

The current proposal is:

Preservation Department – Item 11. LPC-21-00050

**130 West 42nd Street – Bush Tower – Individual Landmark,
Borough of Manhattan**

How to Testify Via Zoom:

<https://us02web.zoom.us/j/87295131867?pwd=UFpLRGxVNy90eDVBNGgvUE9NMkhwQT09>

Webinar ID: 872 9513 1867

Password: 866444

By Phone: 1 646-558-8656

US (New York) 877-853-5257 (Toll free)

US 888 475 4499 (Toll free)

Note: If you want to testify on an item, join the Zoom webinar at the agenda’s “Be Here by” time (about an hour in advance). When the Chair indicates it’s time to testify, “raise your hand” via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.

BUSH TOWER

ROOF REPLACEMENT

130 WEST 42ND STREET NEW YORK NY 10036

- › Energy Code NYC Inspections
- › IAS Accredited Special Inspection Agency
- › LL 11/98 Inspections/Reports
- › Exterior Façade Restoration
- › Landmark Restoration & Historic Preservation
- › Roofing & Waterproofing
- › Building Additions/Alterations
- › Apartment Alterations, Alteration Reviews
- › Window & Door Replacement
- › New Construction
- › Comprehensive Renovations
- › Structural Design
- › Structural Repairs & Solutions, Failure Analysis
- › Emergency A/E Consulting
- › LEED & Sustainable Construction

- › Landmark Restoration & Historic Preservation
- › Roofing & Waterproofing
- › Building Additions/Alterations
- › Apartment Alterations, Alteration Reviews
- › Window & Door Replacement
- › New Construction
- › Comprehensive Renovations
- › Structural Design
- › Structural Repairs & Solutions, Failure Analysis
- › Emergency A/E Consulting
- › LEED & Sustainable Construction

