

The current proposal is:

**Preservation Department – Item 3, LP-20-11169**

**38 Hicks Street - Brooklyn Heights Historic District,  
Borough of Brooklyn**

**How to Testify Via Zoom:**

**<https://us02web.zoom.us/j/87105964474?pwd=OGlyTUI5bTg1Y01YeWJxOG1qMIFKdz09>**

**Webinar ID: 871 0596 4474**

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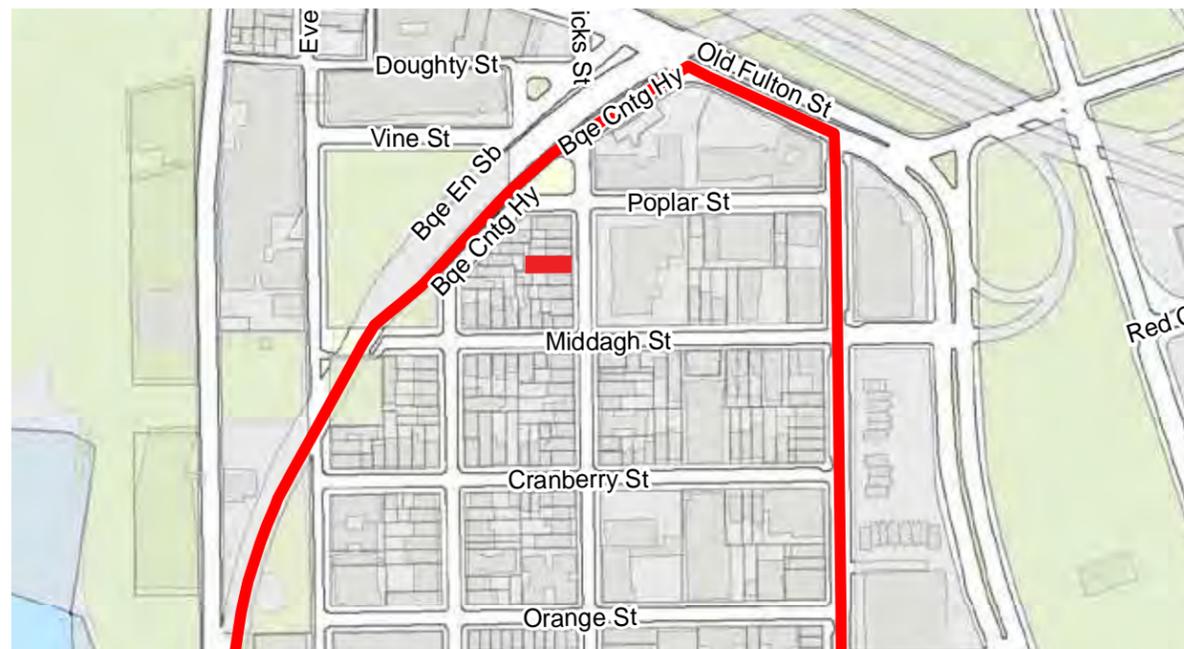
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# 38 HICKS STREET

BROOKLYN, NY 11201  
BLOCK: 210 LOT: 14

## SCOPE OF WORK:

- A. DEMOLISH 1-STORY REAR PORTION OF HOUSE. ORIGINAL WAS DEMOLISHED AND ENLARGED IN THE MID-20TH CENTURY.
- B. ERECT 2-STORY HORIZONTAL EXTENSION AT REAR, TO MIMIC ORIGINAL SETBACK AND PORCH OF ORIGINAL REAR EXTENSION.
- C. RENOVATE INTERIOR OF 4-STORY WOOD-FRAMED HOUSE:
  - LOWER FIRST FLOOR BY 12" TO CREATE A 9-FOOT CEILING HEIGHT.
  - RAISE THE THIRD FLOOR BY 8" TO CREATE A 9'-4" CEILING AT SECOND FLOOR.
- D. RENOVATE EXTERIOR OF 4-STORY WOOD-FRAMED HOUSE, INCLUDING INSTALLATION OF:
  - INSULATION OF MEET 2020 NYC ECC REQUIREMENTS, ADDING APPROX. 2" CONTINUOUS RIGID INSULATION OVER EXISTING SHEATHING.
  - ZOLA TRIPLE-GLAZED SIMULATED DOUBLE HUNG WINDOWS AT EXISTING OPENINGS.
  - COMPOSITE CLAPBOARD TO MATCH ORIGINAL AT EAST, SOUTH, AND WEST FACADES.
  - MODIFIED CROWN AT WINDOW FRAMES.
  - NEW WINDOWS AT SOUTH FACADE IN PLACE OF THROUGH-WALL A/C UNITS.



BROOKLYN HEIGHTS HISTORIC DISTRICT | LP-0099



# History & Context



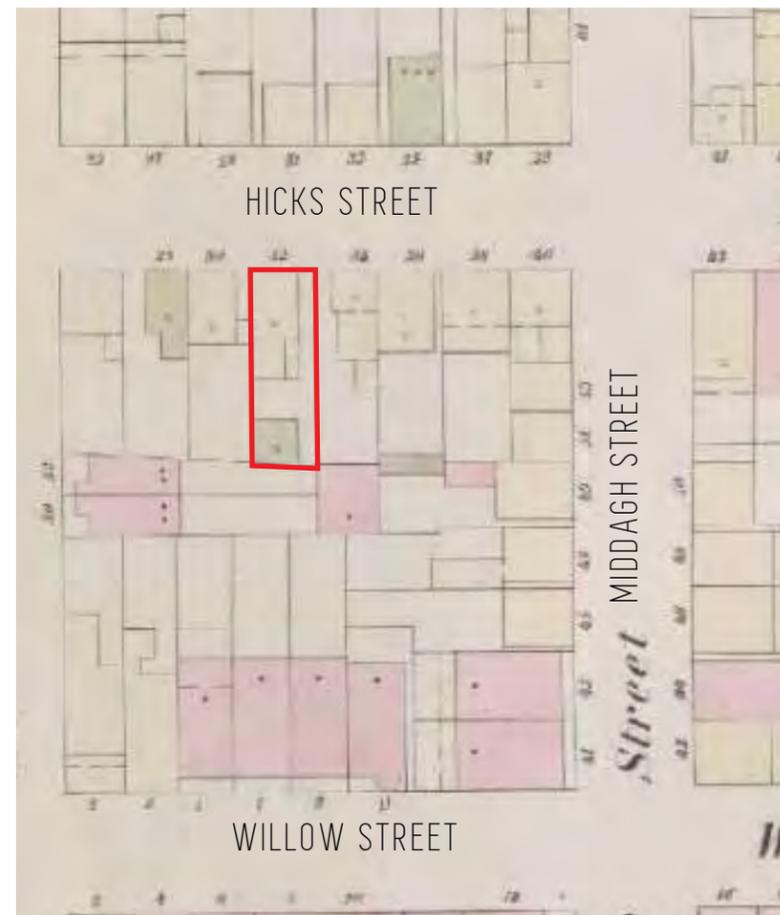
## 38 HICKS STREET, BROOKLYN

BUILT IN 1810, AS A 3-STORY WOOD-FRAMED HOUSE WITH AN ATTIC, SIDED IN CLAPBOARD. AT THAT TIME IT WAS KNOWN AS #32 HICKS STREET.

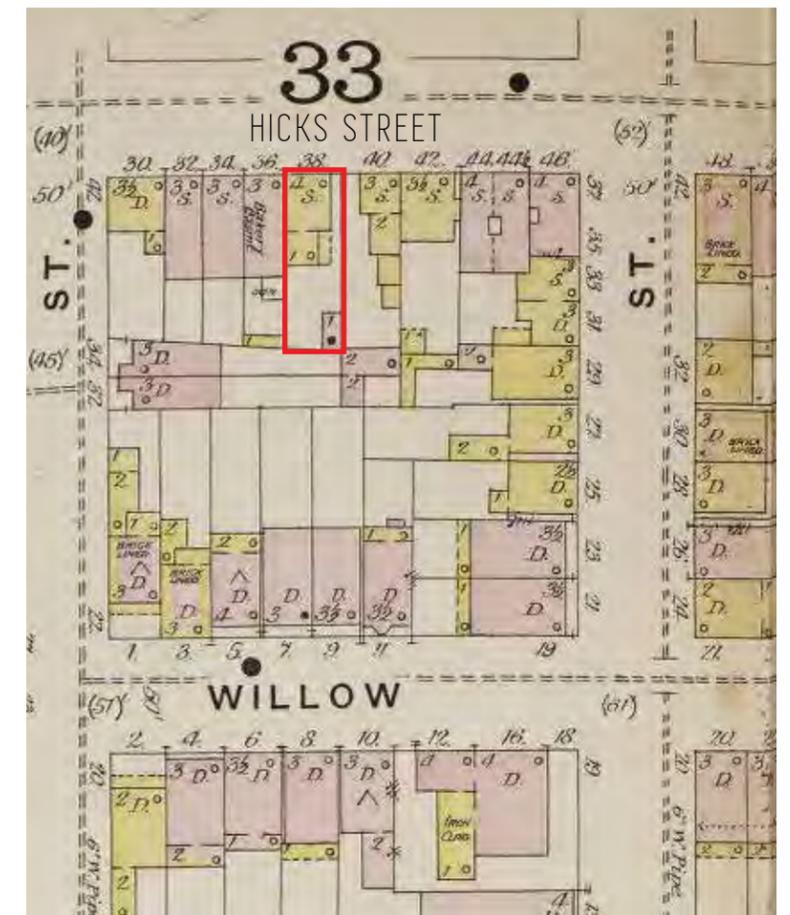
THE GABLED ROOF WAS REMOVED AND THE ATTIC BUILT OUT AS A 4TH FLOOR (Yellow shading) IN THE LATE 19TH CENTURY, PRIOR TO THE 1886 SANBORN MAP, SHOWING IT AS 4 STORIES, BUT AFTER THE CONSTRUCTION OF THE BRICK BUILDINGS ABUTTING IT TO THE NORTH. THE GABLE ROOF FRAMING STILL EXISTS AT THE NORTH AND SOUTH WALLS.

THE ITALIANATE CORNICE AND WINDOW FRAMES REPLACE THE ORIGINAL FEDERAL STYLE ELEMENTS WHEN THE 4TH STORY WAS CREATED, THE PEDIMENT OVER THE ENTRY DOOR WAS ADDED IN 1967, WITH A FACADE RENOVATION.

THE 1-STORY EXTENSION APPEARS ON THE 1855 PERRIS MAP, WITH A SIDE PORCH. THE PORCH DOES NOT APPEAR IN THE 1940 TAX PHOTO. THE SLOPED ROOF IS VISIBLE IN THE TAX PHOTO AND THE SOUTH WALL WERE REBUILT SUBSEQUENTLY TO CREATE A ROOF TERRACE - THE WHOLE EXTENSION NOW BEING THE FULL WIDTH OF THE 4-STORY HOUSE (Orange shading).



PERRIS MAP - 1855 [NEW YORK PUBLIC LIBRARY]



SANBORN MAP - 1886 [LIBRARY OF CONGRESS]

# History & Context



DETAIL PHOTO SHOWING THE 38 HICKS FACADE IS NOT PLUMB



OUT OF PLUMB CONDITION AT 4TH FLOOR



ORIGINAL ROOF FRAMING - NORTH WALL AT EAST END. BRICK WALL OF #36.



ORIGINAL ROOF FRAMING ABOVE 3rd FLOOR - NORTH WALL AT WEST END



NORTH FACADE, NOW OBSCURED BY 36 HICKS ST - ORIGINAL CLAPBOARD STILL EXISTS AT 2nd FLOOR - 9" EXPOSURE.

# Historic Photos



1940S TAX PHOTO OF 38 HICKS STREET



SOUTHEAST CORNER OF 38 HICKS STREET - CIRCA 1960



1940S TAX PHOTO DETAIL - 4<sup>TH</sup> STORY WINDOW AT SOUTH FACADE



SOUTHEAST CORNER DETAIL - JOINTS BETWEEN ORIGINAL CLAPBOARD AND ADDED CLAPBOARD WITH 4<sup>TH</sup> FLOOR ADDITION

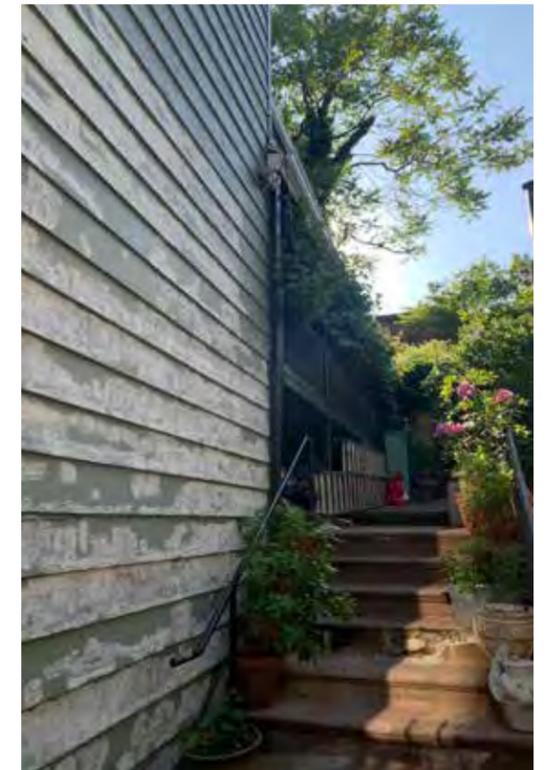
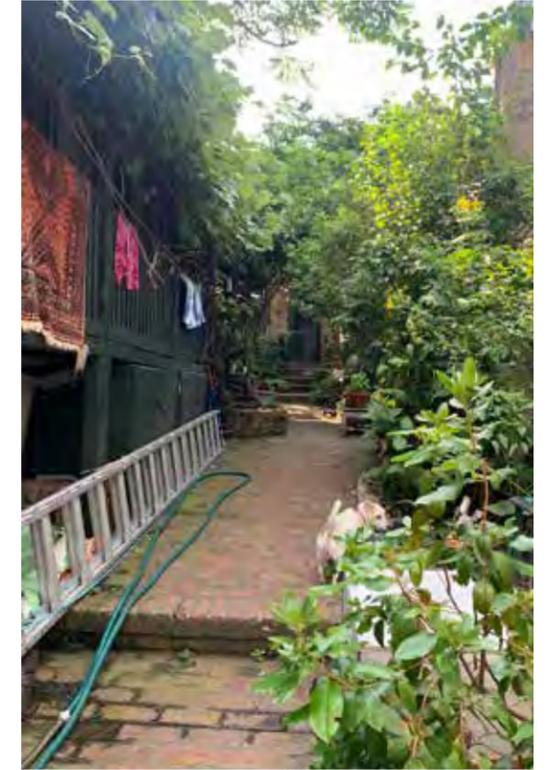
# Context - North Facade at 40 Hicks Street



