

W Hotel Union Square

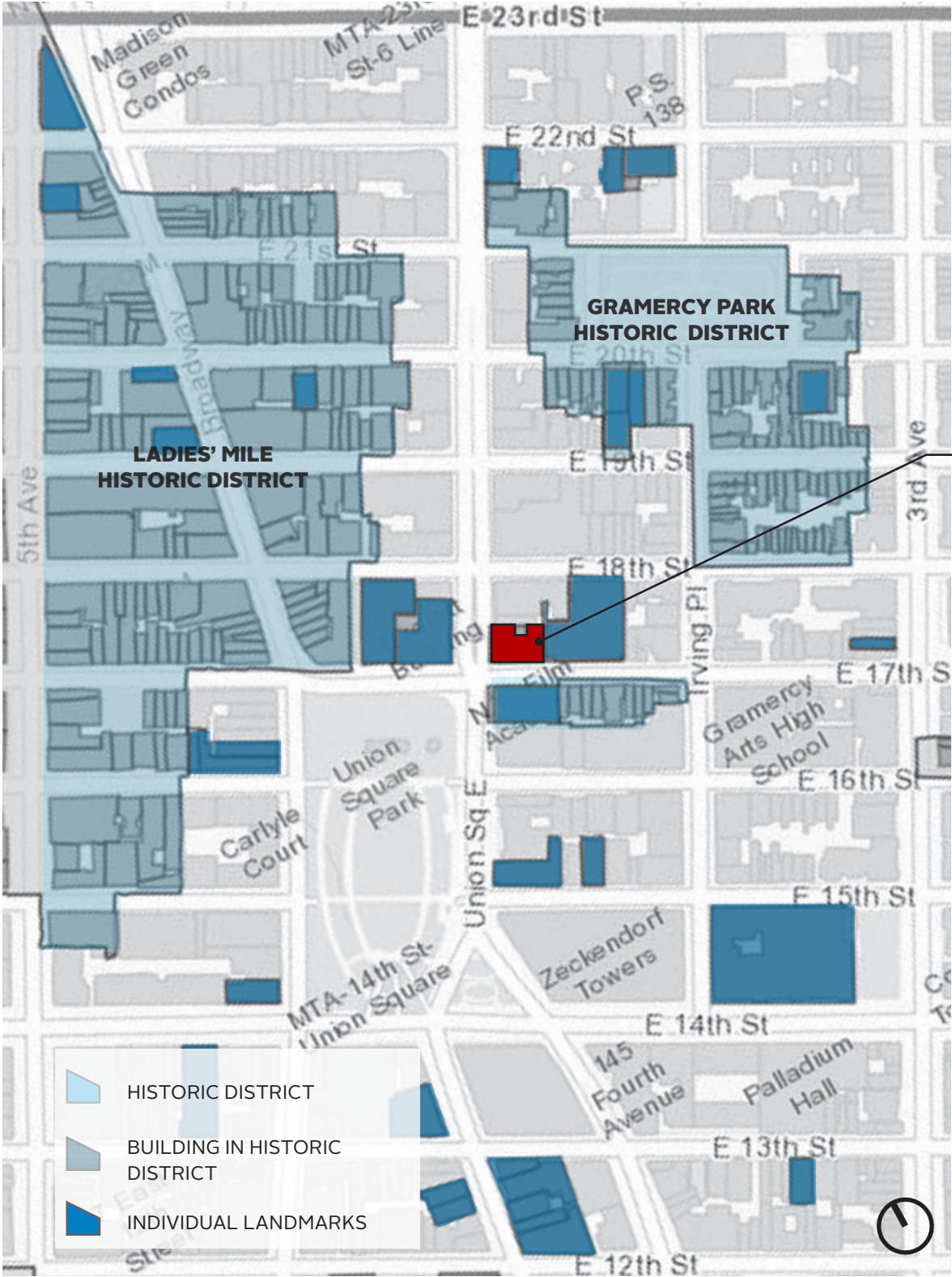
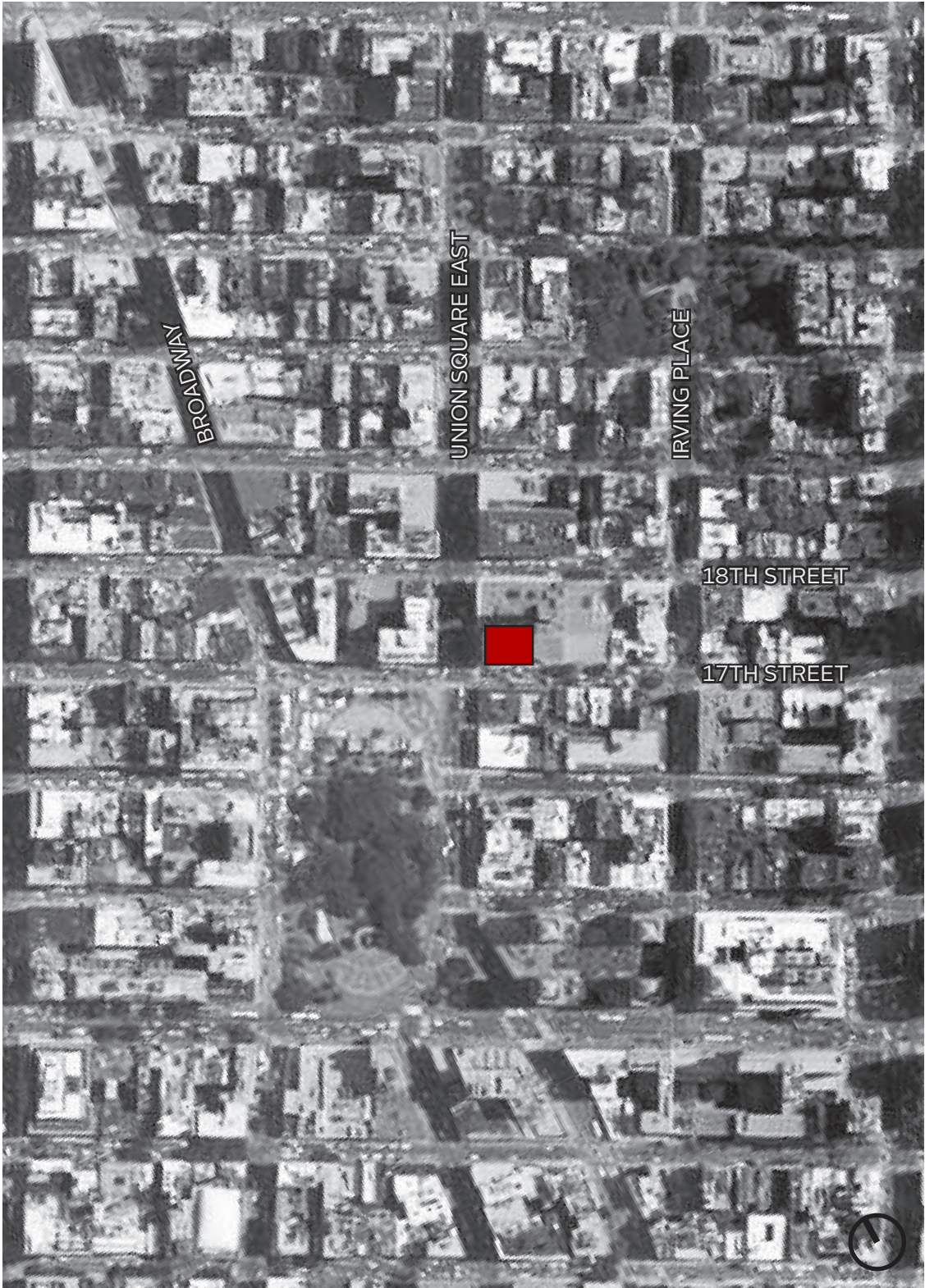
PRESENTATION TO
LANDMARKS PRESERVATION COMMISSION
AUGUST 25, 2020