BUSH TOWER, LOCATION

Home

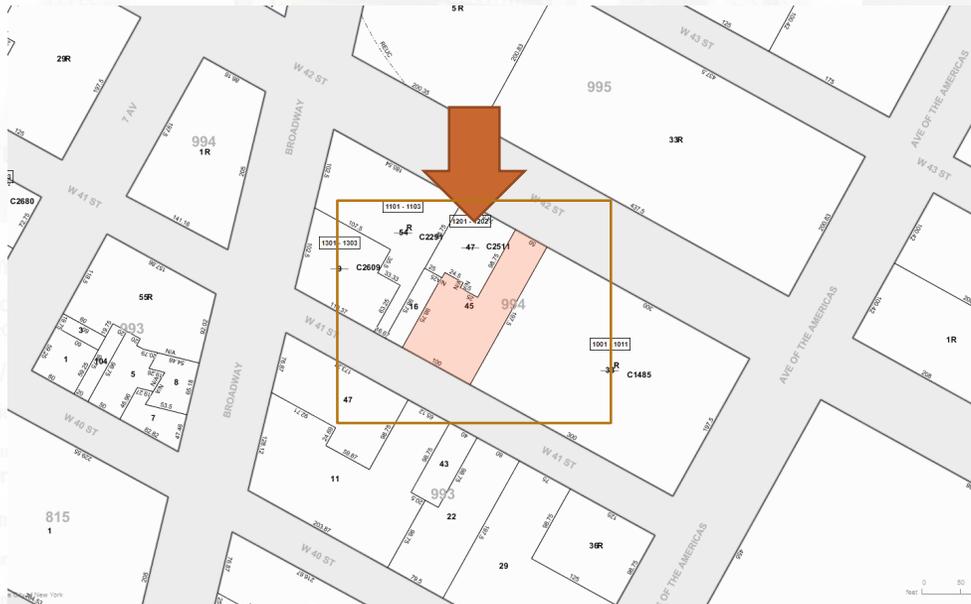
About us

Portfolio

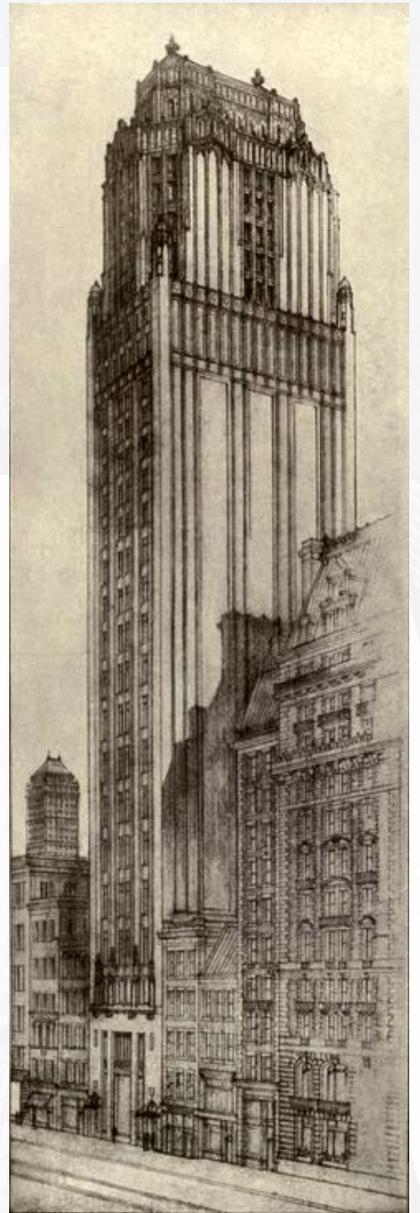
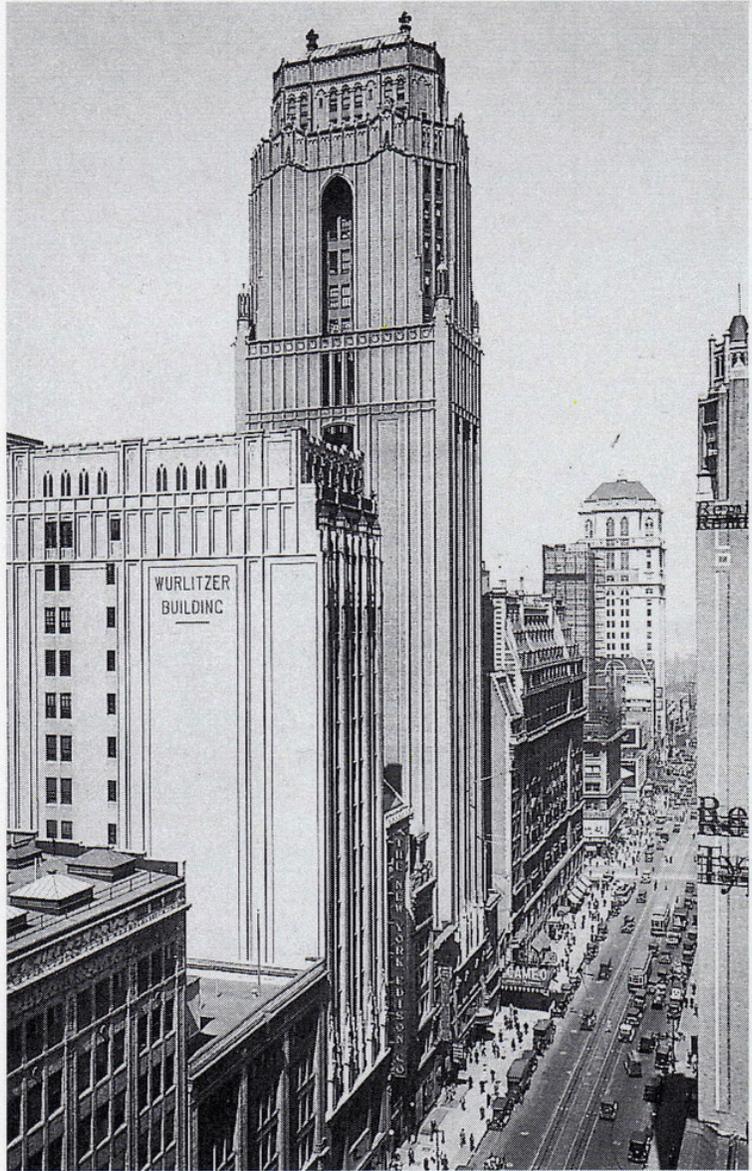
Our Expertise