40 HICKS STREET & SIDE YARD



40 HICKS ST - North Side Facade



# Context - Side Yards and Right-of Way between 40-38 Hicks Street



40-38 HICKS ST - VIEW OF SIDE YARDS & RIGHT-OF-WAY BETWEEN FROM ROOF TERRACE



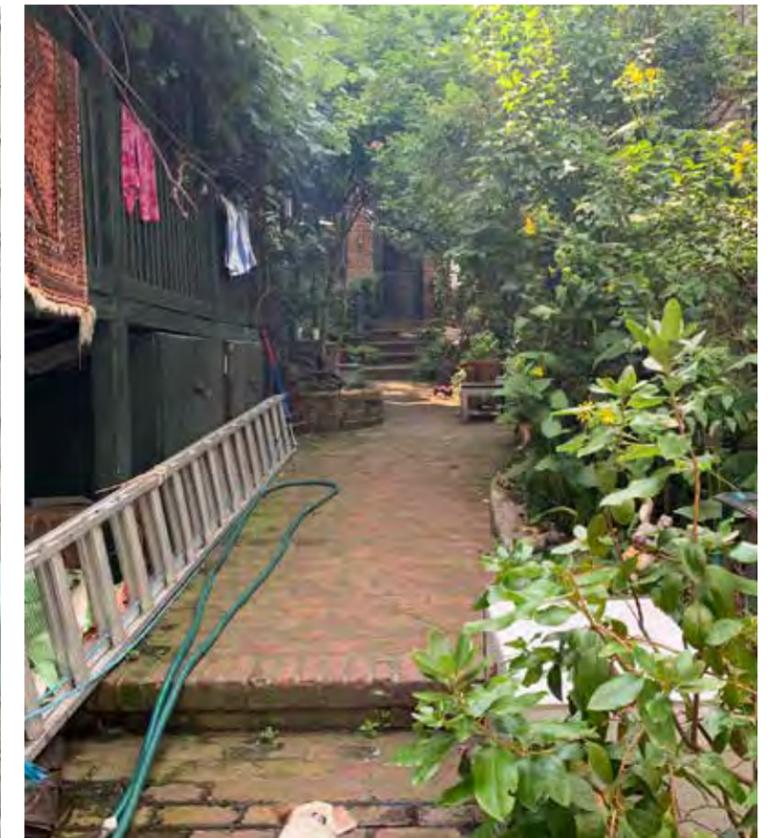
A: STUCCOED BASE WITH FIRST FLOOR SIDE WINDOW



B: VIEW OF SIDE YARDS & RIGHT-OF-WAY

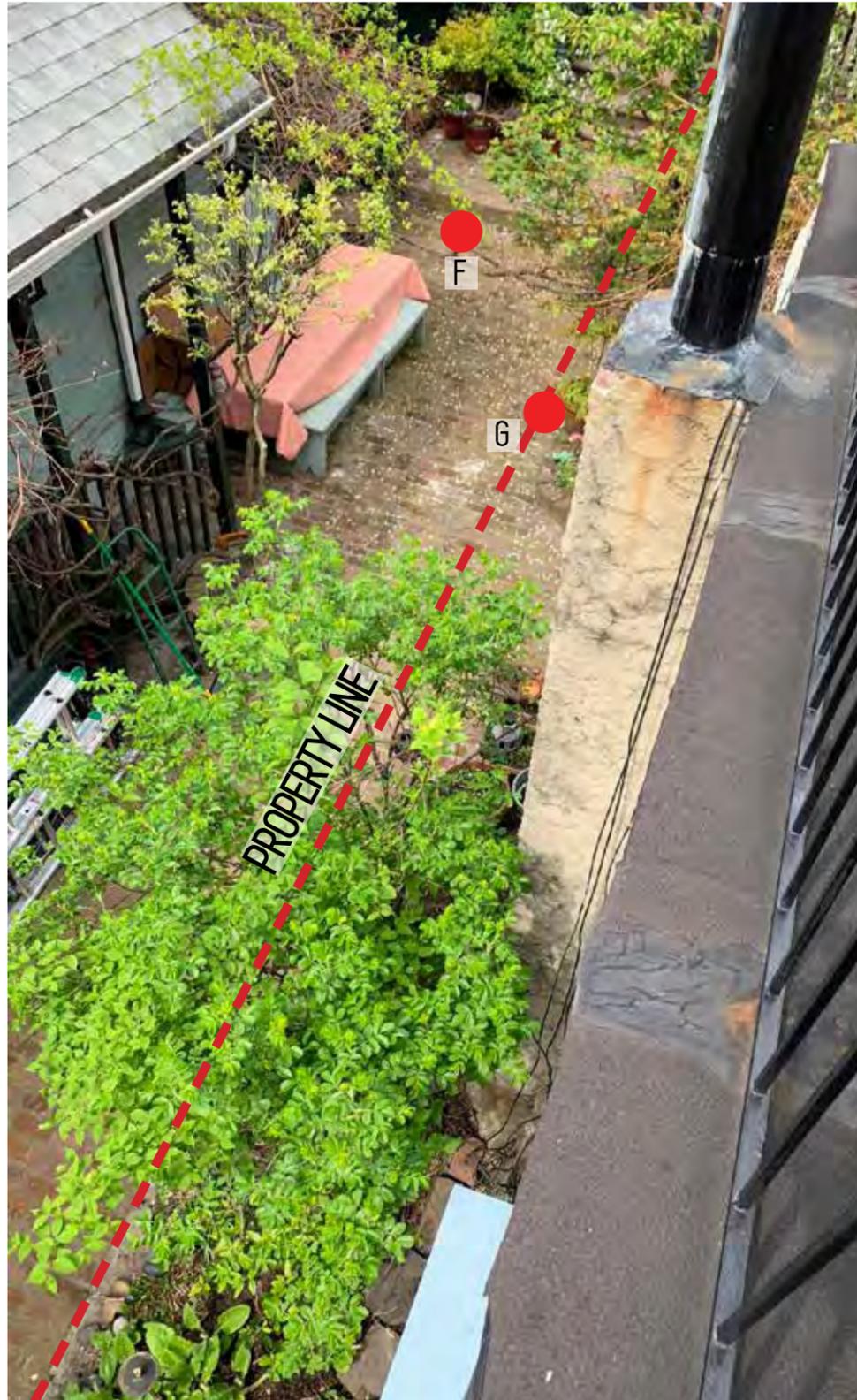


C: VIEW OF LOWER CONCRETE AREA AT 38 HICKS STREET

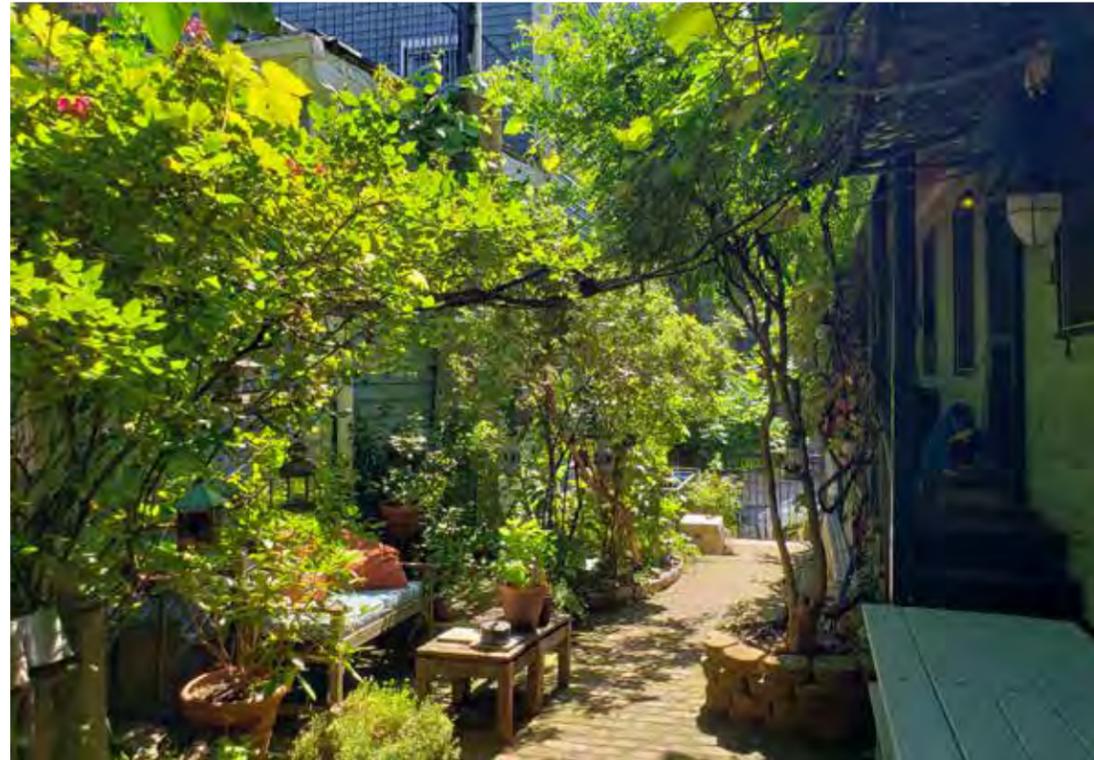


D: VIEW OF SIDE YARDS FROM TOP OF STAIRS AT EASEMENT

# Context - Side Yards and Right-of-Way between 40-38 Hicks Street



A: VIEW OF SIDE YARDS & RIGHT-OF-WAY

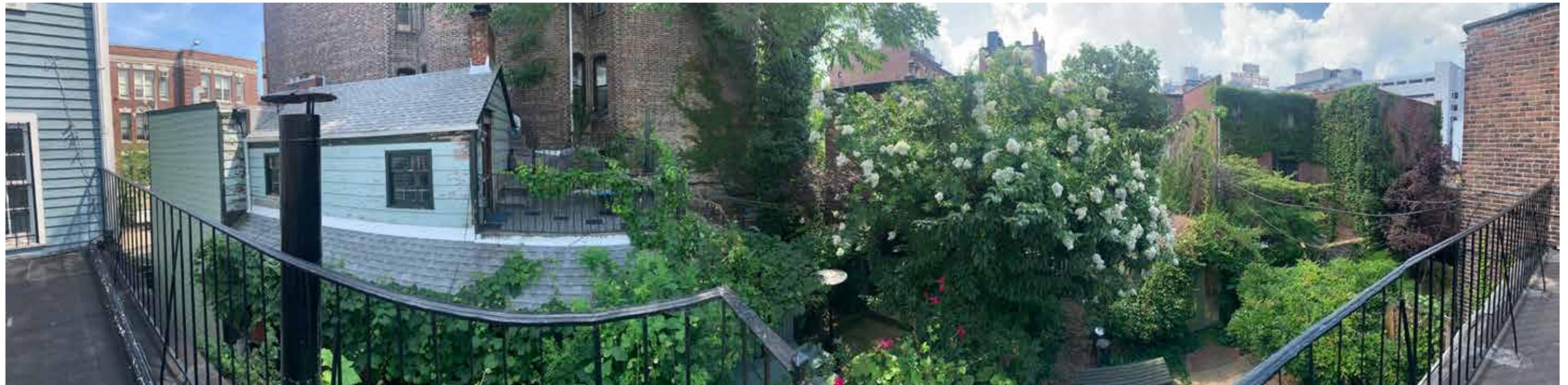


F: VIEW OF 38 HICKS STREET SIDE YARD & RIGHT-OF-WAY



G: VIEW OF 40 HICKS STREET SIDE YARD PORCH & RIGHT-OF-WAY

# Context - Rear Yard



# Context - Rear Facade



VIEW OF REAR FACADES OF  
36 HICKS STREET (Left) AND  
38 HICKS STREET (Right)



VIEW OF REAR FACADES OF  
38 HICKS STREET (Left) AND  
40 HICKS STREET (Right)