BEYER
BLINDER
BELLE



1.BACKGROUND

- 1A SITE INFORMATION
- 1B CONSTRUCTION & HISTORICAL CONTEXT
- 1C ALTERATIONS OVER TIME



**W HOTEL
UNION
SQUARE**
INDIVIDUAL LANDMARK
(1988)

1B **TIMELINE: 1910-1911**



C. 1910 (NYPL)



1911 (LIBRARY OF CONGRESS)

D'OENCH & YOST
(ARCHITECT)

1910-1911
DESIGN &
CONSTRUCTION

1918
NAME CHANGED
TO GUARDIAN
LIFE INSURANCE
COMPANY

1940
REMOVAL OF
BALCONY AT 16TH
FLOOR

1957-1958
STOREFRONT
REPLACEMENT

1960-1961
ROOFTOP COOLING
TOWER ADDED; ANNEX
ADDITION BY SOM

1988
DESIGNATED A
NEW YORK CITY
LANDMARK

1999-2000
CONVERSION INTO
W HOTEL

2001
DESIGNATED
A NATIONAL
HISTORIC LANDMARK

2007
1961 EXTENSION
ANNEX DESIGNATED
A NEW YORK CITY
LANDMARK

2020 -
RENOVATION

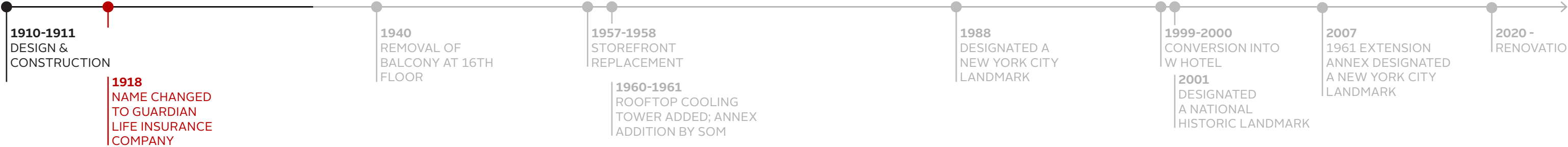
1C **TIMELINE: 1918**



1918 (LIBRARY OF CONGRESS)



1920 (NYPL)