Certifications and Awards

Contact



HISTORIC IMAGES



CURRENT PHOTOS

Home

About us

Portfolio

Our Expertise

Certifications and Awards

Contact

Home

About us

Portfolio

Our Expertise

Certifications and Awards

Contact



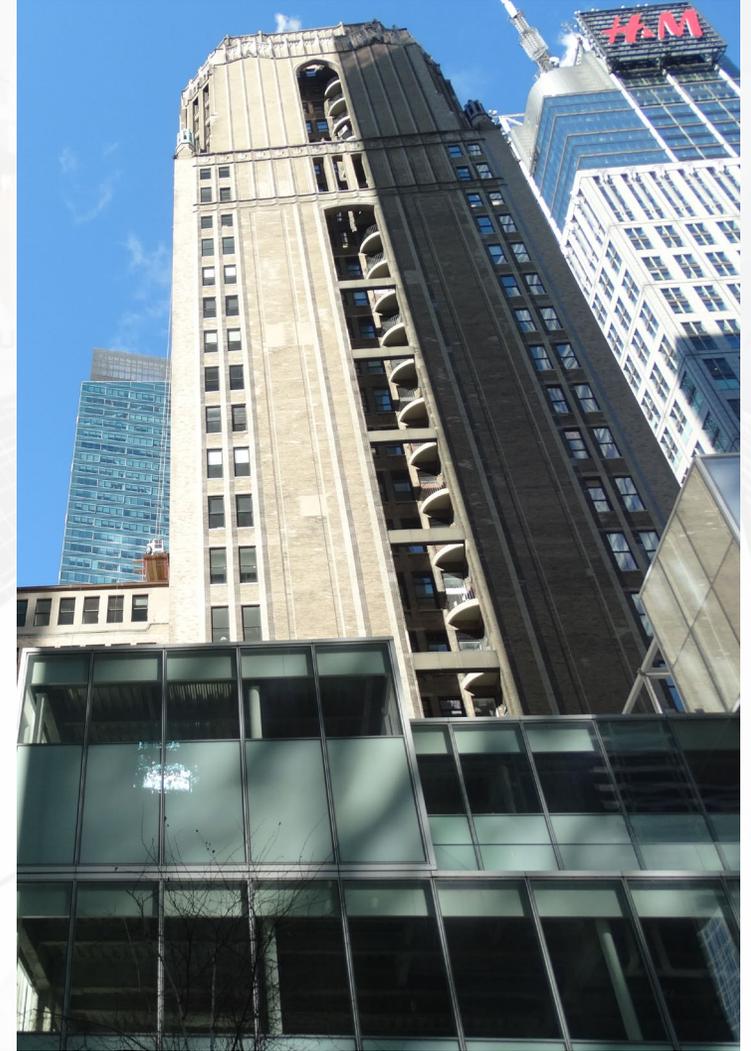
North Elevation



South Elevation



NE Corner

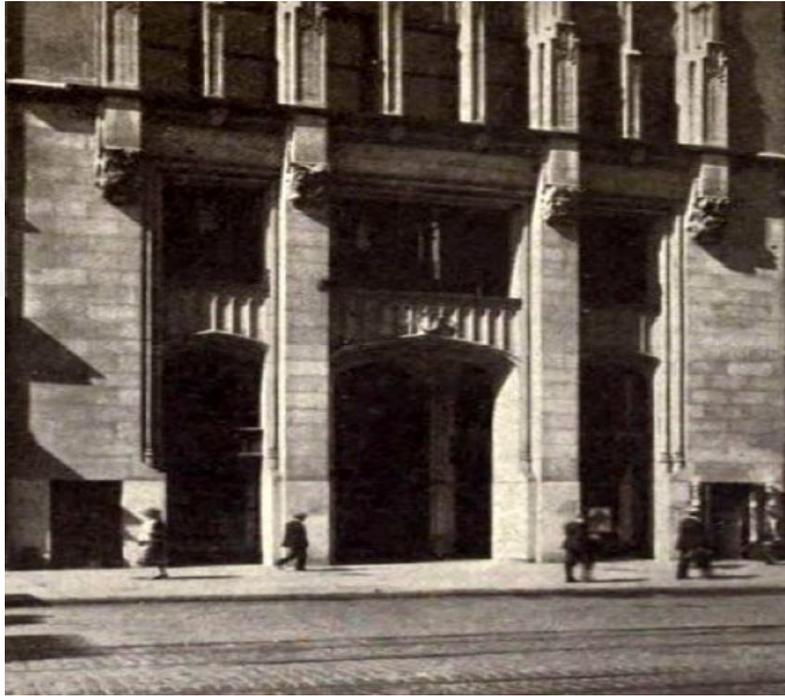


East Elevation

Emergency 911 Compliance
LEED & Sustainable Construction

LEED & Sustainable Construction

BUILDING RENOVATION & RESTORATION



42nd Street Storefront
(circa 1918)



42nd Street Storefront
(2011)



42nd Street Storefront (after
restoration)

- Window & Door Replacement
- New Construction
- Comprehensive Renovations
- Structural Design
- Structural Repairs & Solutions, Failure Analysis
- Emergency A/E Consulting
- LEED & Sustainable Construction

- Window & Door Replacement
- New Construction
- Comprehensive Renovations
- Structural Design
- Structural Repairs & Solutions, Failure Analysis
- Emergency A/E Consulting
- LEED & Sustainable Construction

MASONRY REPAIR & RESTORATION (2012-16)



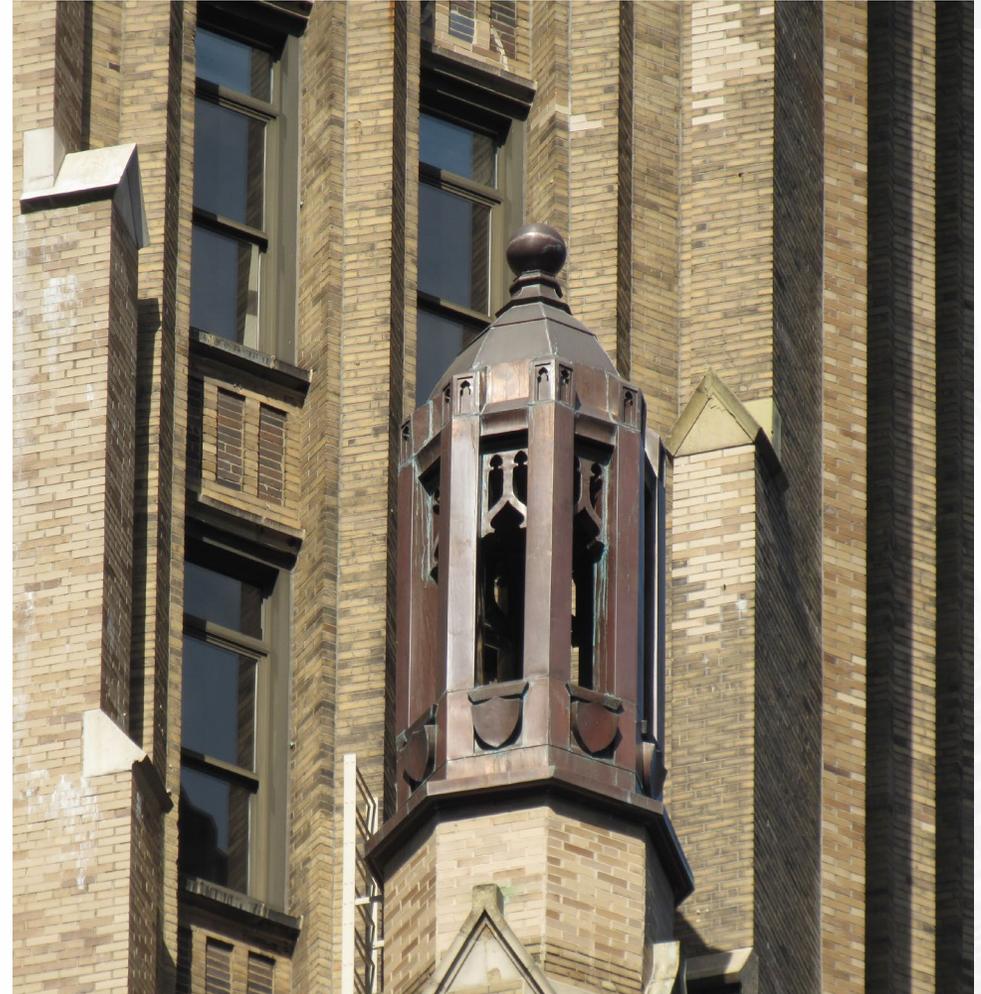
COPPER URN RECONSTRUCTION (2012-2016)