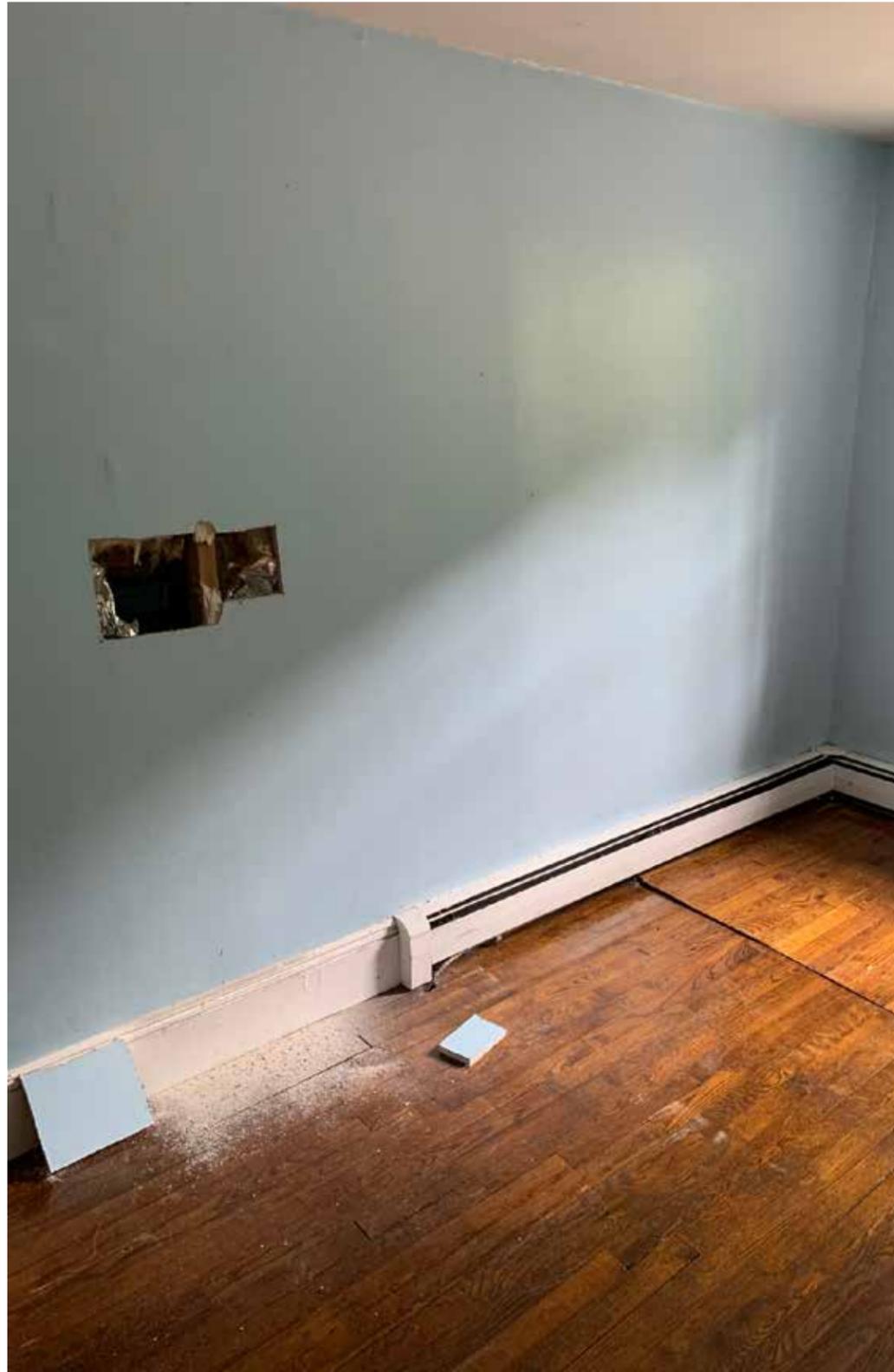


REAR FACADE OF  
40 HICKS STREET



2-STORY BUILDING BUILT IN THE  
REAR YARD OF 40 HICKS STREET

# Context - Rear addition construction



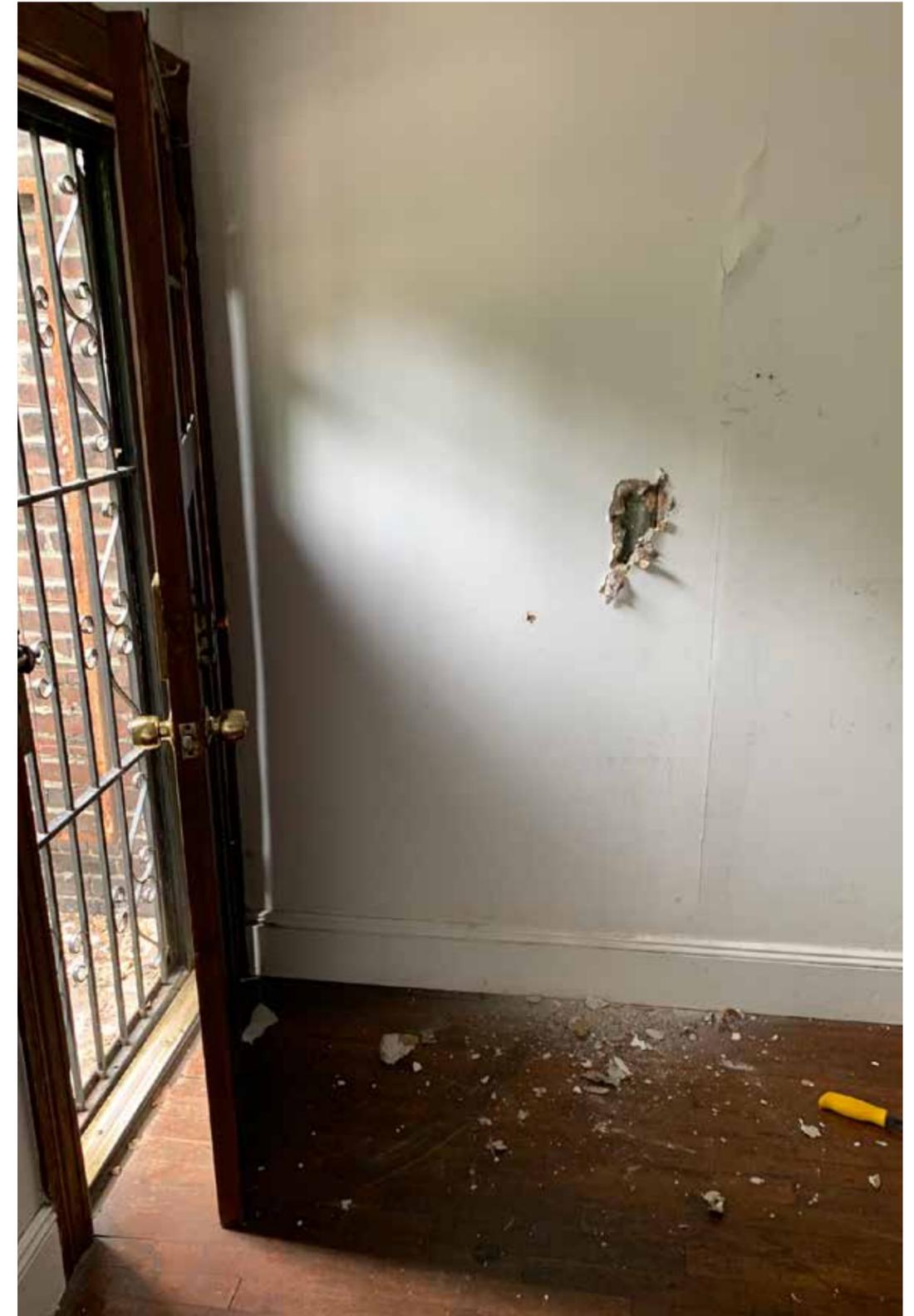
SOUTH FACADE - REAR ADDITION REFRAMED



REAR ADDITION REFRAMED WITH NEW WOOD FRAMING



REAR ADDITION LAMINATED WITH NEW WOOD FRAMING



NORTH FACADE - REAR ADDITION LAMINATED

# Precedent Photos

WOOD-FRAME HOUSES WITHIN 1 BLOCK RADIUS HAVING DESIGN ELEMENTS PROPOSED AT 38 HICKS STREET:



48 HICKS STREET - WINDOW CASING SIMILAR TO PROPOSED AT 38 HICKS STREET



48 HICKS STREET - WINDOW CASING AND 2 OVER 2 WINDOW CONFIGURATION SAME AS PROPOSED AT 38 HICKS STREET



27 MIDDAGH STREET ORIGINAL ITALIANATE FACADE



COMPARISON OF WINDOW SIZE RELATIVE TO WINDOW TRIM:  
27 MIDDAGH STREET (LEFT) & 38 HICKS STREET (RIGHT)

# District and Site Maps

Brooklyn Heights Historic District | LP-0099



AERIAL VIEW



BLOCK MAP - BLOCK: 210 LOT: 14

Graphic Source: Map PLUTO, Edition 18v1, Author: New York City Landmarks Preservation Commission, LCR Date: 1.28.2019

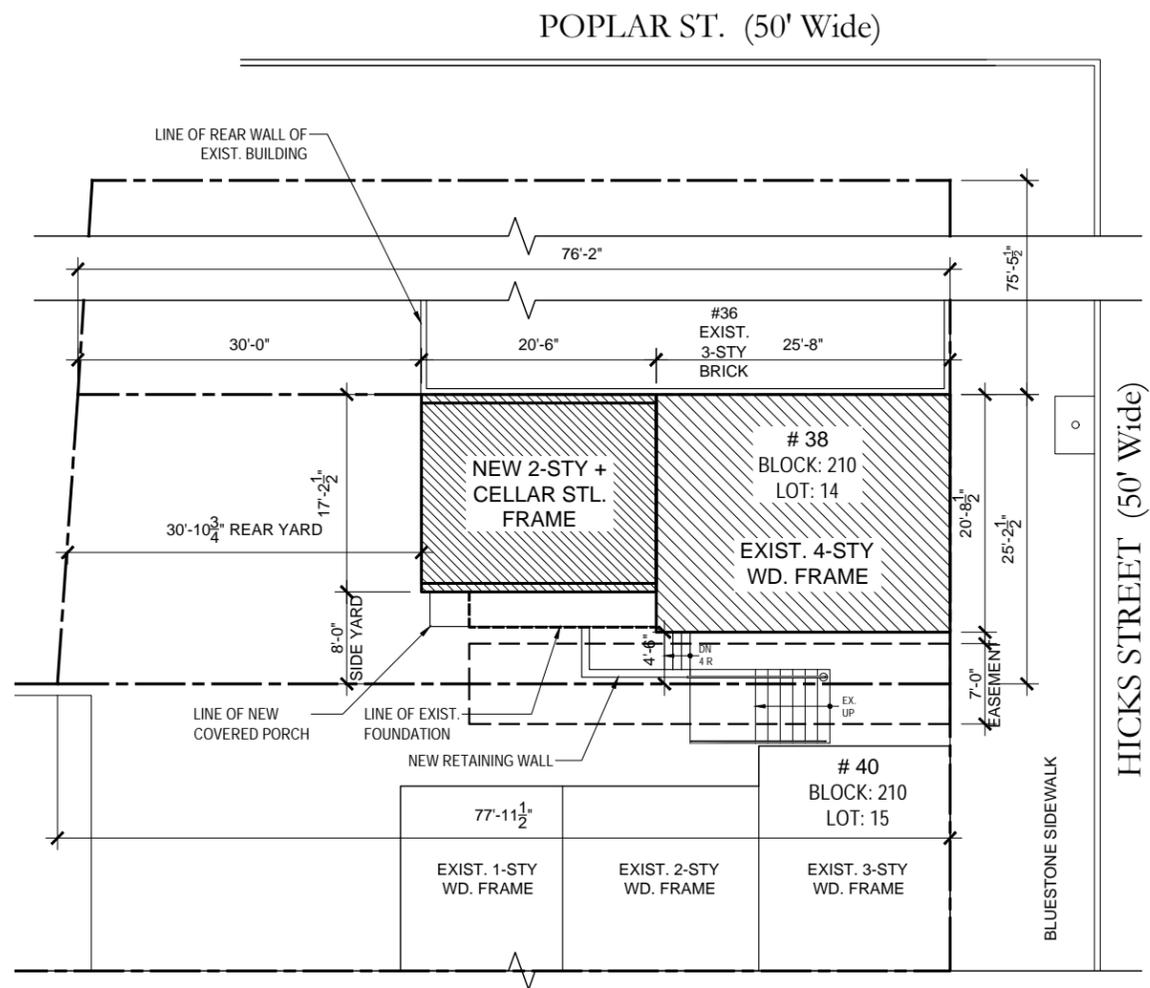
1940s Tax Photo at 38 Hicks Street

# Block Plan - Height Diagram

- Legend:
- 5+ Story Building
  - 4 Story Building
  - 3 Story Building
  - 2 Story Building
  - 2 Story Rear Addition
  - 1 Story Rear Addition



# Site and Block Plan



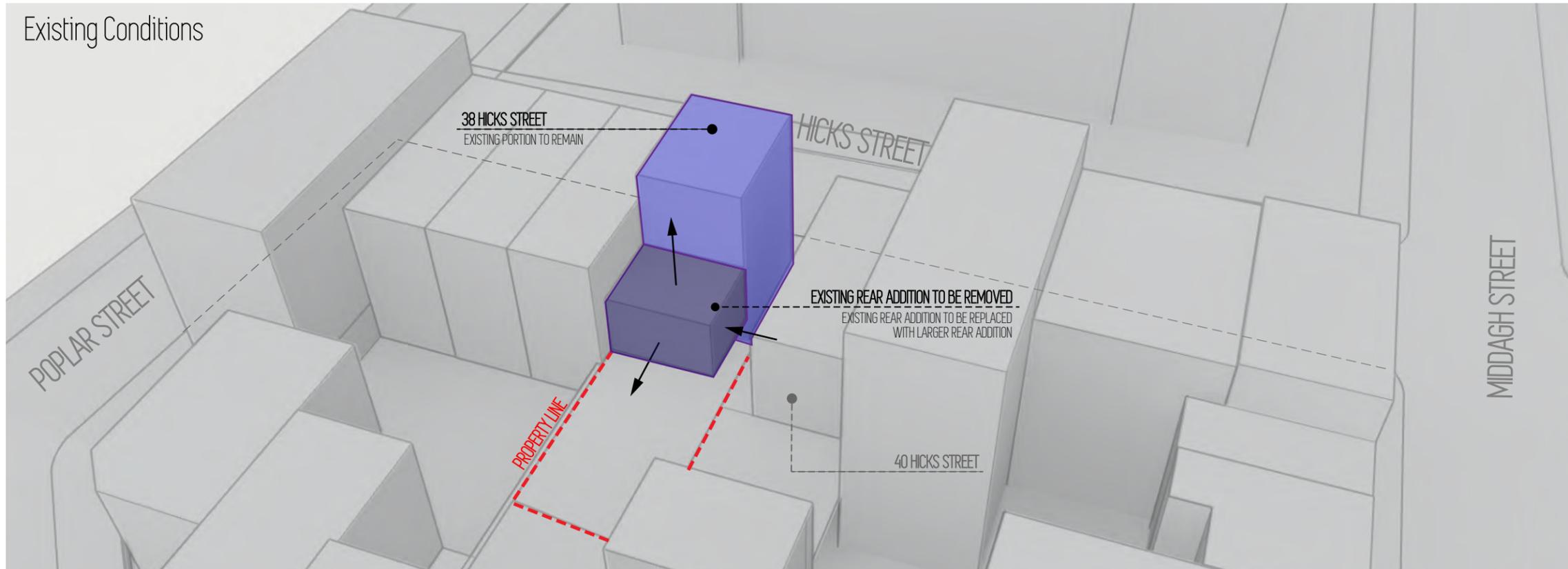
Site Plan

- Legend:
- 5+ Story Building
  - 4 Story Building
  - 3 Story Building
  - 2 Story Building
  - 2 Story Rear Addition
  - 1 Story Rear Addition

