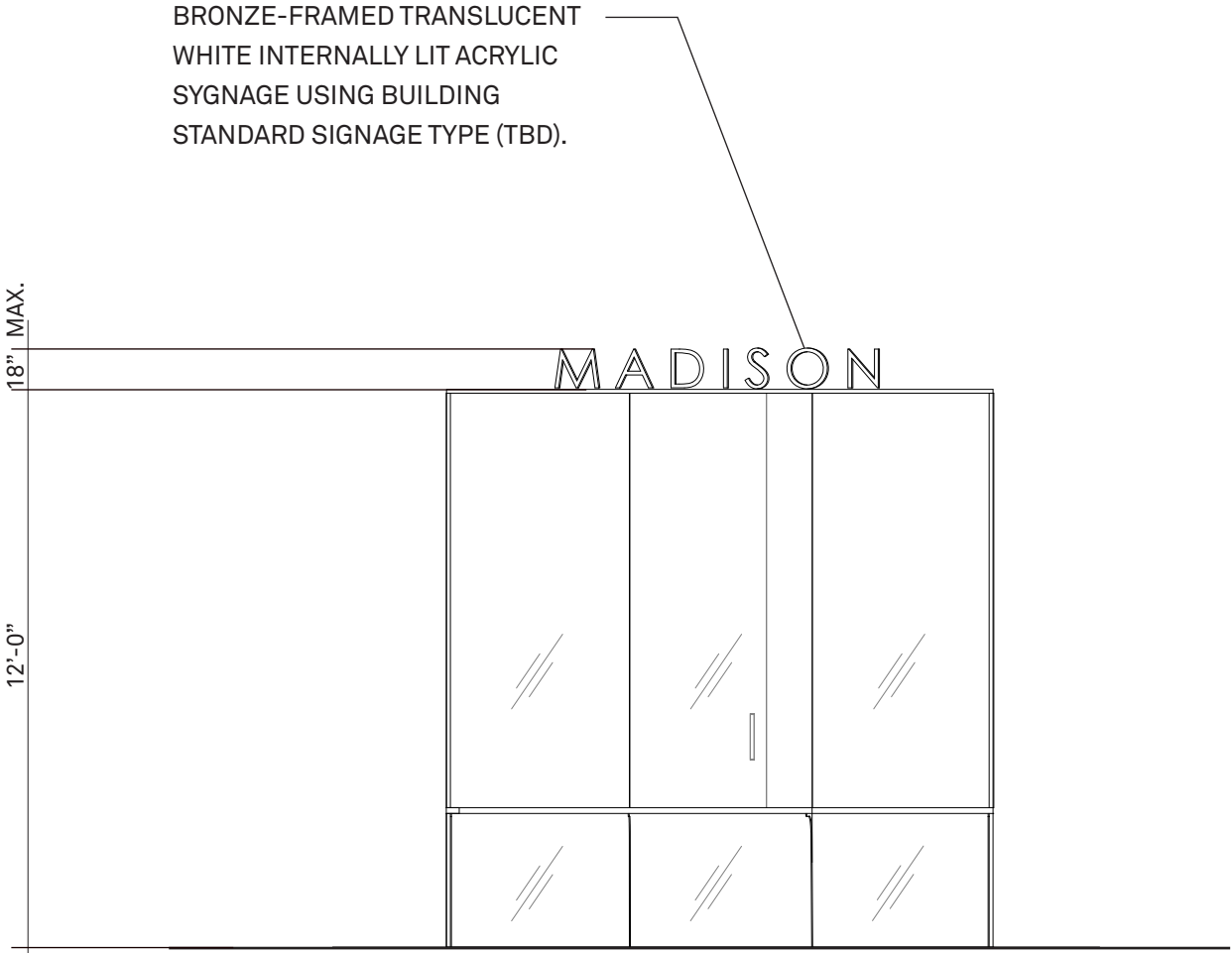


Flat Arch Signage Details





Kiosk Signage Details



(SEE SIGNAGE PLAN FOR LOCATIONS.)











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