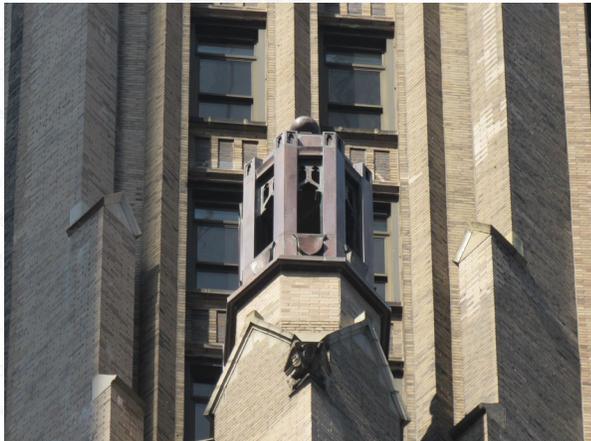
NW Corner



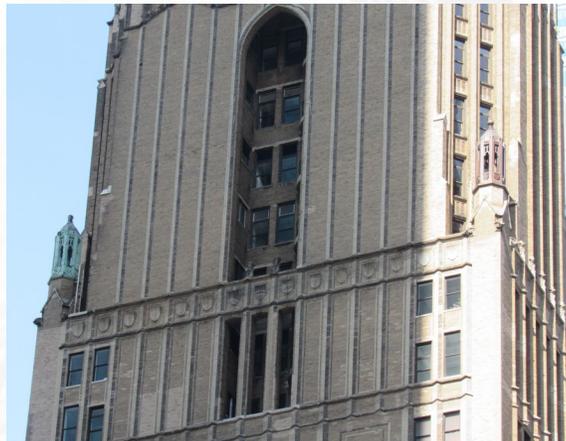
North Elevation



NE Corner



NE Corner



East Elevation

LOCATIONS AT STREET LEVEL WITH PARTIAL ROOF VIEW



PHOTO LOCATION



- Energy Code NYC Inspections
- IAS Accredited Special Inspection Agency
- LL 11/98 Inspections/Reports
- Exterior Façade Restoration
- Landmark Restoration & Historic Preservation
- Roofing & Waterproofing
- Building Additions/Alterations
- Apartment Alterations, Alteration Reviews
- Window & Door Replacement
- New Construction
- Comprehensive Renovations
- Structural Design
- Structural Repairs & Solutions, Failure Analysis
- Emergency A/E Consulting
- LEED & Sustainable Construction

LOCATIONS AT STREET LEVEL WITH PARTIAL ROOF VIEW

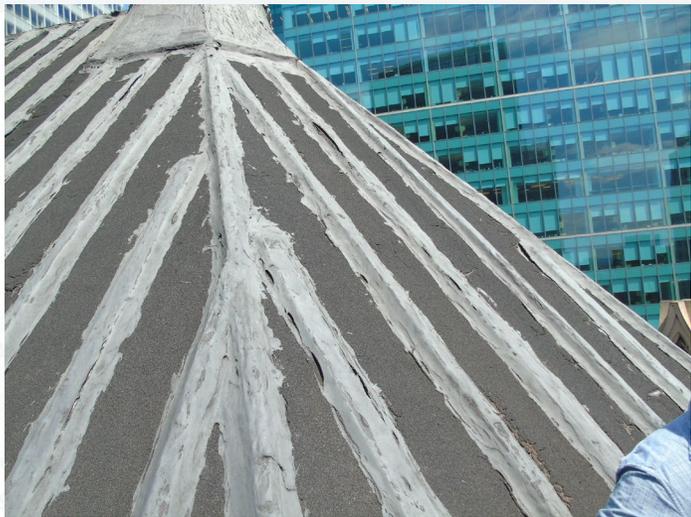


PHOTO LOCATION



- Energy Code NYC
- IAS Accredited Special Inspection Agency
- LL 11/98 Inspections/Reports
- Exterior Façade Restoration
- Landmark Restoration & Historic Preservation
- Roofing & Waterproofing
- Building Additions/Alterations
- Apartment Alterations, Alteration Reviews
- Window & Door Replacement
- New Construction
- Comprehensive Renovations
- Structural Design
- Structural Repairs & Solutions, Failure Analysis
- emergency A/E Consulting
- LEED & Sustainable Construction

ROOF EXISTING CONDITIONS



Ex. copper roof covered with modified bitumen membrane.