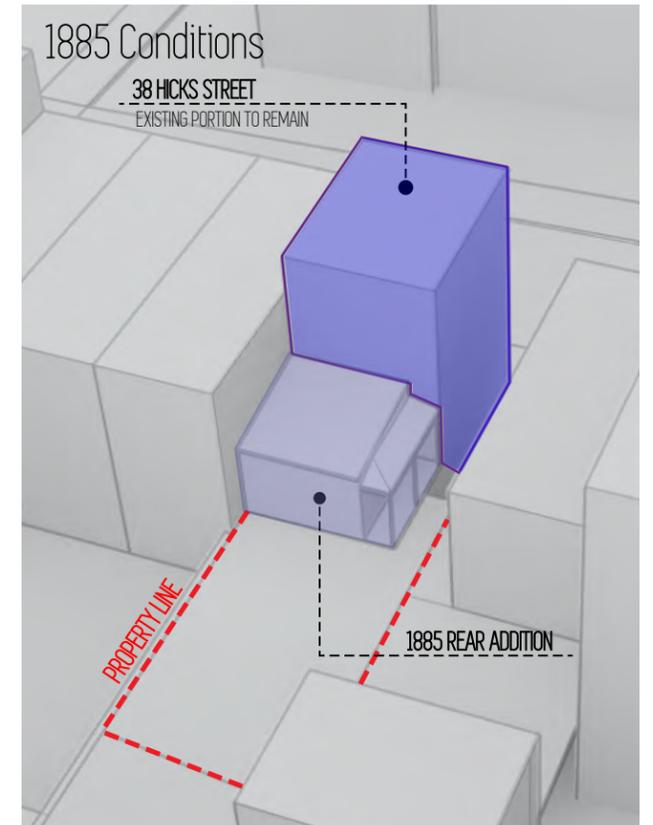


# Proposed Work - Massing Diagrams

Existing Conditions



1885 Conditions



Proposed Work

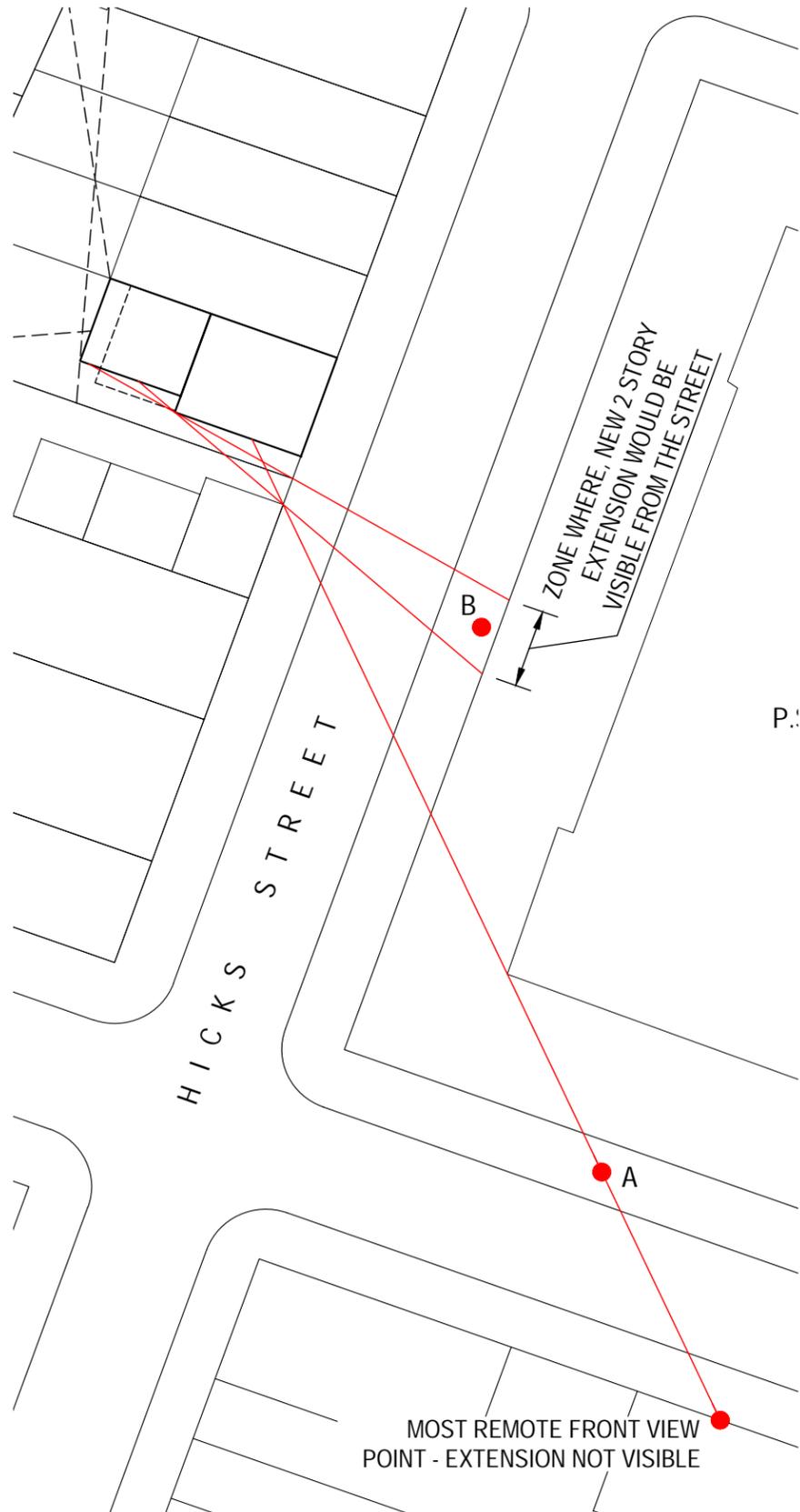


Legend:

- Existing to Remain
- 1885 Rear Addition
- Existing to be Removed
- Proposed Work: Horizontal Extension