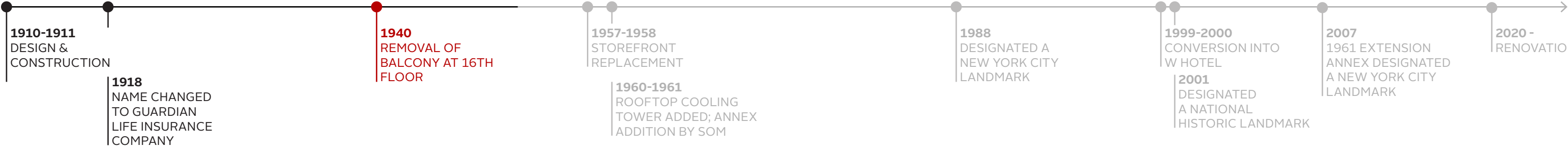
1C **TIMELINE: 1940**



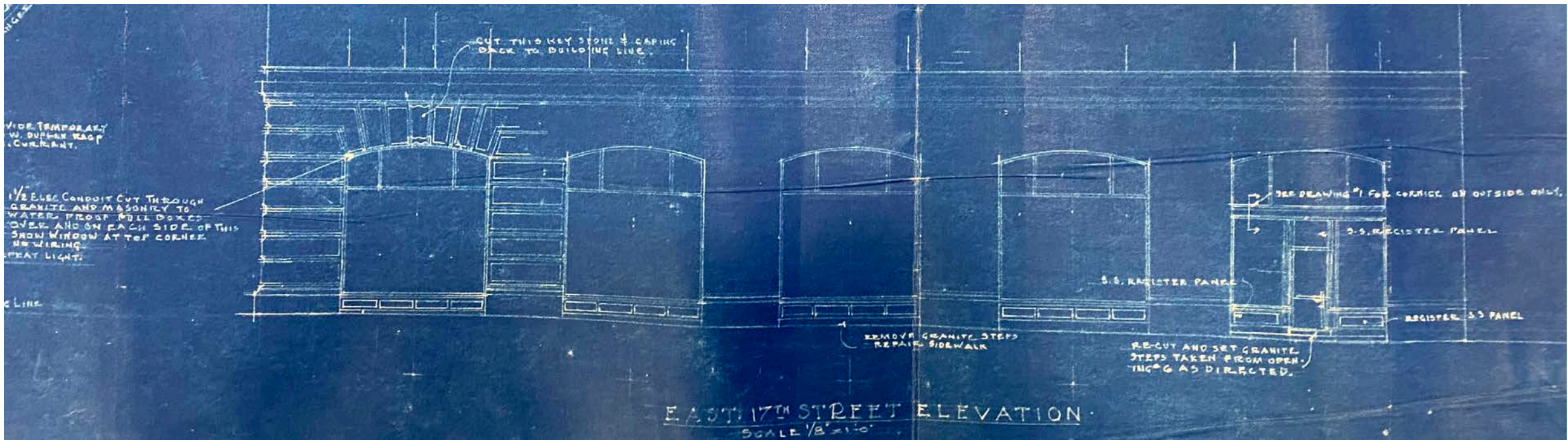
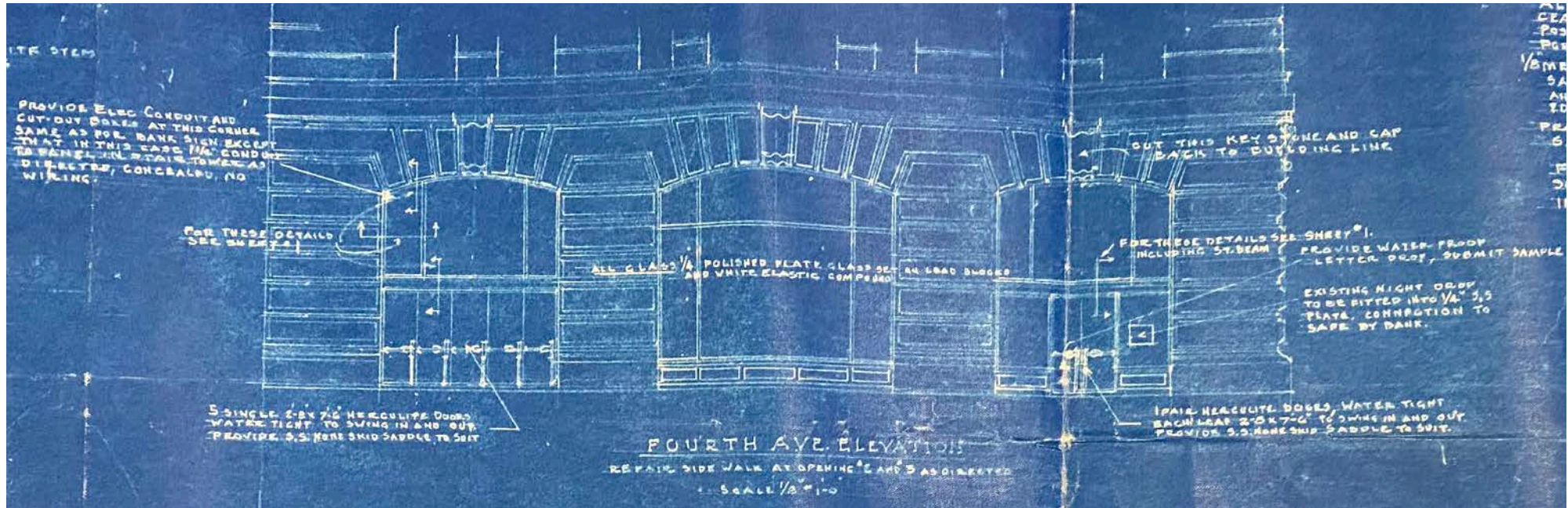
1937 (NYPL)



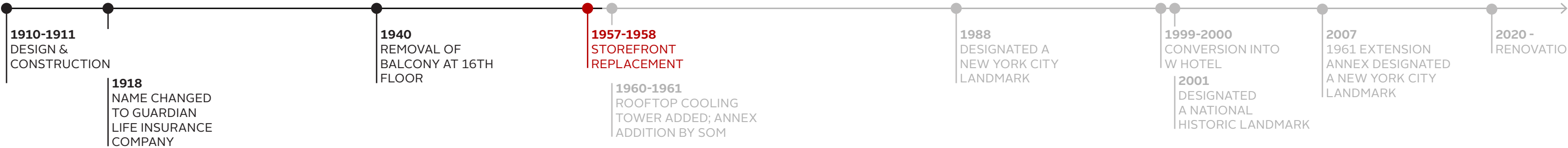
C. 1950 (NYPL)



10 **TIMELINE: 1958**



1957 ALTERATION DRAWINGS (MUNICIPAL ARCHIVES)



1C **TIMELINE: 1960-61**



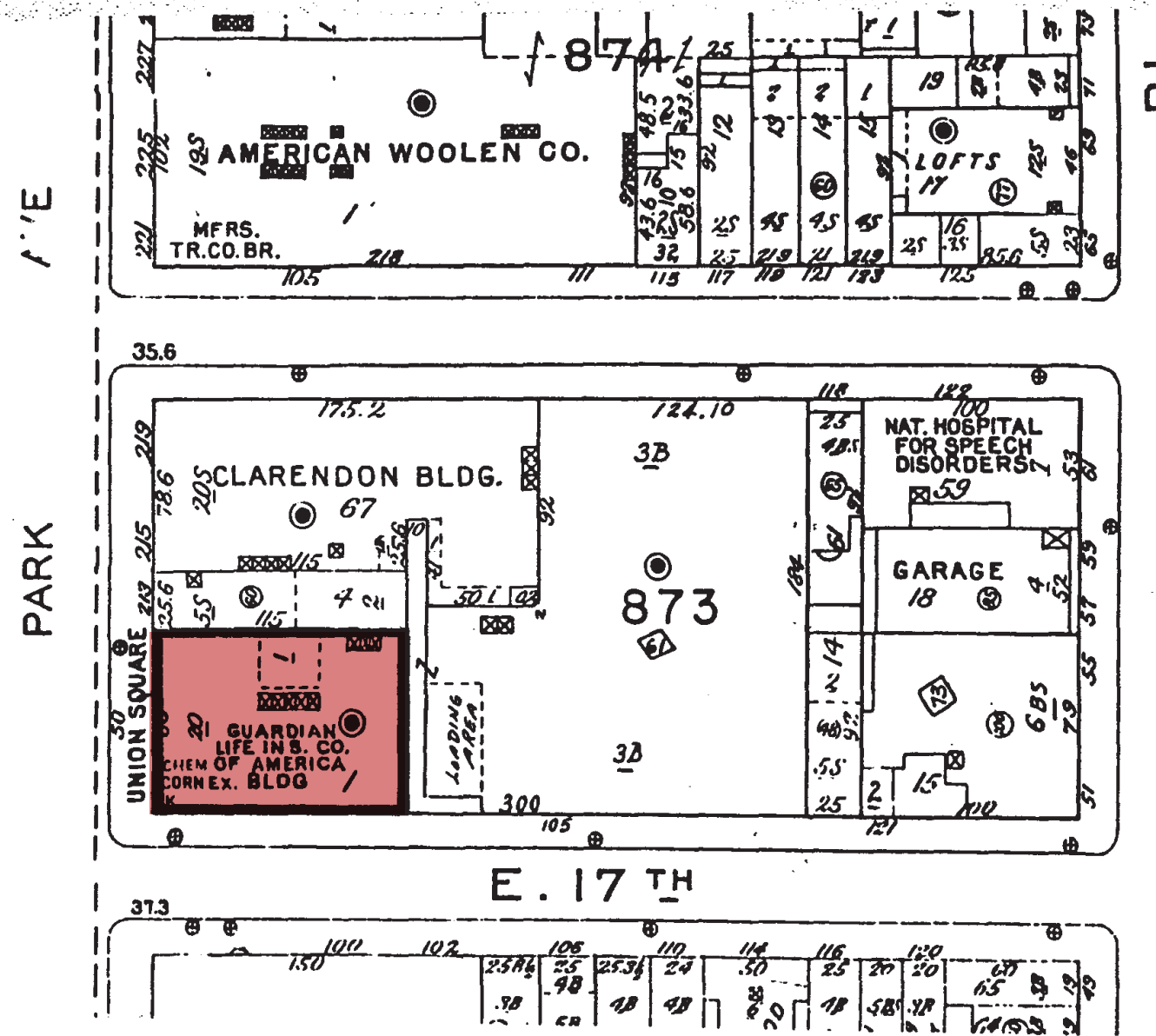
1960 ROOFTOP COOLING TOWER INSTALLATION (1988 LPC DESIGNATION REPORT)