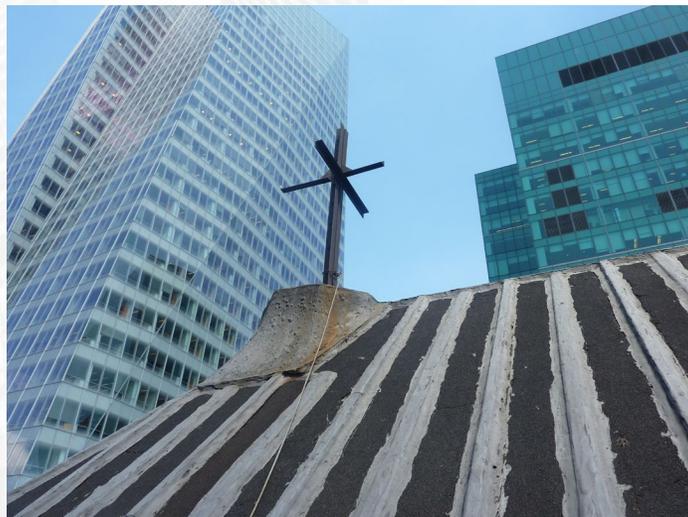
South end of the roof. Ex. fleur-de-lis base covered with bitumen flashing.



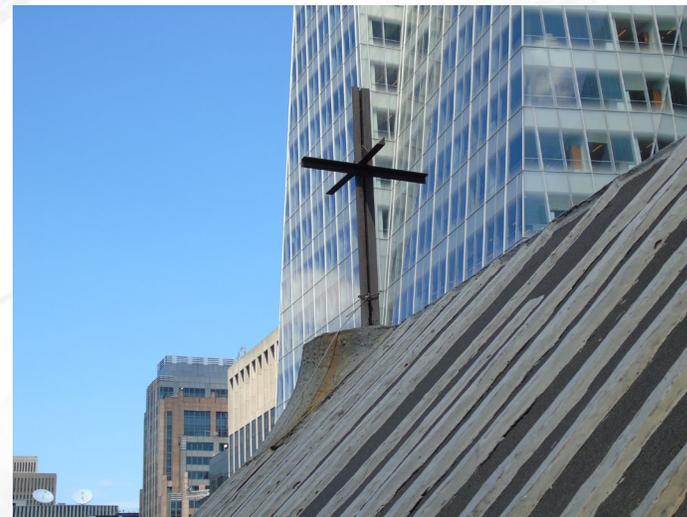
Roof East elevation and access hatch.



Roof West elevation and covered skylight.

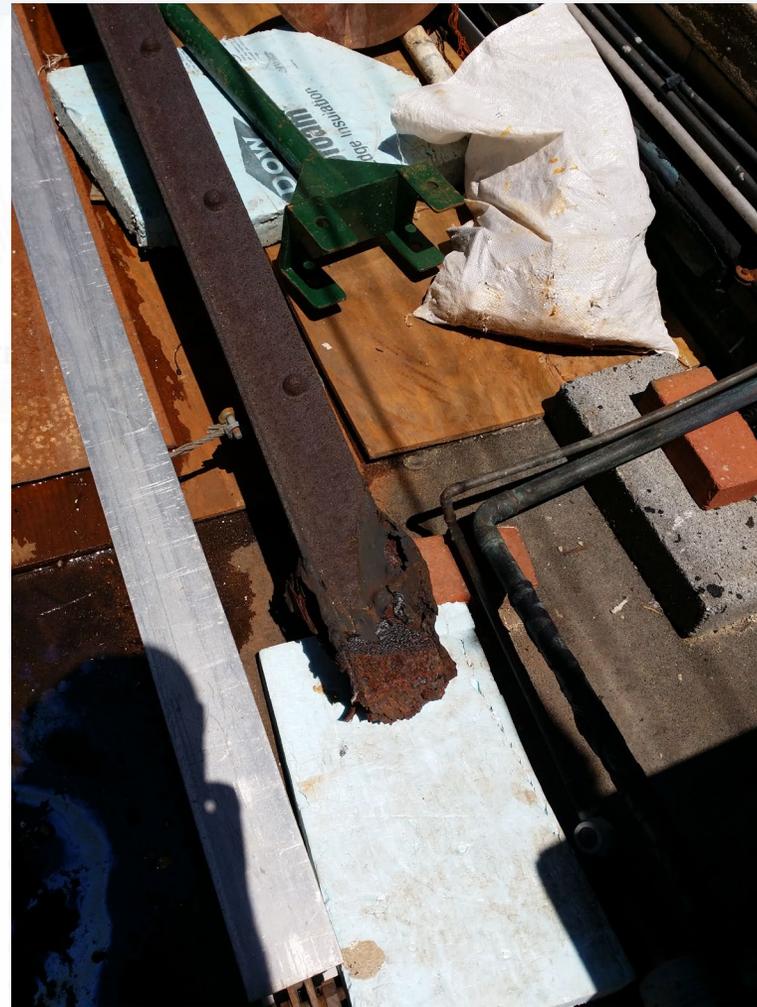


Roof North End. Remnants of the steel fleur-de-lis armature.



Roof North End. Remnants of the steel fleur-de-lis armature.

CORRODED FLEUR-DE-LIS ARMATURE



Remnants of fleur-de-lis steel armature lowered to 28th fl. setback roof after armature collapse from South end of the main roof.

Corroded bottom end of the steel armature, close-up.



- Energy Code NYC Inspections
- IAS Accredited Special Inspection Agency
- LL 11/98 Inspections/Reports
- Exterior Façade Restoration
- Landmark Restoration & Historic Preservation
- Roofing & Waterproofing
- Building Additions/Alterations
- Apartment Alterations, Alteration Reviews
- Window & Door Replacement
- New Construction
- Comprehensive Renovations
- Structural Design
- Structural Repairs & Solutions, Failure Analysis
- Emergency R/E Consulting
- LEED & Sustainable Construction

- Structural Repairs & Solutions, Failure Analysis
- Emergency R/E Consulting
- LEED & Sustainable Construction

ROOF PROBES AND CONDITIONS



Probe at roof membrane: Existing concrete deck exposed on the right, ex. copper roof covered with modified bitumen membrane on the left.