# Visibility Photos - Hicks Street and Middagh Street

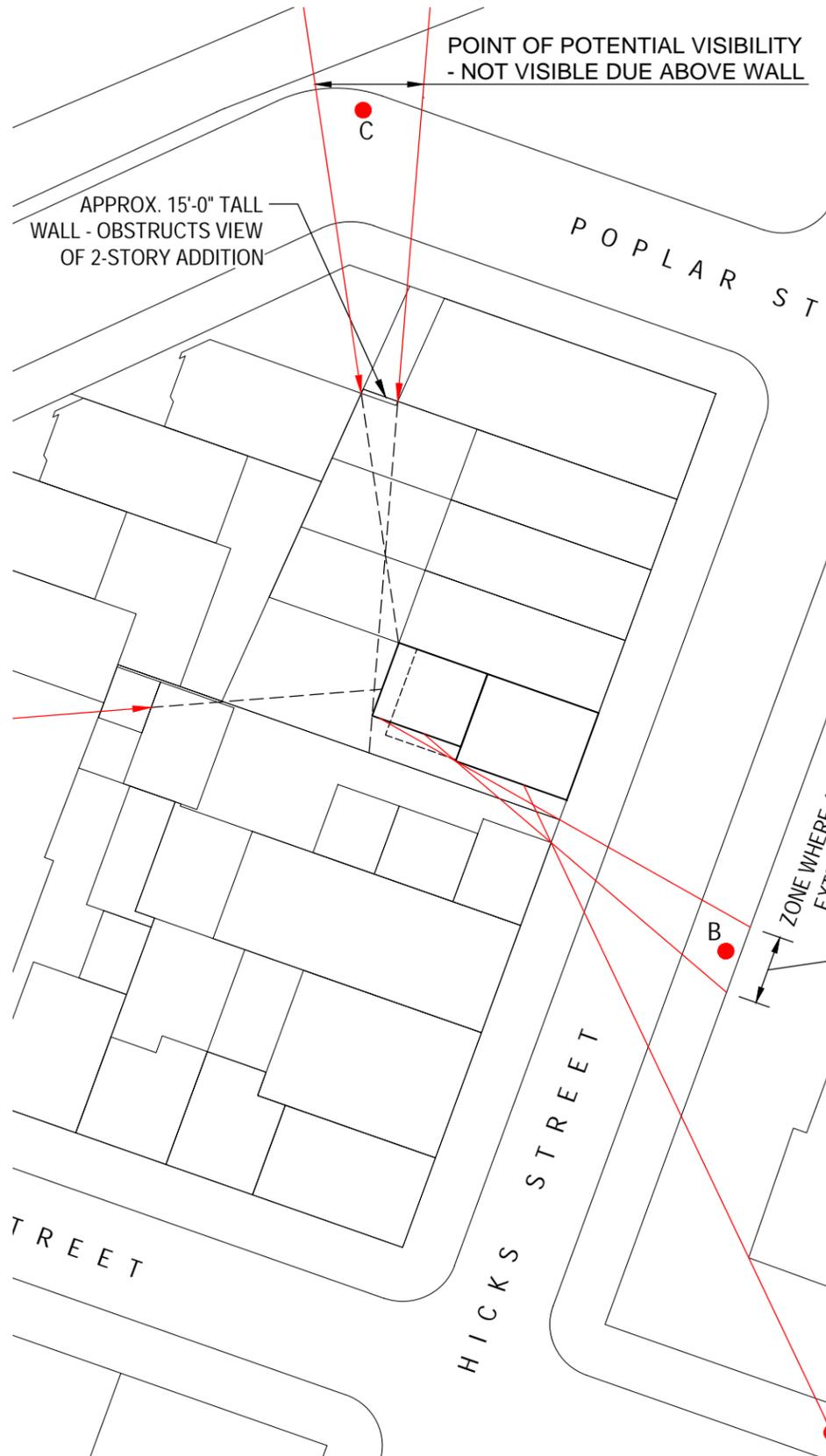


A: Most remote Front View Point from Middagh Street



B: Zone where Existing 1-Story Extension is visible

# Visibility Photos - Poplar Street and Willow Street



C: Point of Potential Visibility at Poplar Street and Willow Street

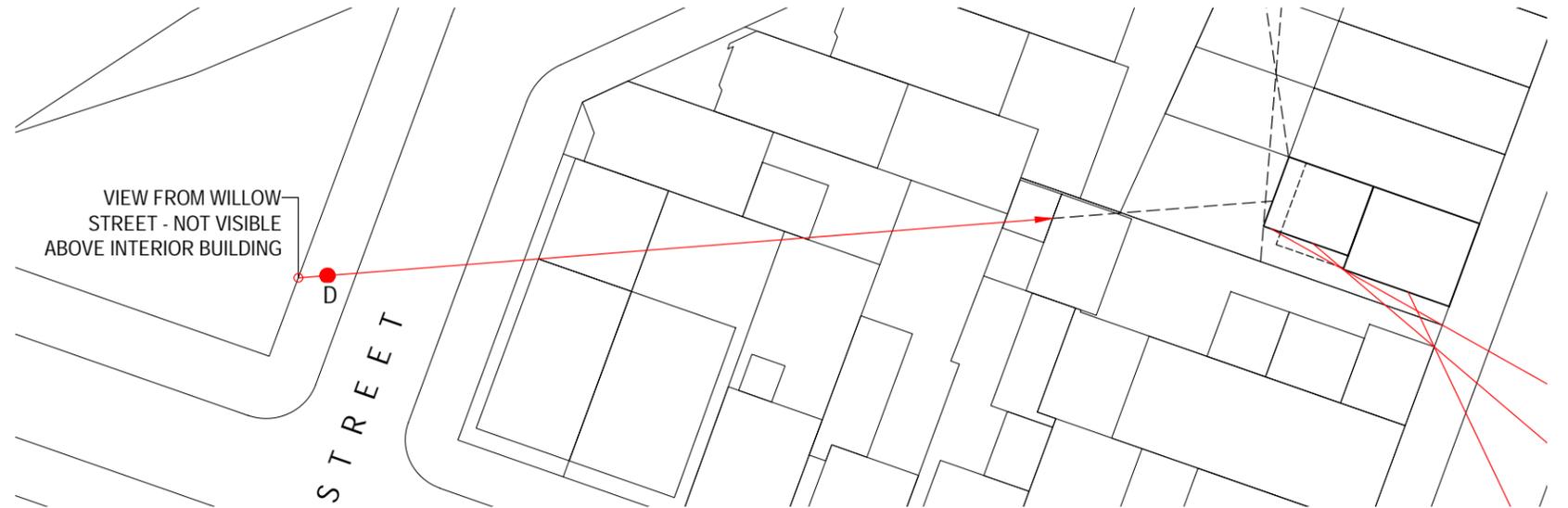


38 Hicks Street Not Visible above wall

# Visibility Photos - Willow Street

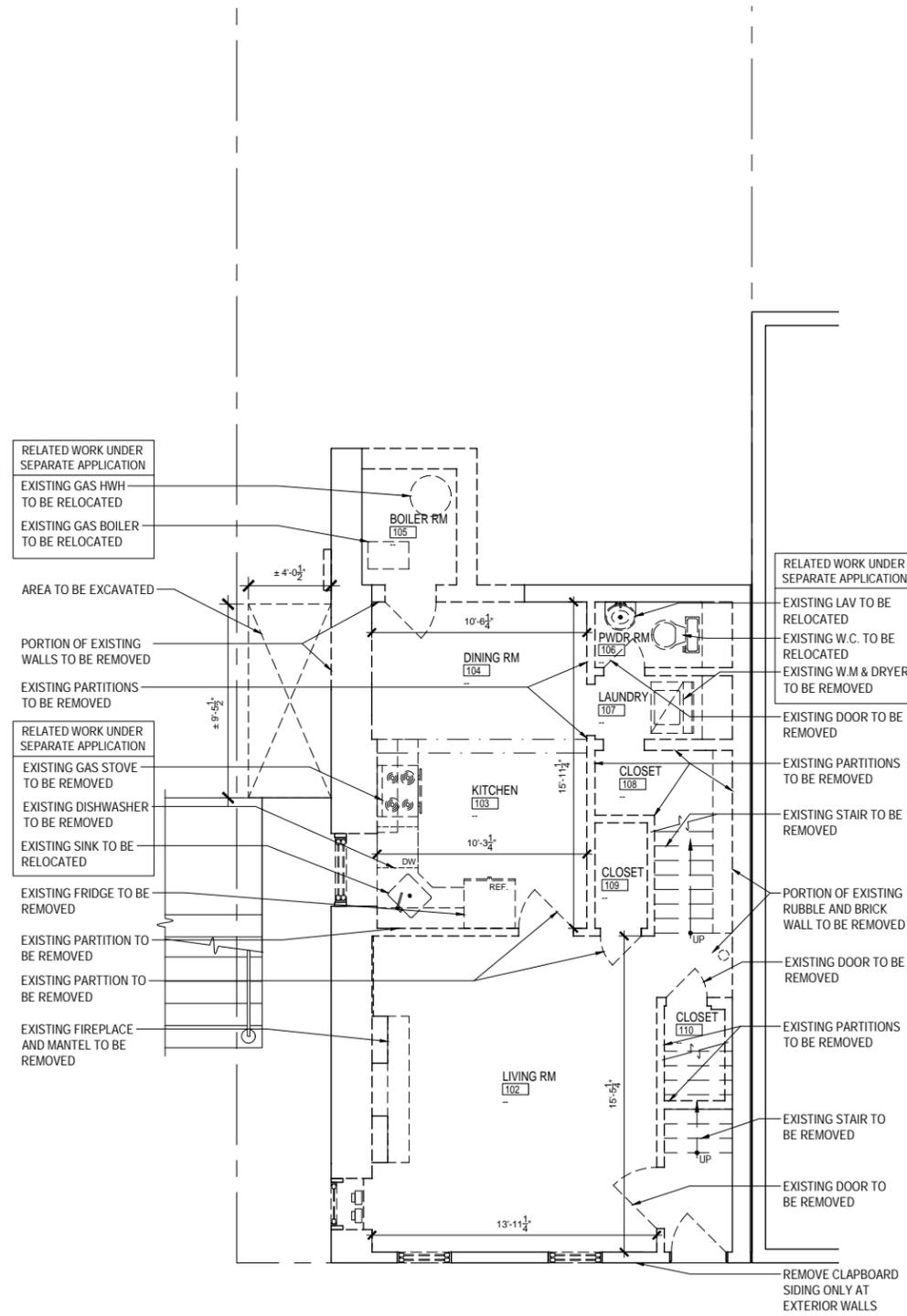


D: View from Willow Street

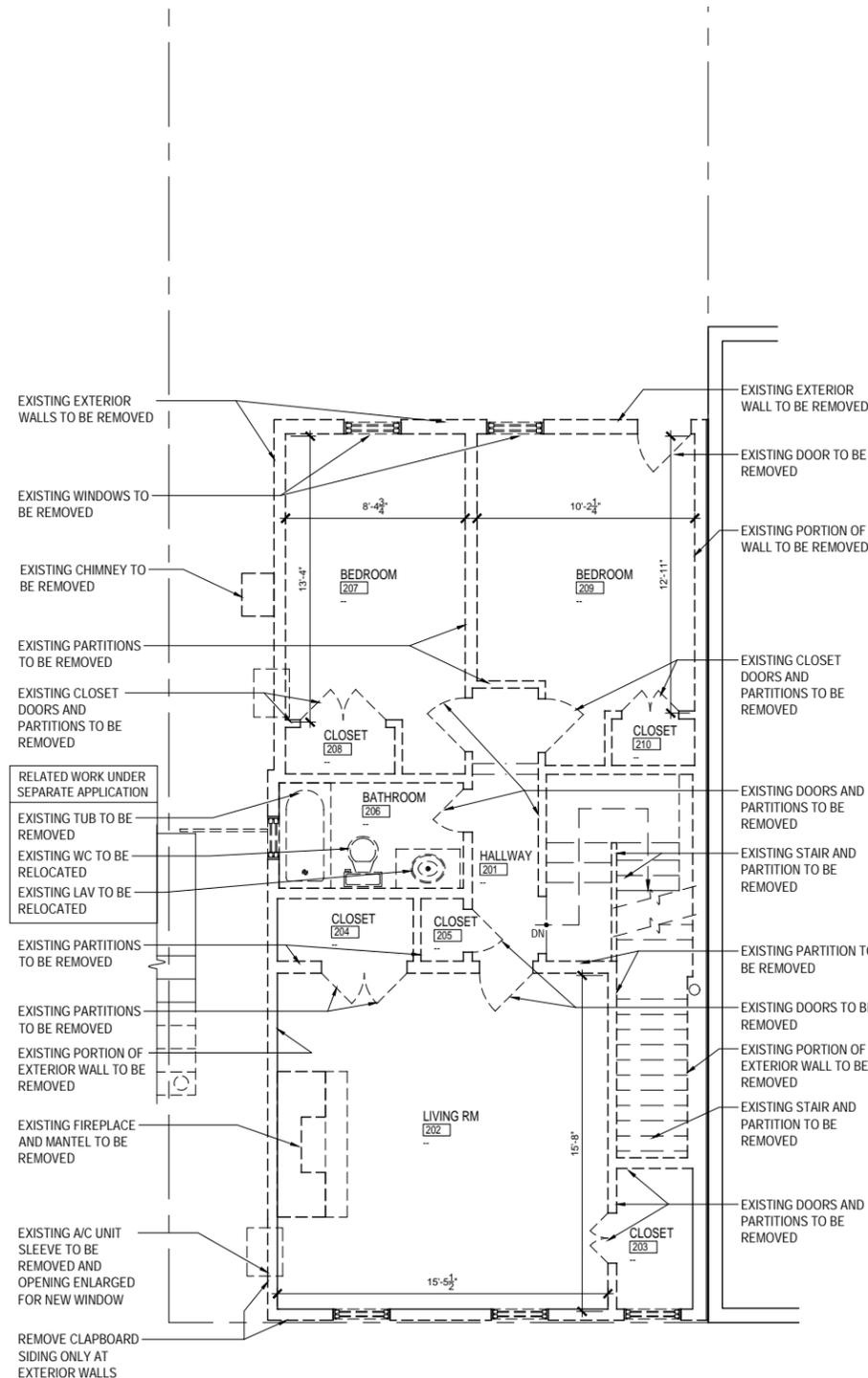


38 Hicks Street Not Visible due to Building Obstructions

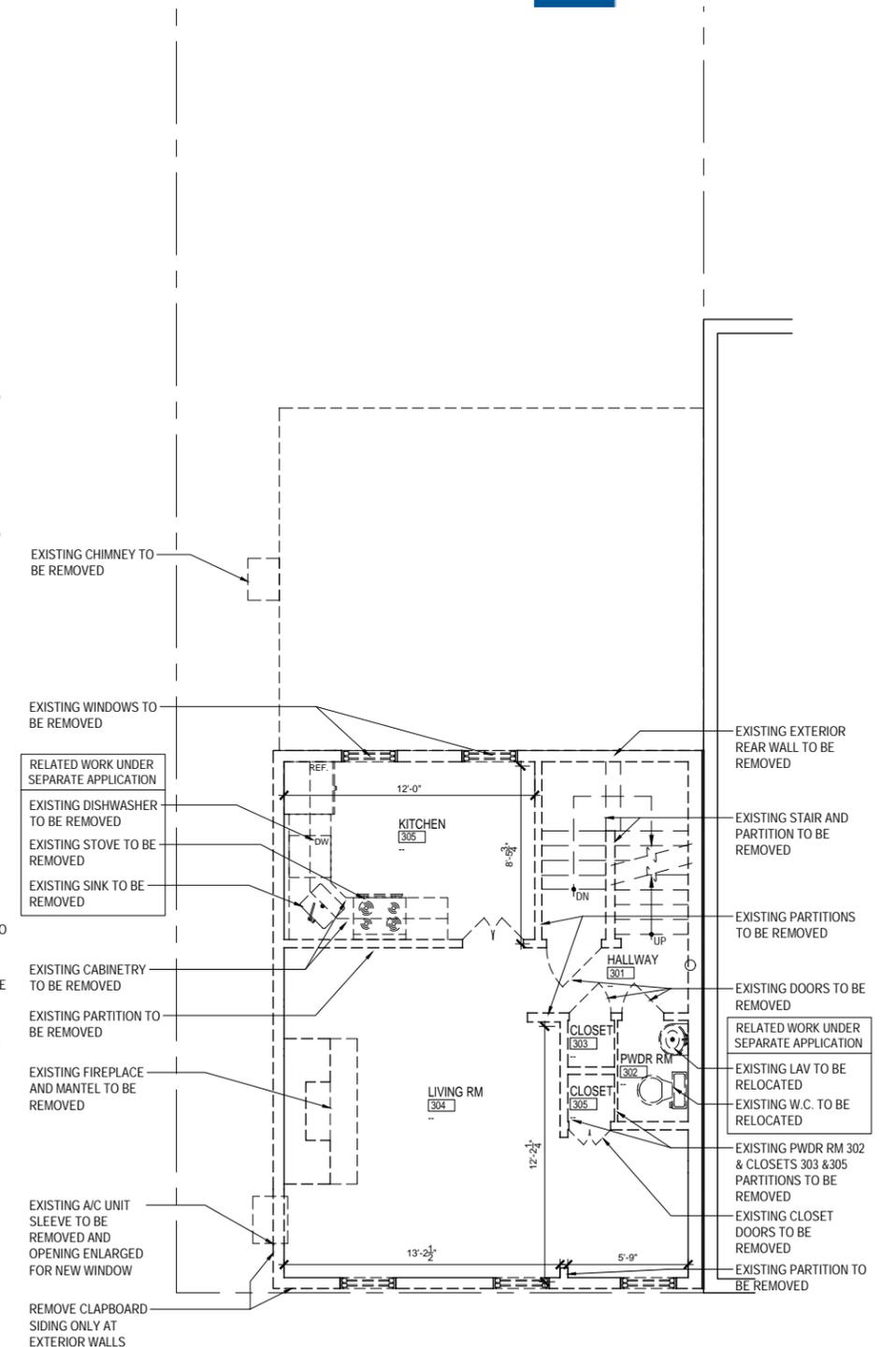
# Existing / Demolition Floor Plans



FIRST FLOOR PLAN: EXISTING/DEMO  
SCALE: 1/4" = 1'-0"

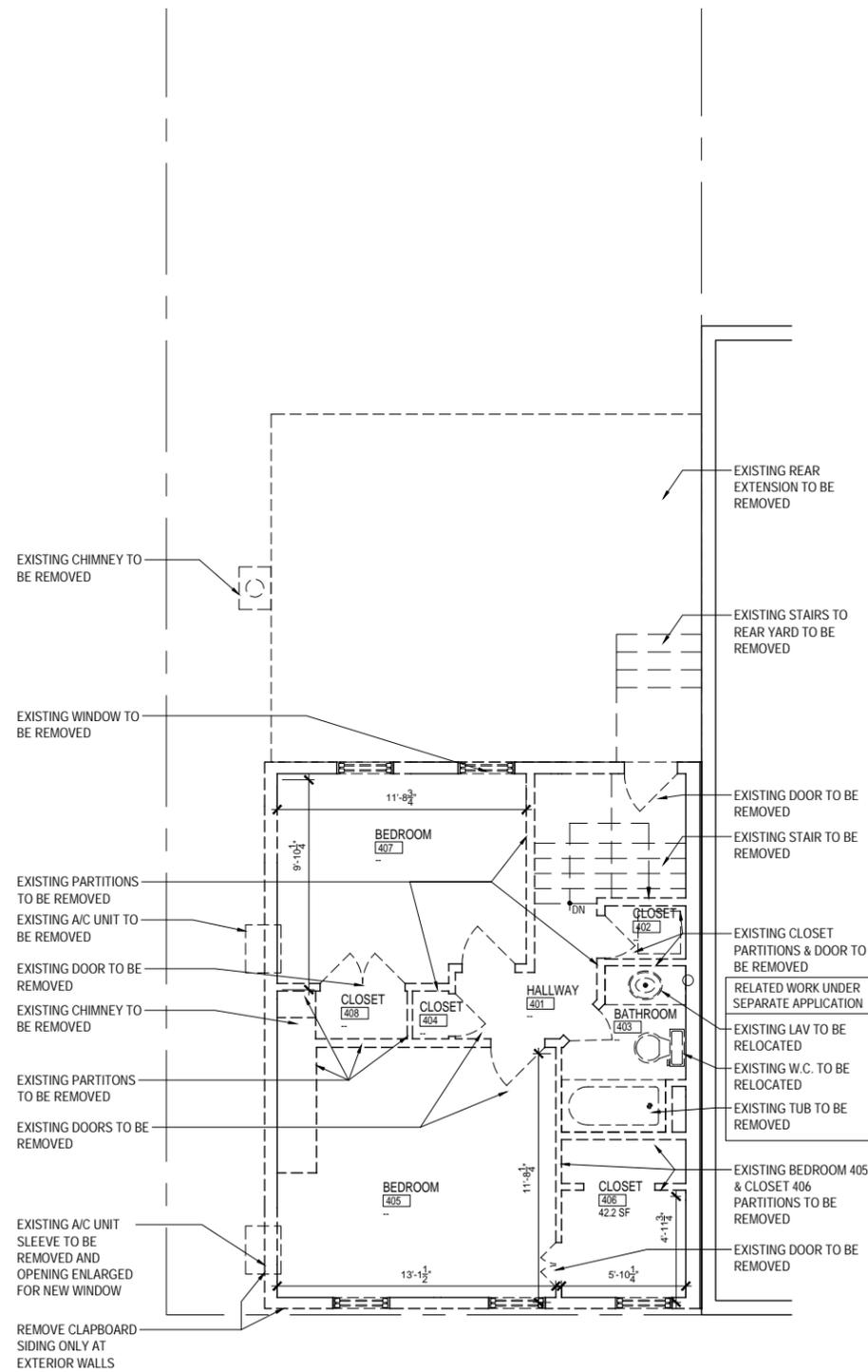


SECOND FLOOR PLAN: EXISTING/DEMO  
SCALE: 1/4" = 1'-0"