1960 ROOFTOP COOLING TOWER INSTALLATION (1988 LPC DESIGNATION REPORT)



10 TIMELINE: 1988



The Germania Life Insurance Company Building
(now Guardian Life Building) Landmark Site

Graphic source: Sanborn Manhattan Land Book, 1987-88

Landmarks Preservation Commission
September 6, 1988; Designation List 209
LP-1541

GERMANIA LIFE INSURANCE COMPANY BUILDING (now Guardian Life Building), 50 Union Square East, Borough of Manhattan. Built 1910-11; architect, D'Oench & Yost; builder, Charles T. Wills, Inc.

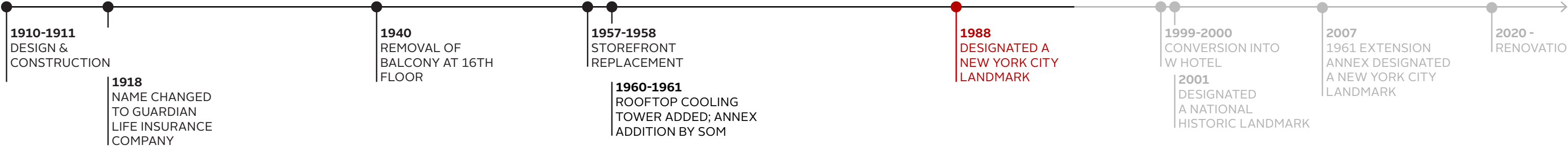
Landmark Site: Borough of Manhattan Tax Map Block 873, Lot 1 in part consisting of the western portion of the lot, which is approximately 80 feet by 115 feet, on which the described building is situated.

On May 14, 1985, the Landmarks Preservation Commission held a public hearing on the proposed designation as a Landmark of the Guardian Life Building (Item No. 7). The hearing had been duly advertised in accordance with the provisions of law. Thirty-two witnesses spoke in favor of designation; two witnesses spoke in opposition on behalf of the owner. The hearing was continued to September 17, 1985 (Item No. 2); seven witnesses spoke in favor of designation, and one witness spoke on behalf of the owner in opposition. The Commission received several letters in support of designation.

DESCRIPTION AND ANALYSIS

Summary

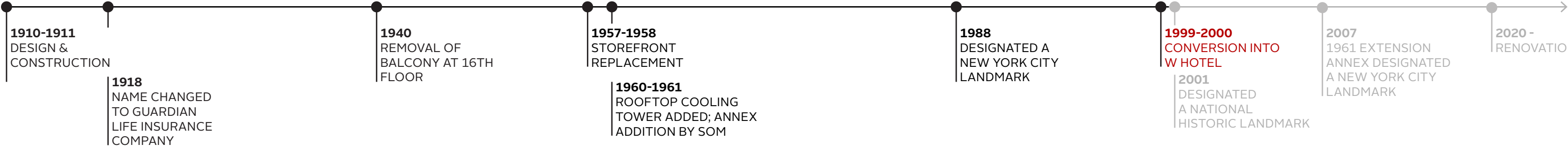
This twenty-story commercial building, crowned by an early and impressive example of modern signage, was designed by the architectural firm of D'Oench & Yost and built in 1910-11 as the national headquarters for the Germania Life Insurance Company of New York (now The Guardian Life Insurance Company of America, the continuation of the original firm). The building is a tripartite columnar skyscraper which incorporates in its design motifs from traditional European architecture, most prominently the grand four-story mansard roof with varied dormer windows. The mansard roof and other features tie the building's design to French architecture, both the Second Empire style and the modern French mode that dominated Parisian architecture of the 1890s. By employing the mansard, D'Oench & Yost alluded to a mansarded building that previously housed the company, thus continuing an architectural tradition which began around 1870 and conveyed a sound public image. The Germania Life Insurance Company Building (now Guardian Life Building) is prominently located on a corner site visible from Union Square and, together with the monumental Everett Building directly across the avenue, forms an imposing terminus to Park Avenue South.