Deteriorated wood batten, copper roofing disintegrated, gap in bitumen membrane & flashing.

- Energy Code NYC
- IAS Accredited Sp Inspection Agency
- LL 11/98 Inspecti
- Exterior Façade R
- Landmark Restora Preservation
- Roofing & Waterp
- Building Addition
- Apartment Alterations, Alteration Reviews
- Window & Door Replacement
- New Construction
- Comprehensive Ren
- Structural Design
- Structural Repairs & Solutions, Failure Analysis
- emergency A/E Consulting
- LEED & Sustainable Construction

- Apartment Alterations, Alteration Reviews
- Window & Door Replacement
- Comprehensive Renovations
- Structural Design
- Structural Repairs & Solutions, Failure Analysis
- Emergency A/E Consulting
- LEED & Sustainable Construction

PROPOSED ROOFING MATERIAL



Modified bitumen base ply, torch applied.

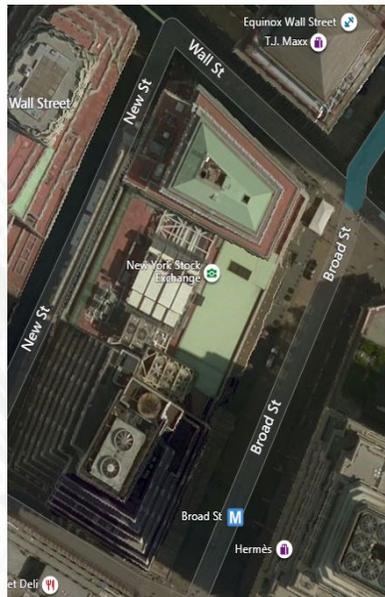
PMMA Resin, liquid applied, fleece reinforced - second ply.

Patina Green color resin coating – final coat.

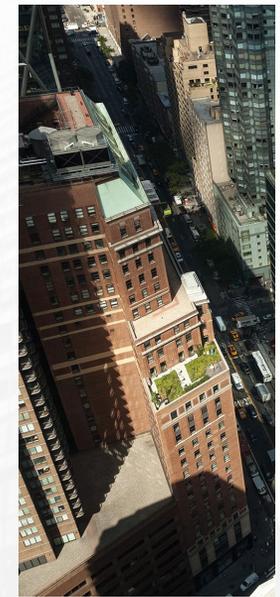
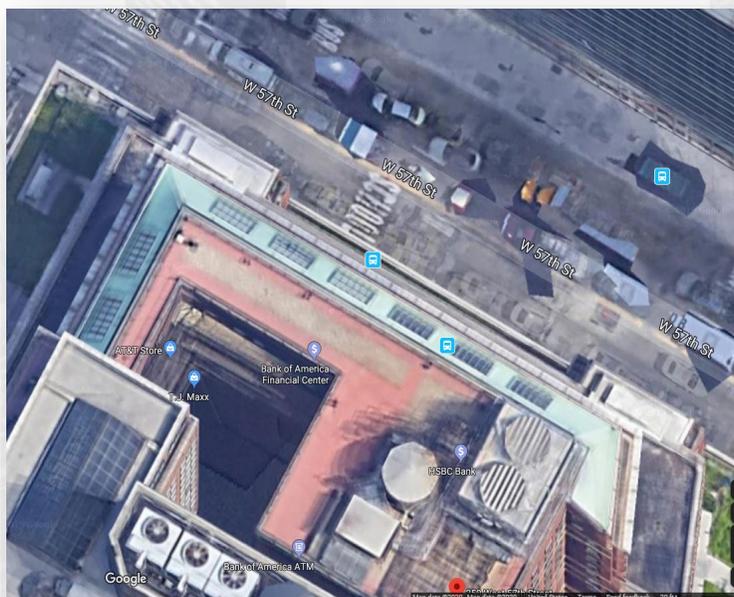
SELECTION CRITERIA AND APPROPRIATENESS

- Roof is located approx. 400 ft above sidewalk
- Roof is only minimally visible from any public vantage points. These being distant sidewalk locations East and West.
- High wind uplift ratings superior to conventional copper roof.
- Reinforced liquid application is safe to install at this height, working in steeply sloped confined space.
- Eliminates wait for patina to naturally occur over the years. Will look like patinaed copper roof once installed.
- 20 year manufacturer's warranty available.
- Has been previously successfully installed at historic building(s) in NYC (w/o battens).

New York Stock Exchange (lower roof)