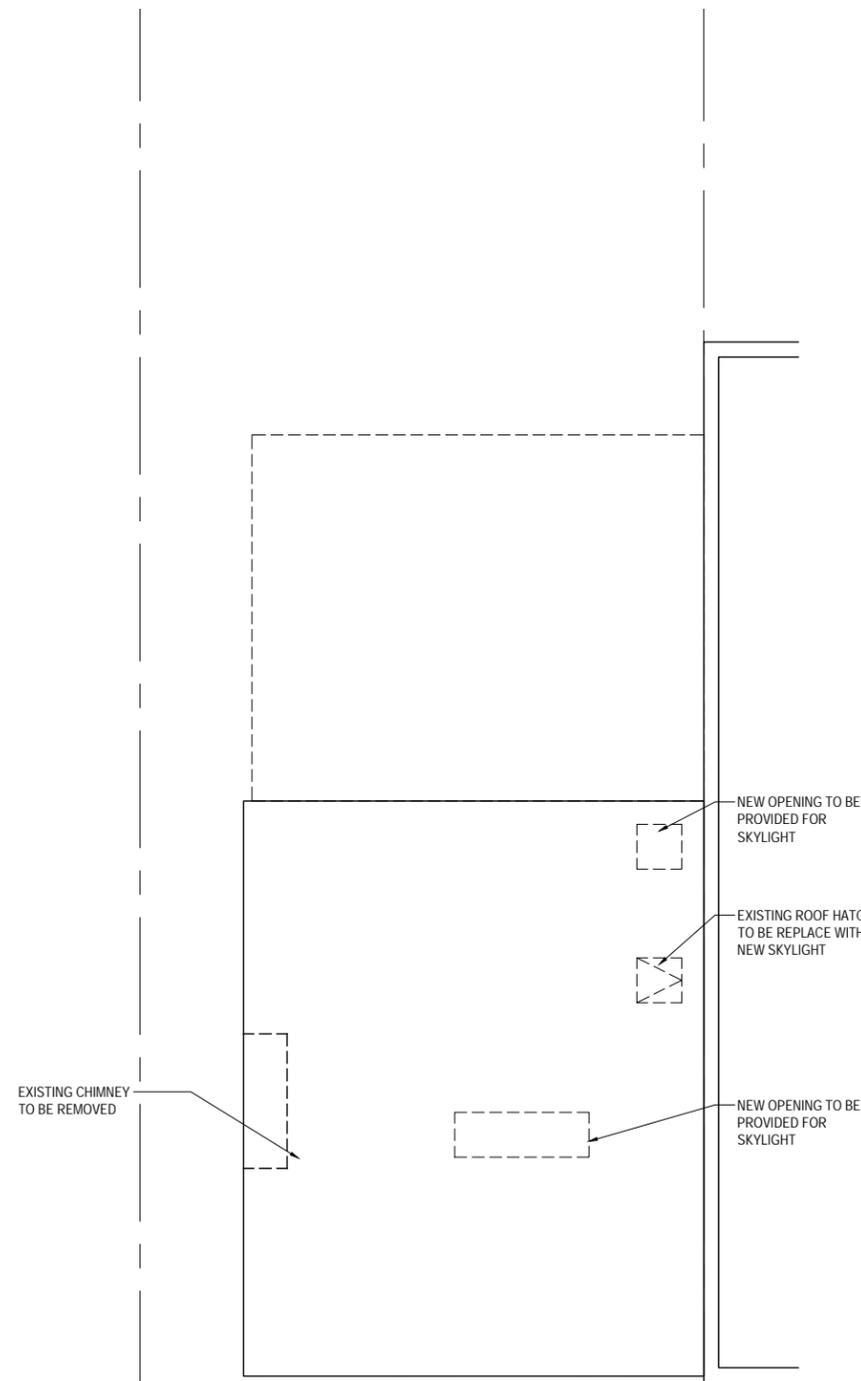


THIRD FLOOR PLAN: EXISTING/DEMO  
SCALE: 1/4" = 1'-0"

# Existing / Demolition Floor Plans



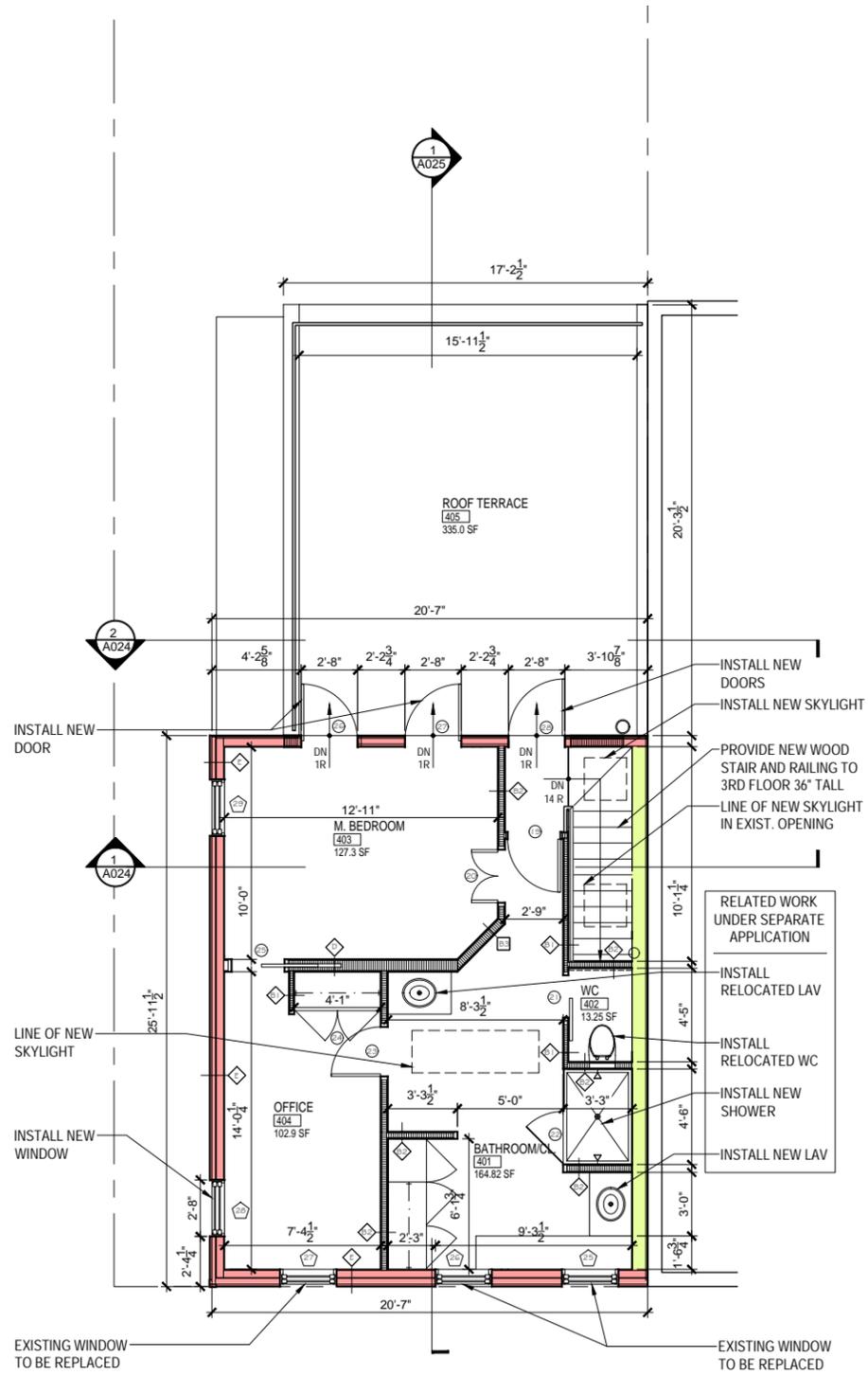
FOURTH FLOOR PLAN: EXISTING/DEMO  
SCALE: 1/4" = 1'-0"



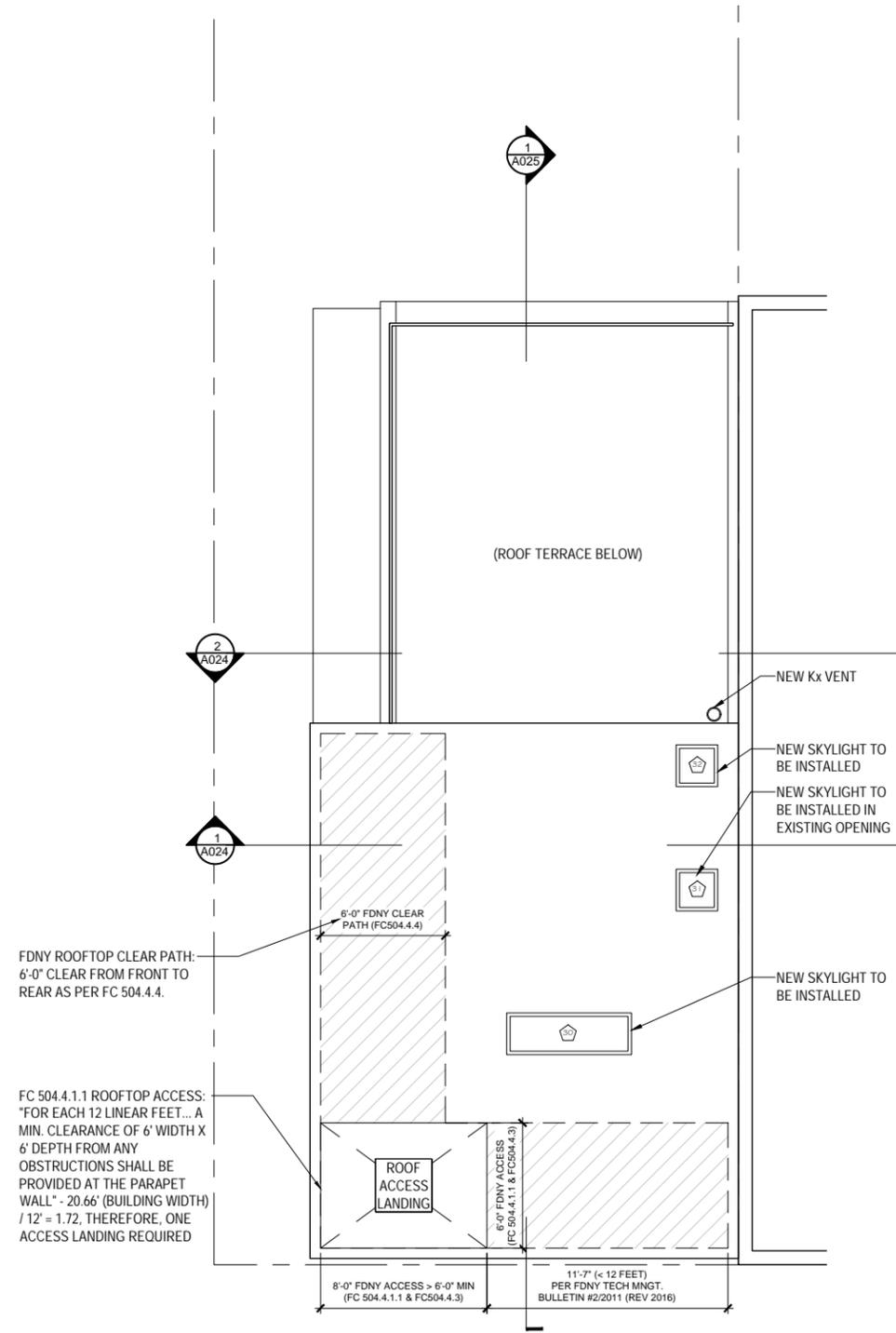
ROOF PLAN: EXISTING/DEMO  
SCALE: 1/4" = 1'-0"



# Proposed Floor Plans



FOURTH FLOOR PLAN: PROPOSED  
SCALE: 1/4" = 1'-0"



ROOF PLAN: PROPOSED  
SCALE: 1/4" = 1'-0"

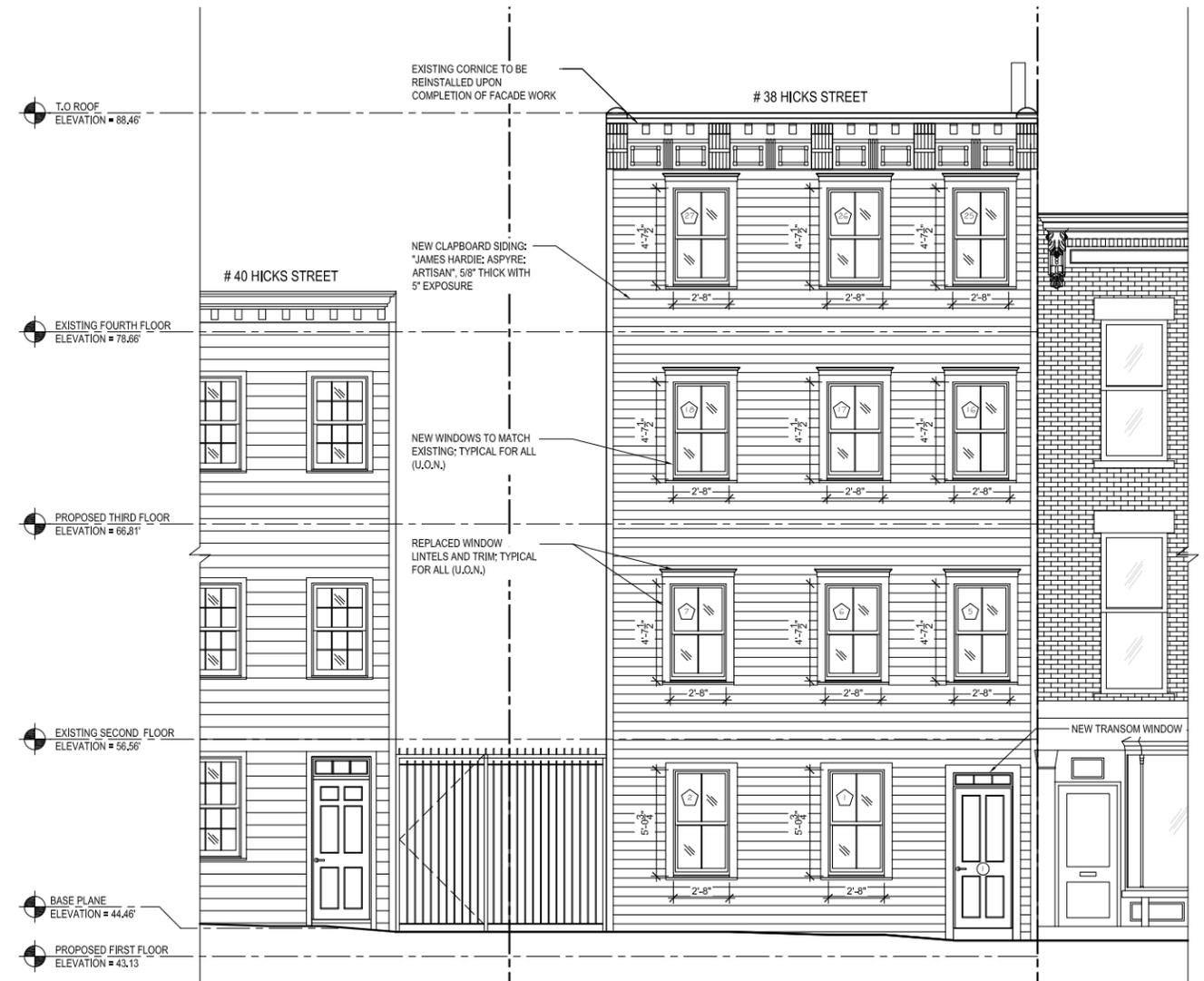
Legend:

- New Continuous & Cavity Insulation + New Siding at Existing Wall
- New Cavity Insulation in Existing Wall
- New Framed Wall at Addition
- New fire-rate Masonry Wall

# East Elevation

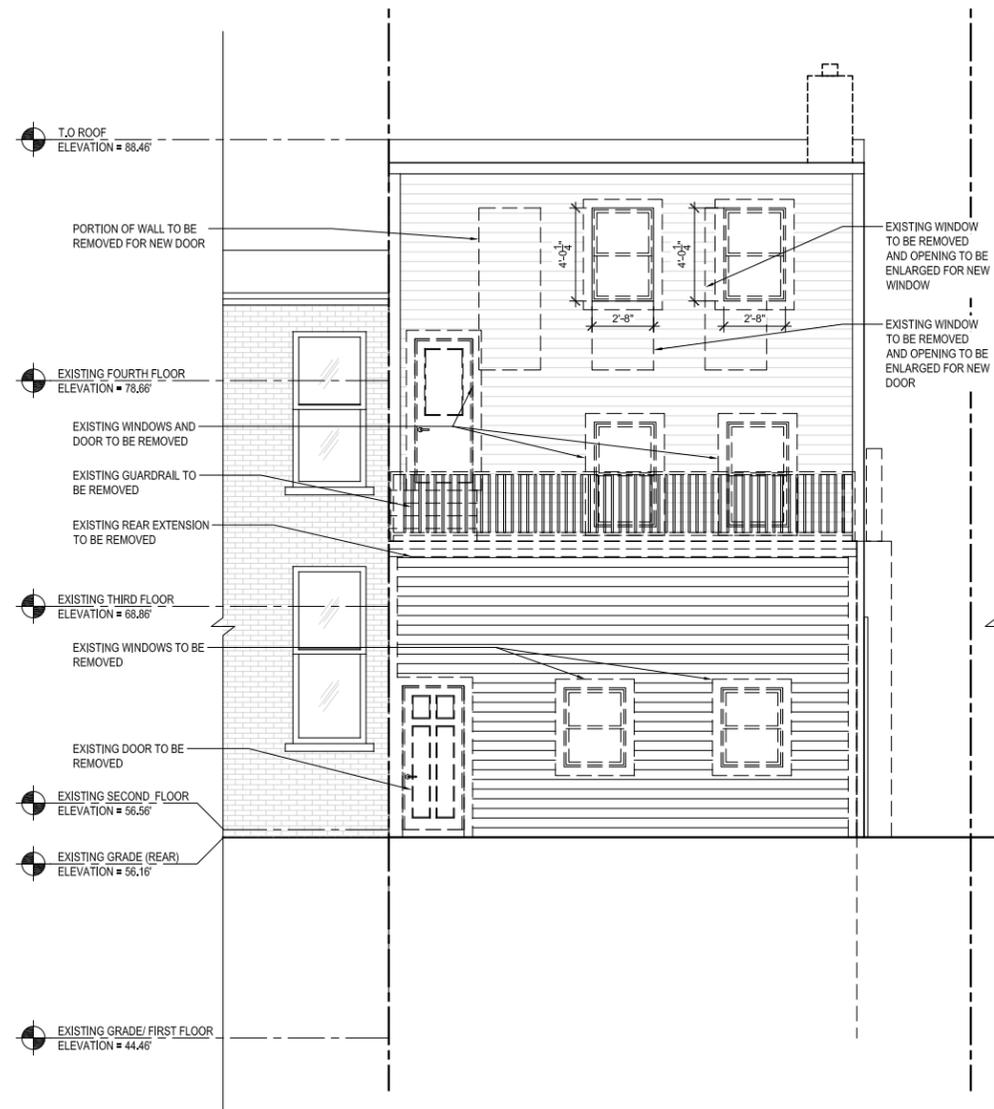


EAST ELEVATION - EXISTING

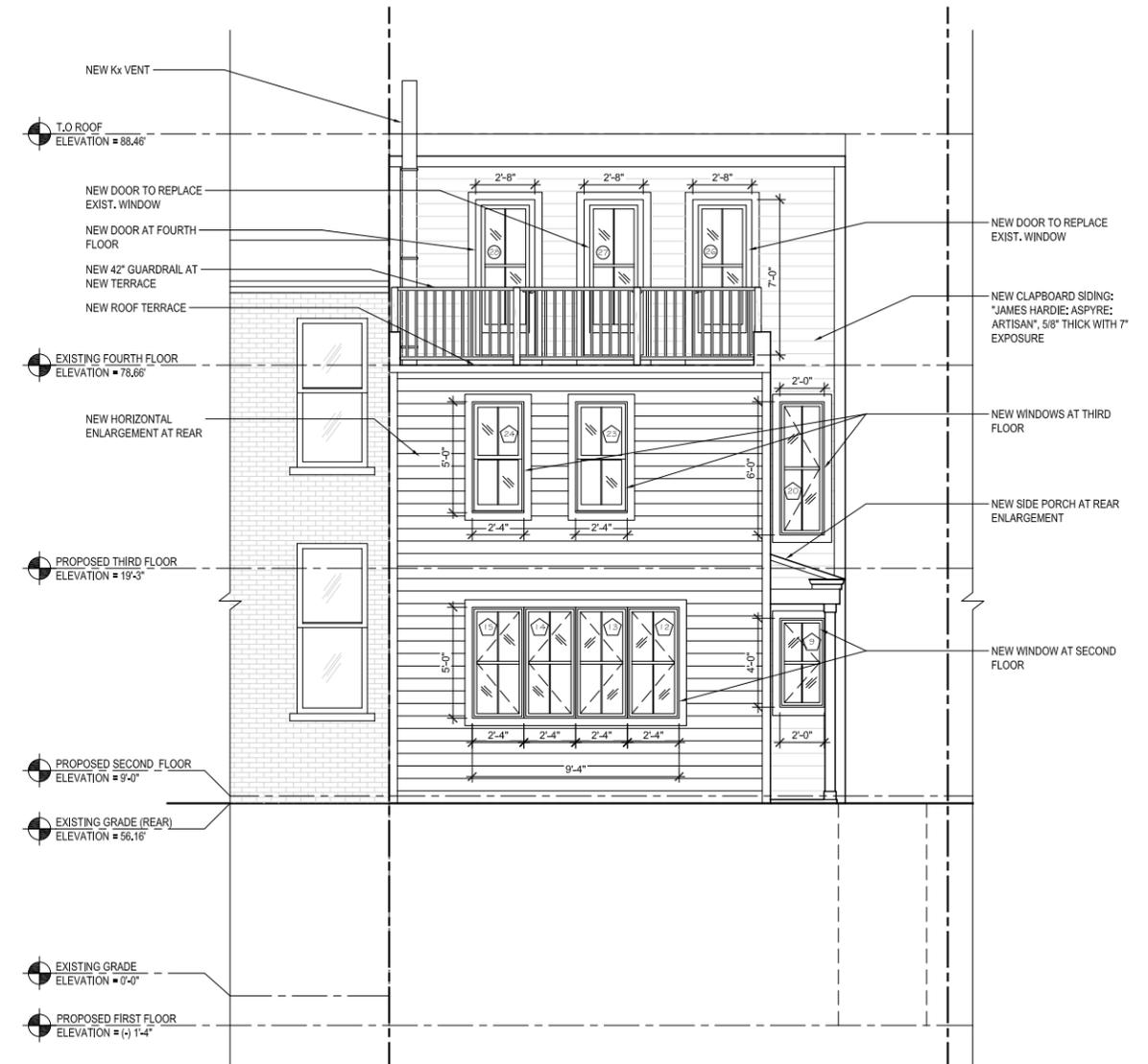


EAST ELEVATION - PROPOSED



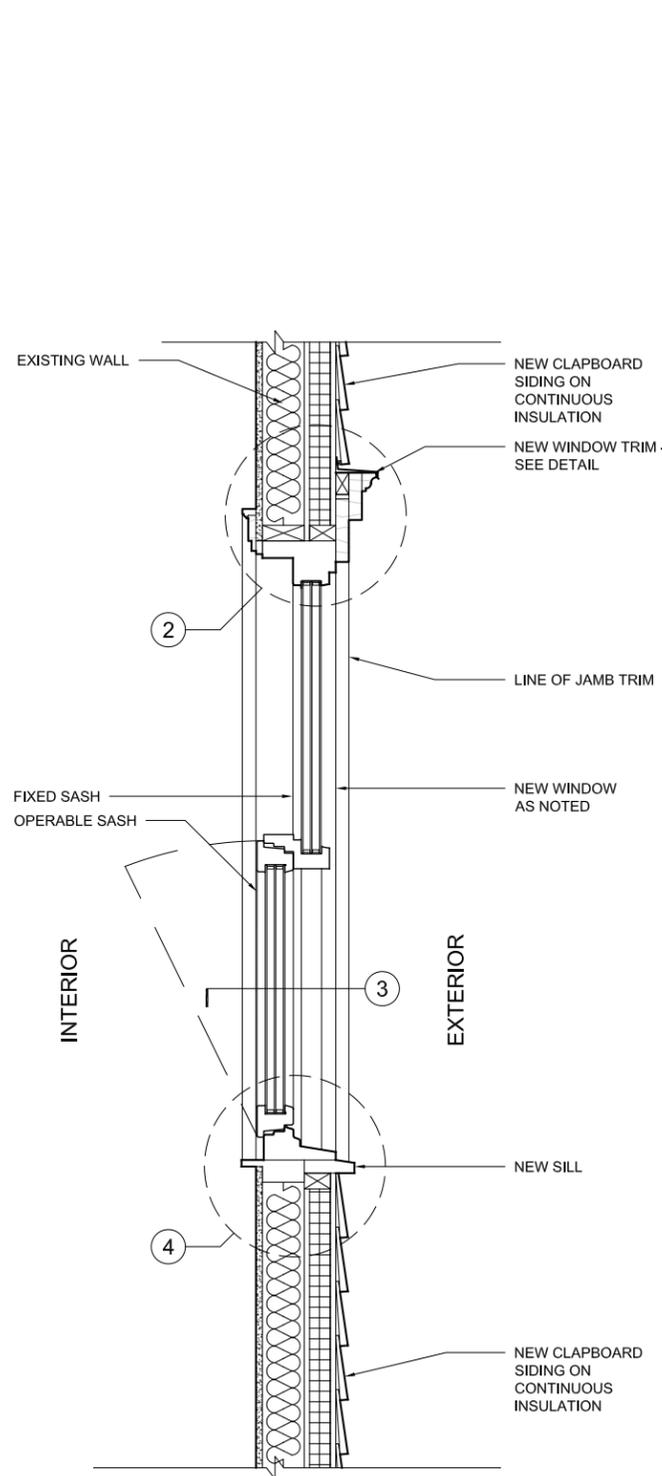


WEST ELEVATION - EXISTING

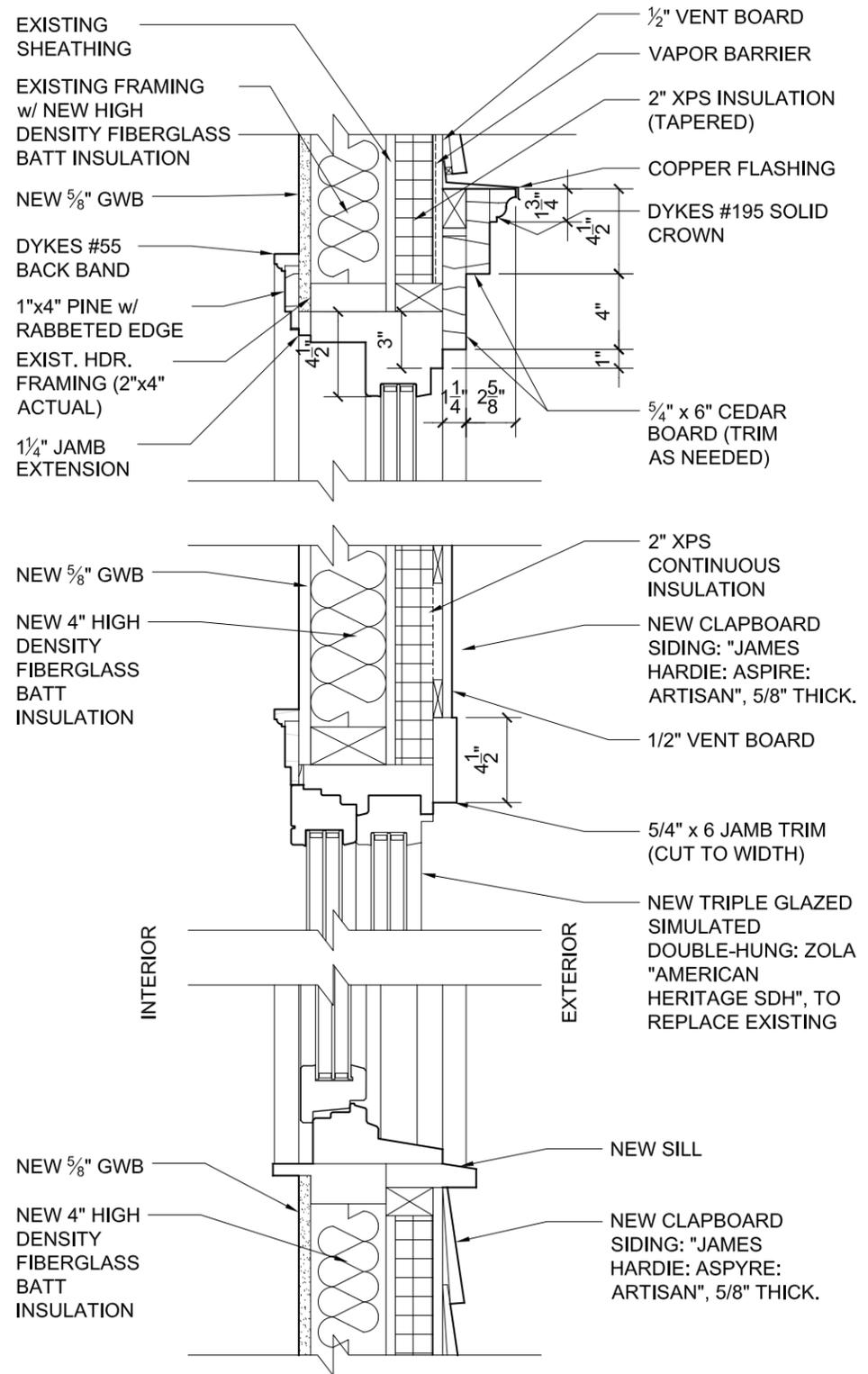


WEST ELEVATION - PROPOSED

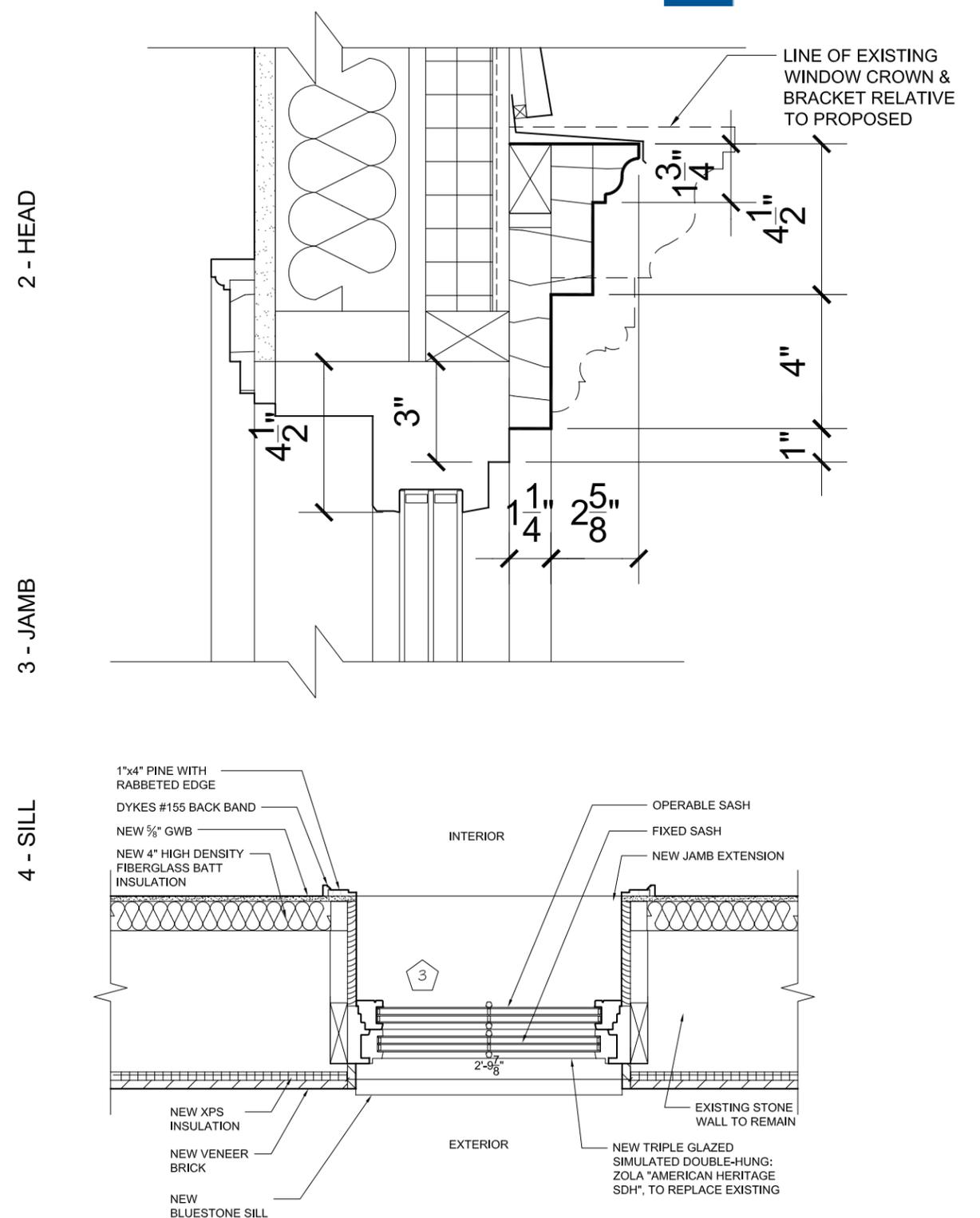
# Window Details



WALL SECTION REPLACEMENT WINDOW AT FRONT (EAST) FACADE

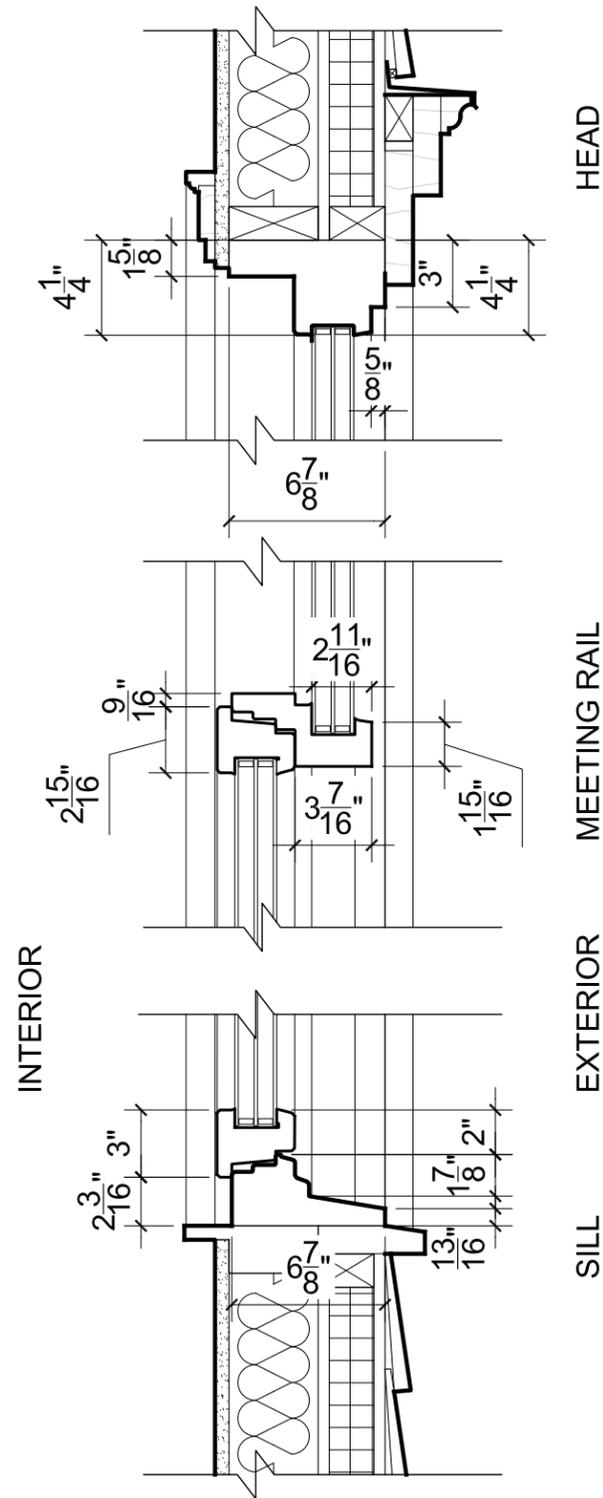