1C **TIMELINE: 1999-2000**



- 1999 CONVERSION INTO W HOTEL
- SIGNAGE CHANGED TO **W UNION SQUARE**, MATCHING HISTORICAL SIGNAGE'S SIZE, COLOR AND TYPEFACE
 - ROOFTOP ALTERATIONS REMOVED SKYLIGHTS
 - RECONFIGURED TWO COOLING TOWERS, WATERTANKS, MEP EQUIPMENT AND STEEL DUNNAGE
 - STOREFRONT REPLACEMENT
 - MARQUEE ADDED ON PARK AVE SOUTH



1C EXISTING CONDITIONS



VIEW FROM UNION SQUARE NORTH (2020)



VIEW FROM UNION SQUARE, SOUTH ELEVATION OF ROOF (2020)

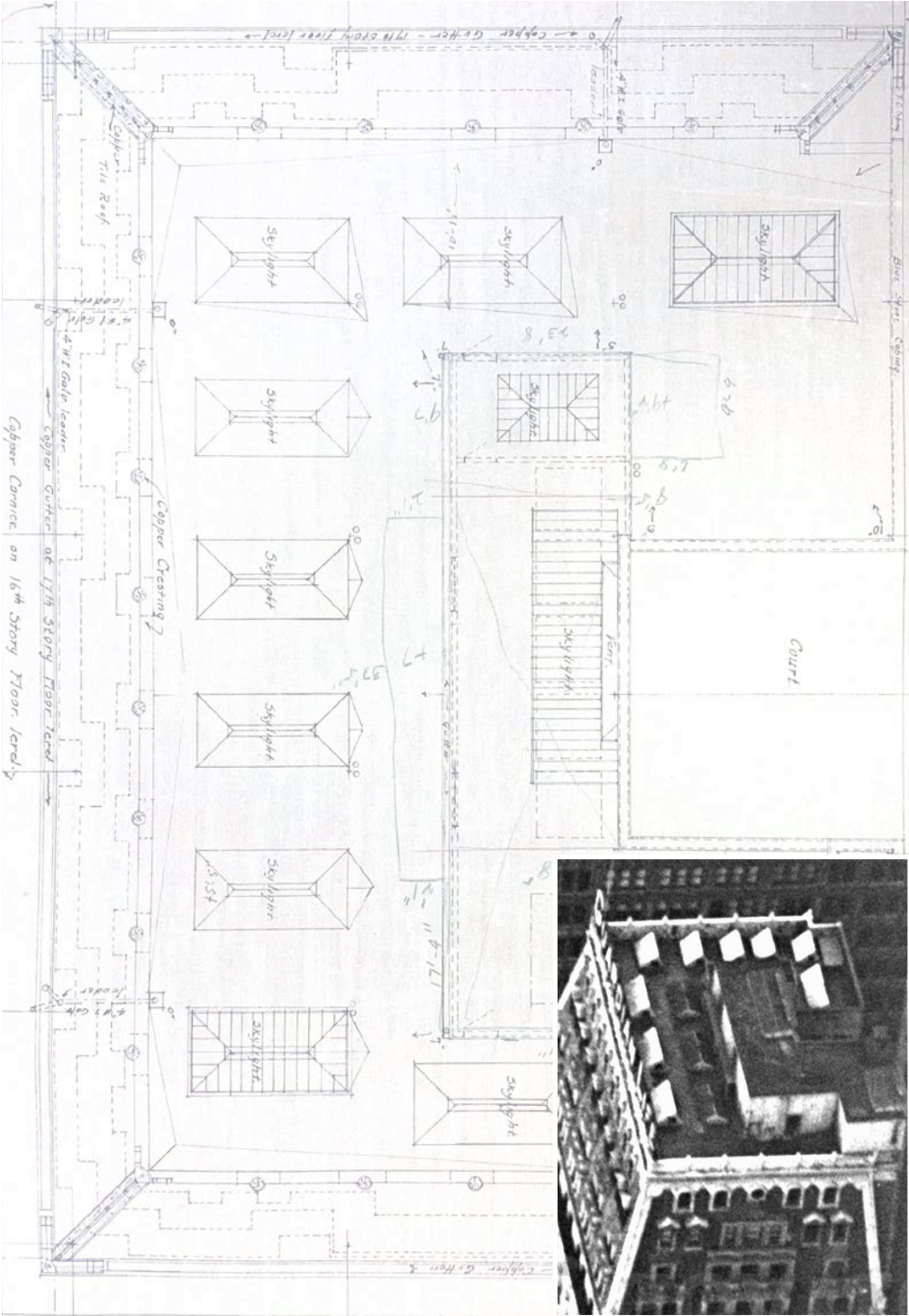


VIEW FROM UNION SQUARE, EAST ELEVATION OF ROOF (2020)