250 West 57th Street (not a landmark)



EXISTING AND PROPOSED ROOF

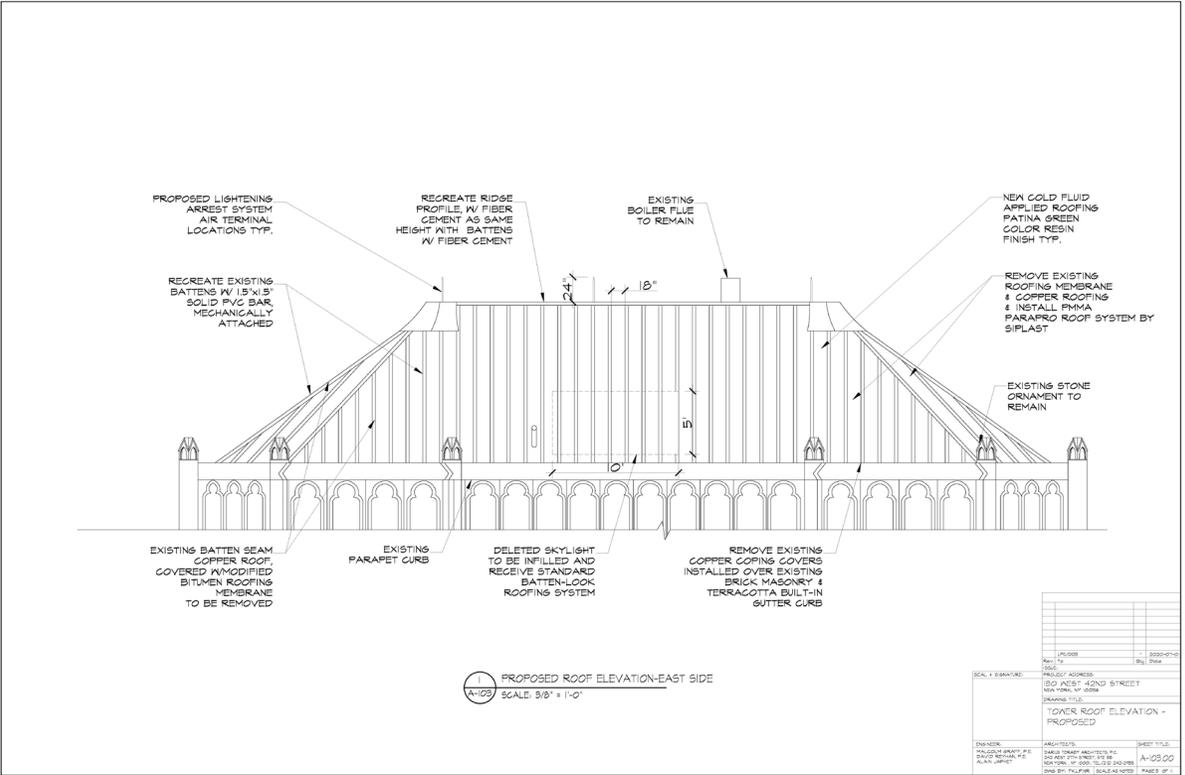
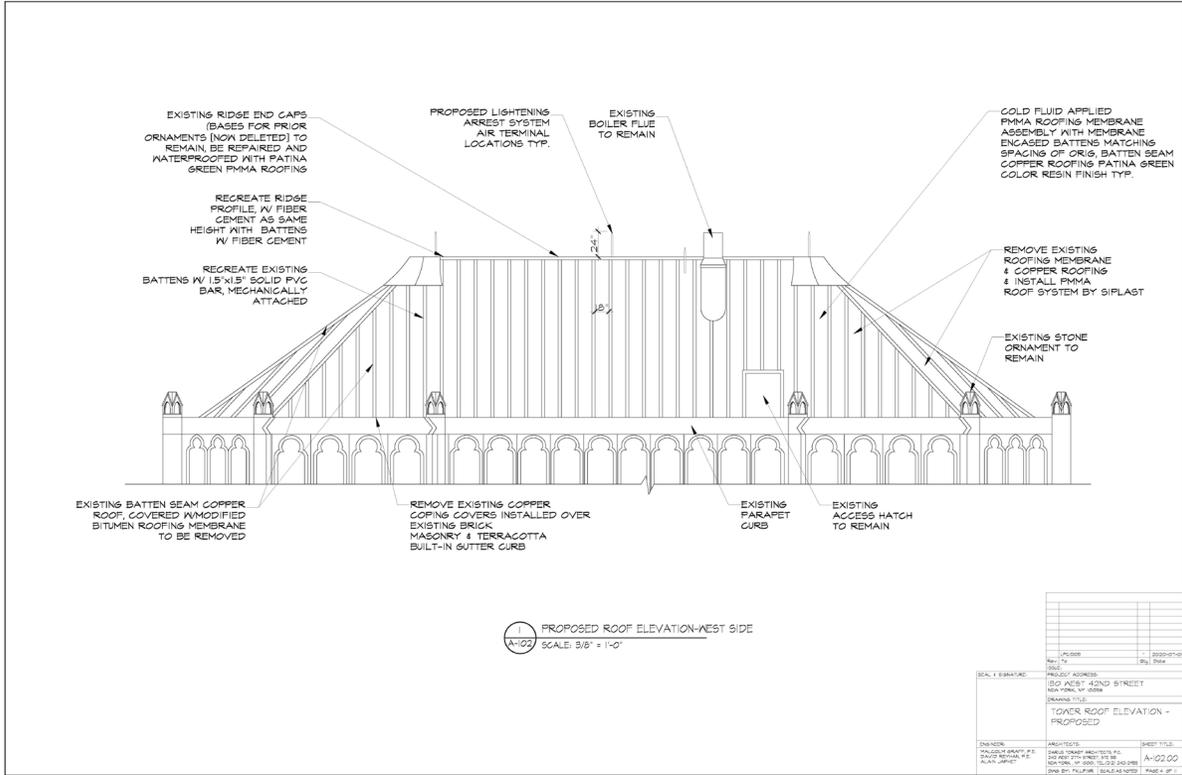


Photo c. (2006-2007) provided by LPC.



Proposed roof with PMMA patina green membrane.