DETAILED WALL SECTION AT REPLACEMENT WINDOW

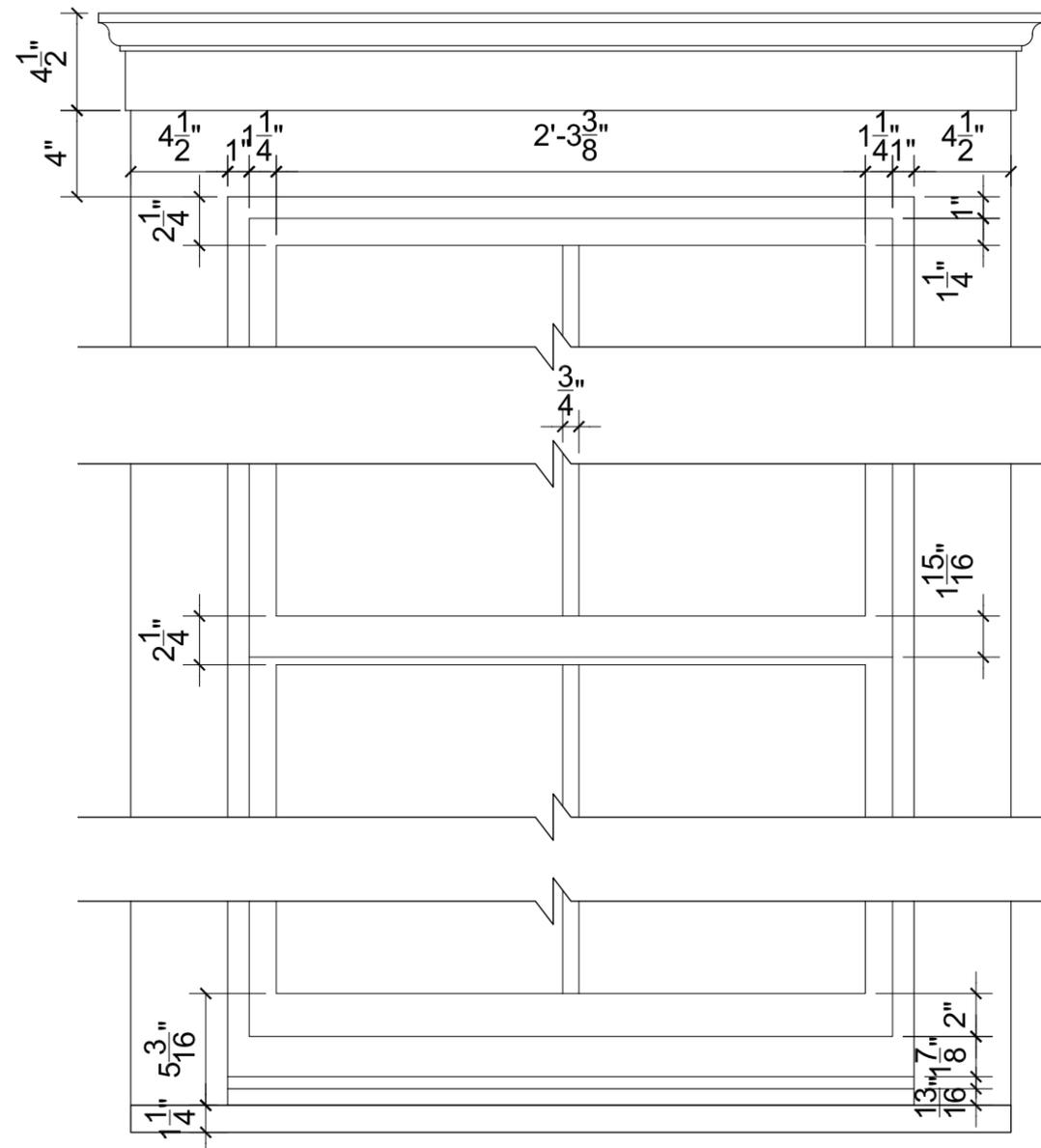


TYPICAL WINDOW PLAN DETAIL AT STONE WALL (SOUTH FACADE)

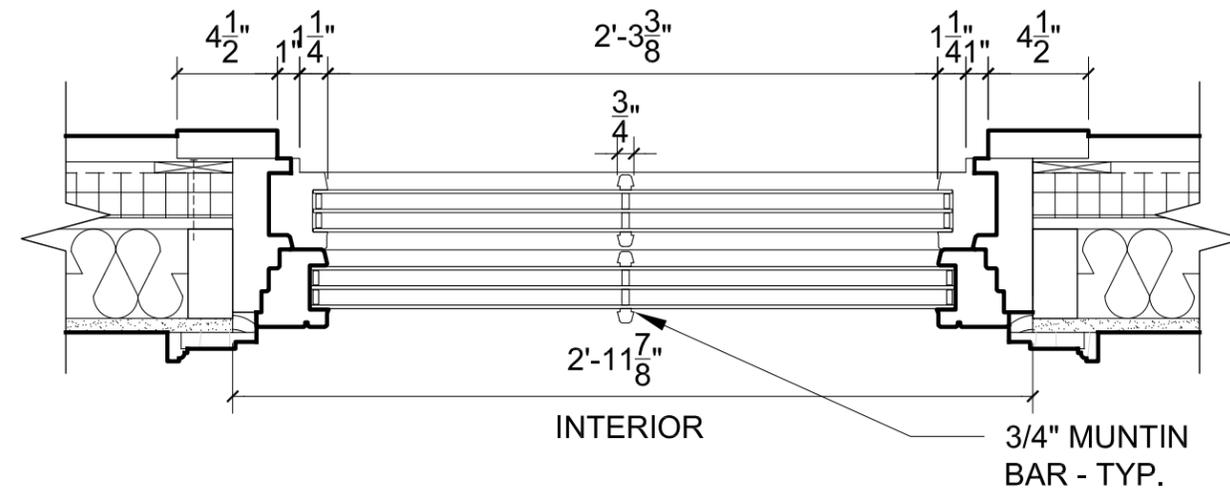
# Window Details



WINDOW FRAME DETAILED AT REPLACEMENT WINDOW



ELEVATION DETAIL AT REPLACEMENT WINDOW



MUNTIN PLAN DETAIL AT REPLACEMENT WINDOW

# Facade Color Scheme

Facade Colors from HardiePlank "The Dream Collection"



Painted HardiePlank  
Siding Color: Bluestone



Wood Trim Color:  
Oyster shell Beige



EAST ELEVATION - PROPOSED



SOUTH ELEVATION - PROPOSED

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