2.PROPOSED ALTERATIONS: ROOFTOP

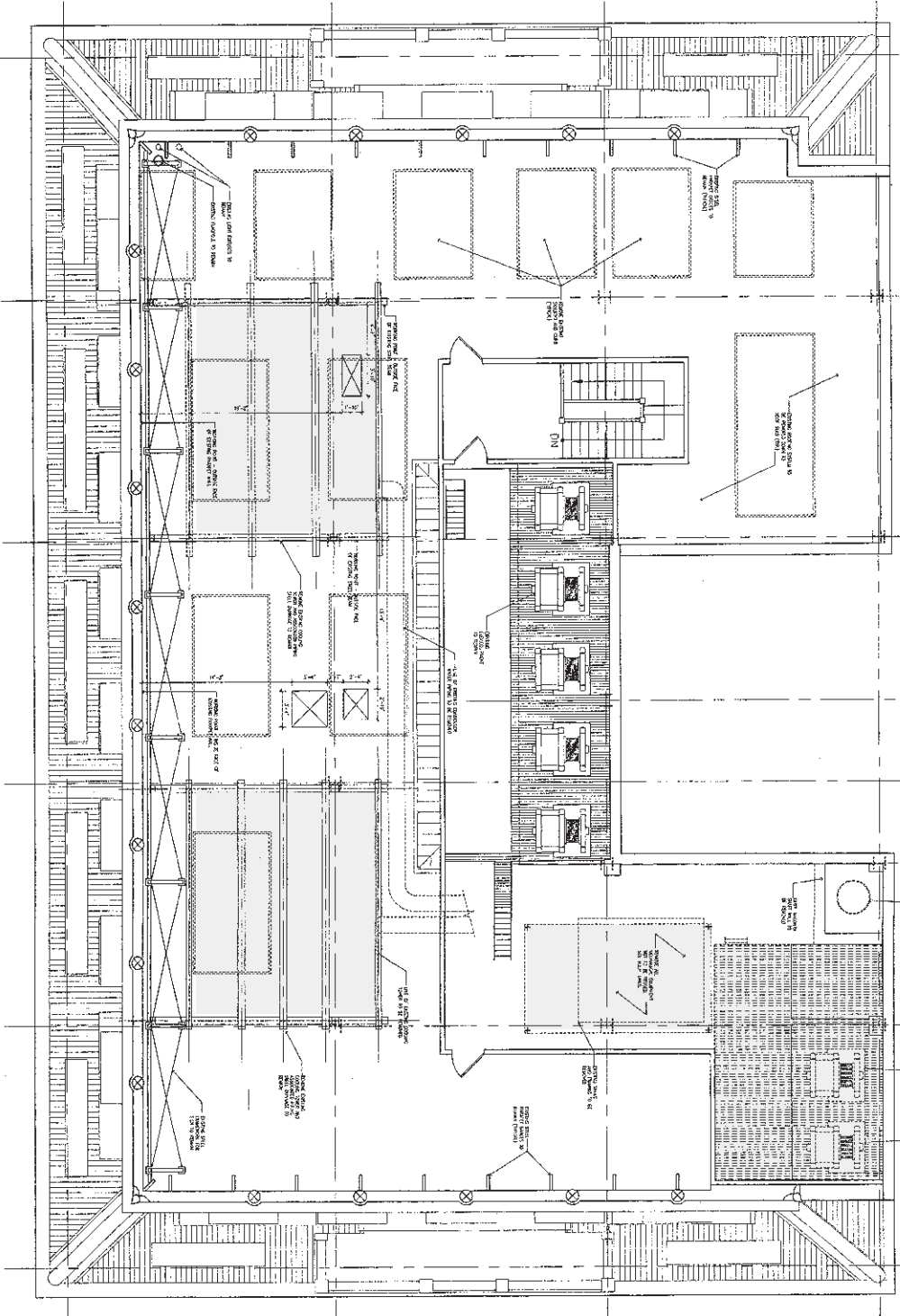
- 2A HISTORICAL CONTEXT
- 2B EXISTING CONDITIONS
- 2C PROPOSED CHANGES
- 2D SEASONAL STRUCTURE

2A HISTORIC CONDITIONS: ROOFTOP EVOLUTION

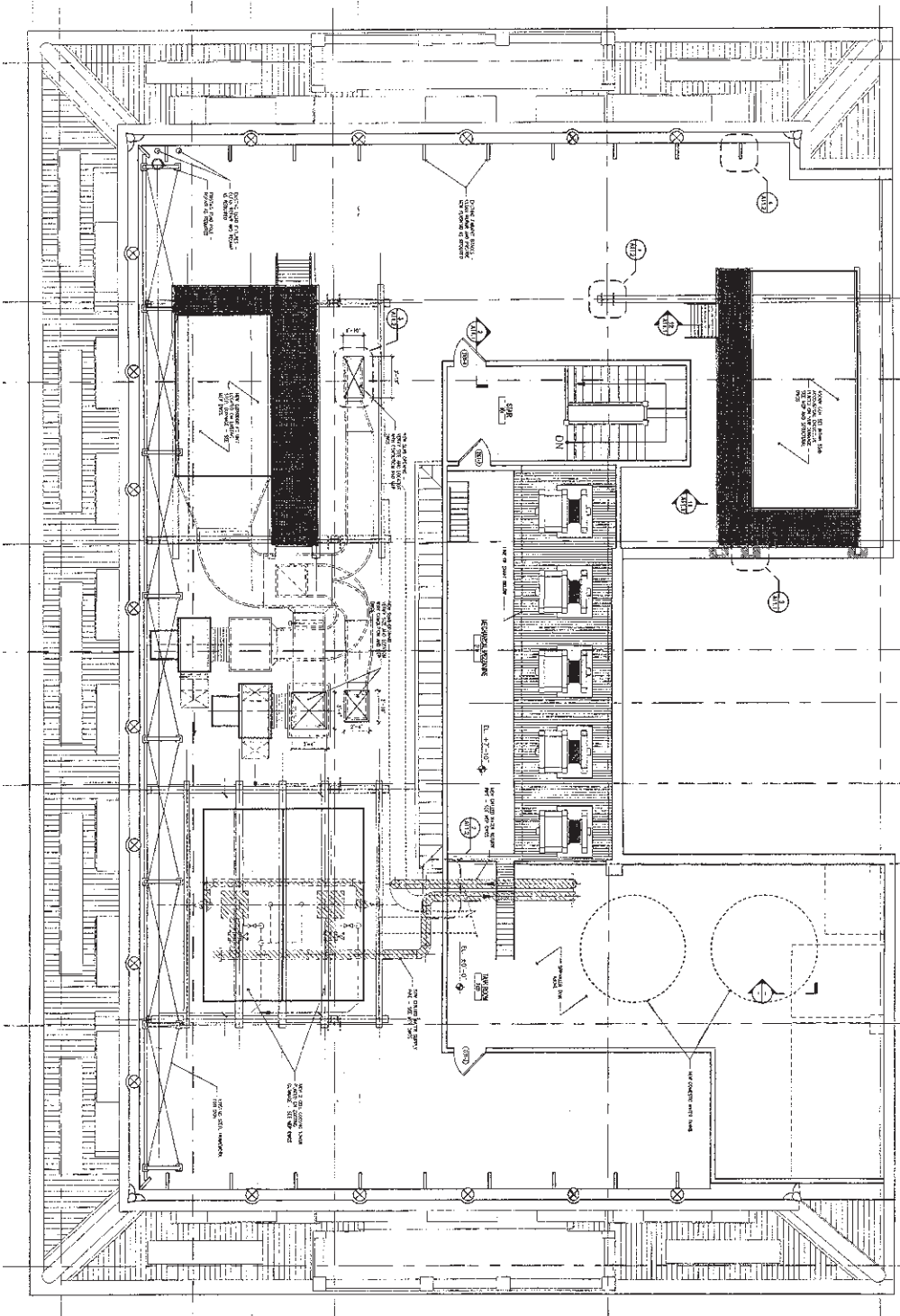


ORIGINAL ROOF PLAN (1910)

EXECUTED ROOFTOP DESIGN (1934)



ROOFTOP CONDITIONS (1960-1999)



ROOFTOP CONDITIONS (1999-CURRENT)