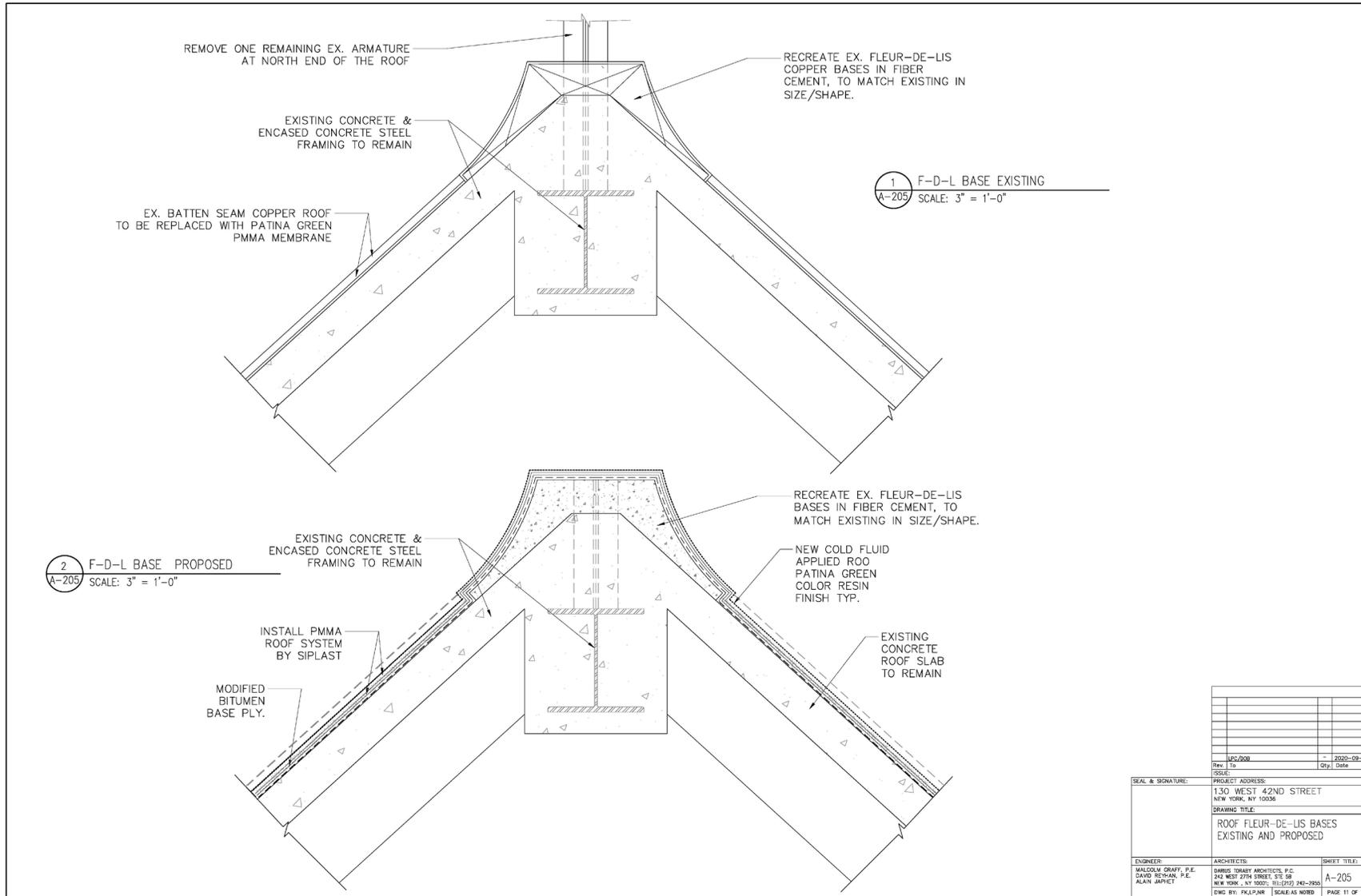
PROPOSED ELEVATIONS



- Comprehensive Renovations
- Structural Design
- Structural Repairs & Solutions, Failure Analysis
- Emergency A/E Consulting
- LEED & Sustainable Construction

- Comprehensive Renovations
- Structural Design
- Structural Repairs & Solutions, Failure Analysis
- Emergency A/E Consulting
- LEED & Sustainable Construction

PROPOSED DETAILS



PROJECT ADDRESS:	130 WEST 42ND STREET NEW YORK, NY 10036
DRAWING TITLE:	ROOF FLEUR-DE-LIS BASES EXISTING AND PROPOSED
ENGINEER:	MALCOLM GRAFF, P.E. DAVID ROSEMAN, P.E. ALAN JAPHET
ARCHITECTS:	DARIUS TORABY ARCHITECTS, P.C. 245 WEST 27TH STREET, 5TH FL NEW YORK, NY 10001; TEL: (212) 242-2855
SHEET TITLE:	A-205
DWG BY:	FK/AP/HR
SCALE:	AS NOTED
PAGE:	11 OF 11

The current proposal is:

Preservation Department – Item 11. LPC-21-00050

**130 West 42nd Street – Bush Tower – Individual Landmark,
Borough of Manhattan**

How to Testify Via Zoom:

<https://us02web.zoom.us/j/87295131867?pwd=UFpLRGxVNy90eDVBNGgvUE9NMkhwQT09>

Webinar ID: 872 9513 1867

Password: 866444

By Phone: 1 646-558-8656

US (New York) 877-853-5257 (Toll free)

US 888 475 4499 (Toll free)

Note: If you want to testify on an item, join the Zoom webinar at the agenda’s “Be Here by” time (about an hour in advance). When the Chair indicates it’s time to testify, “raise your hand” via the Zoom app if you want to speak (*9 on the phone). Those who signed up in advance will be called first.