2A HISTORIC & EXISTING CONDITIONS: BULKHEAD/EQUIPMENT VISIBILITY



STREET VIEW FROM UNION SQUARE (1928)



STREET VIEW FROM UNION SQUARE (1976)



STREET VIEW FROM UNION SQUARE (2020)

2A PRECEDENTS: HISTORIC HOTEL ROOFTOP GARDENS



HOTEL ASTOR ROOFTOP GARDEN, 1919 (MCNY)

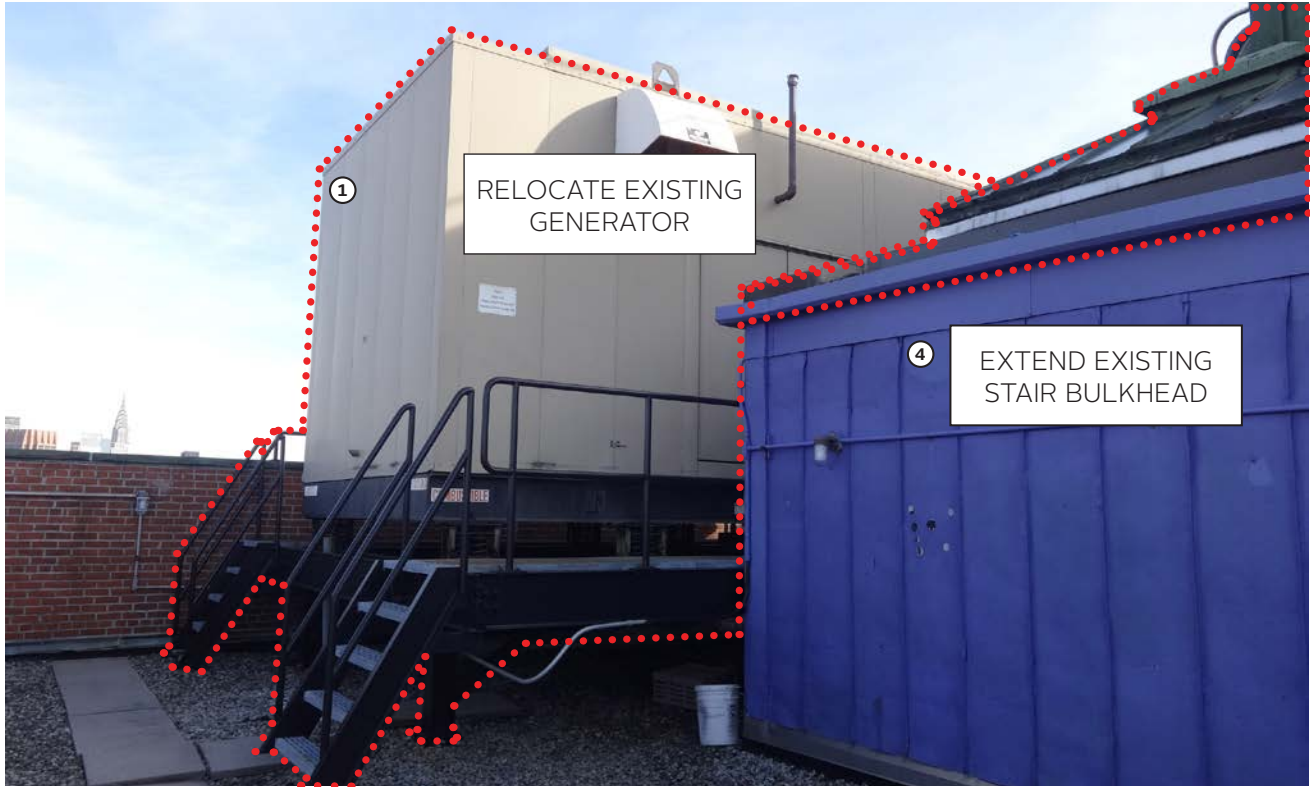


BILTMORE HOTEL ROOFTOP GARDEN, 1913 (MCNY)



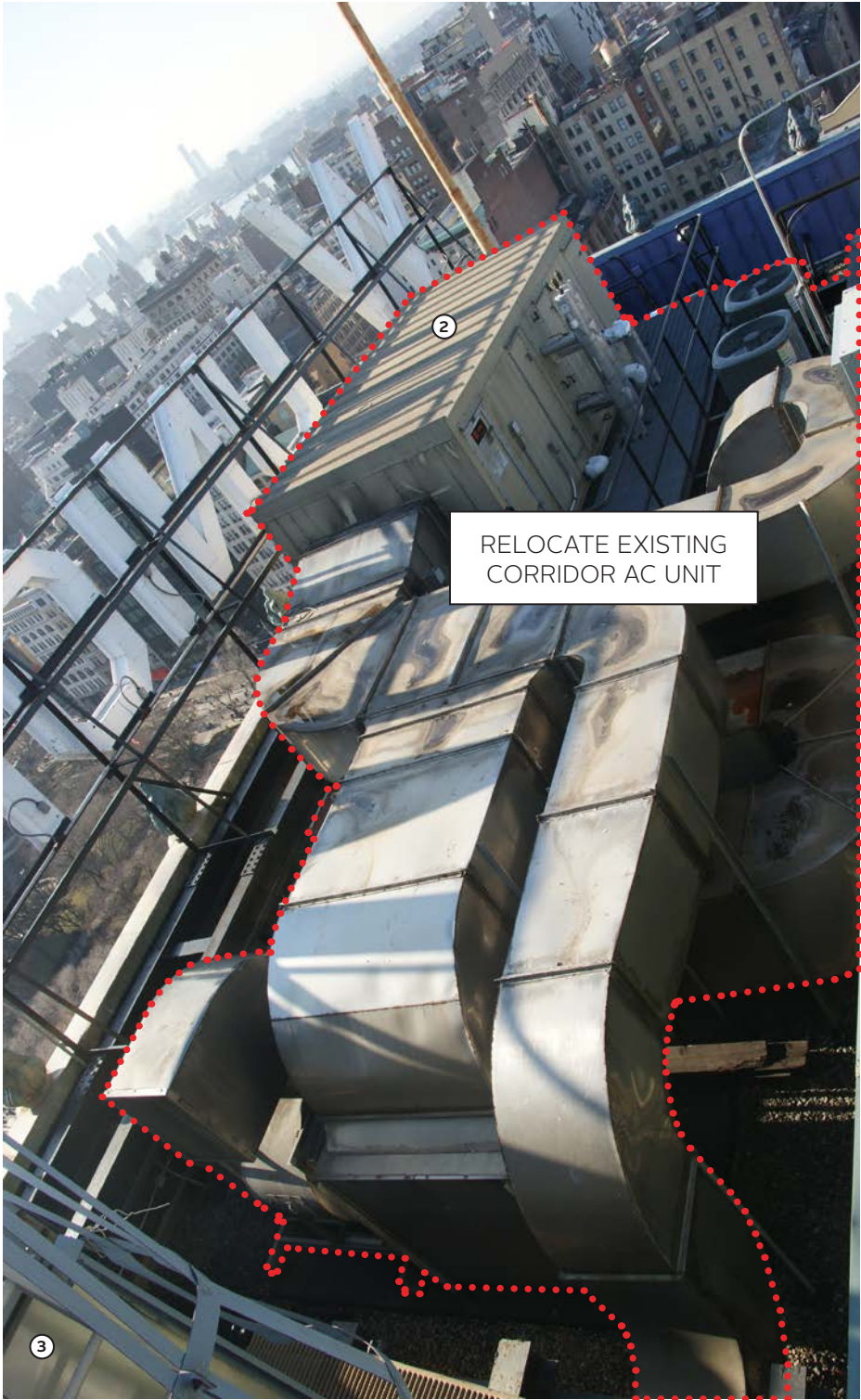
HOTEL RITZ-CARLTON ROOFTOP GARDEN, 1913 (MCNY)

2B EXISTING CONDITIONS



RELOCATE EXISTING GENERATOR

EXTEND EXISTING STAIR BULKHEAD

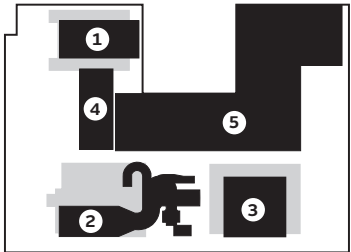


RELOCATE EXISTING CORRIDOR AC UNIT



RELOCATE EXISTING CORRIDOR AC UNIT

EXISTING ROOF KEY PLAN



- 1 GENERATOR
- 2 CORRIDOR AC UNIT
- 3 COOLING TOWER
- 4 STAIR A BULKHEAD
- 5 MEP BULKHEAD

2B EXISTING CONDITION + AREAS OF PROPOSED MODIFICATIONS

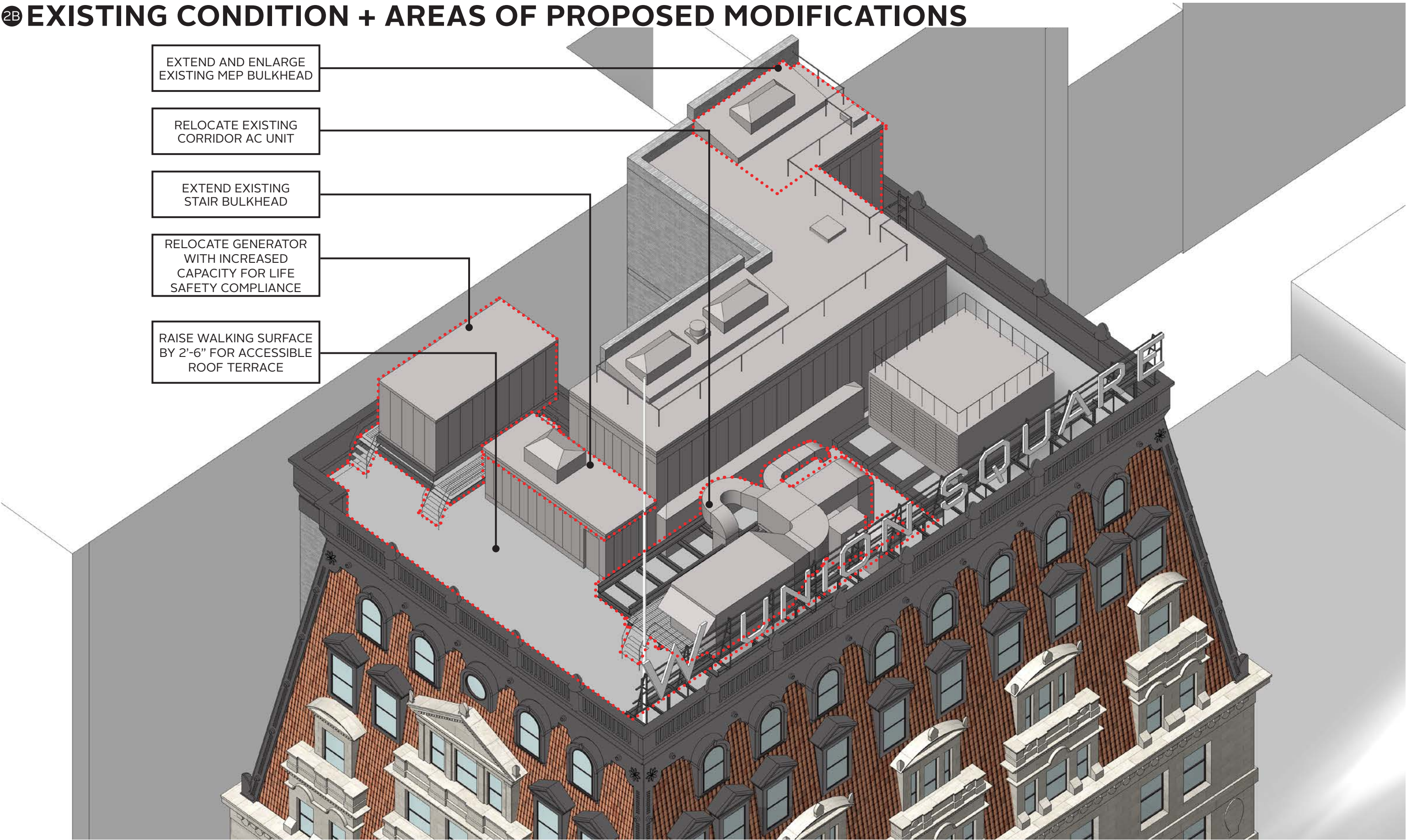
EXTEND AND ENLARGE
EXISTING MEP BULKHEAD

RELOCATE EXISTING
CORRIDOR AC UNIT

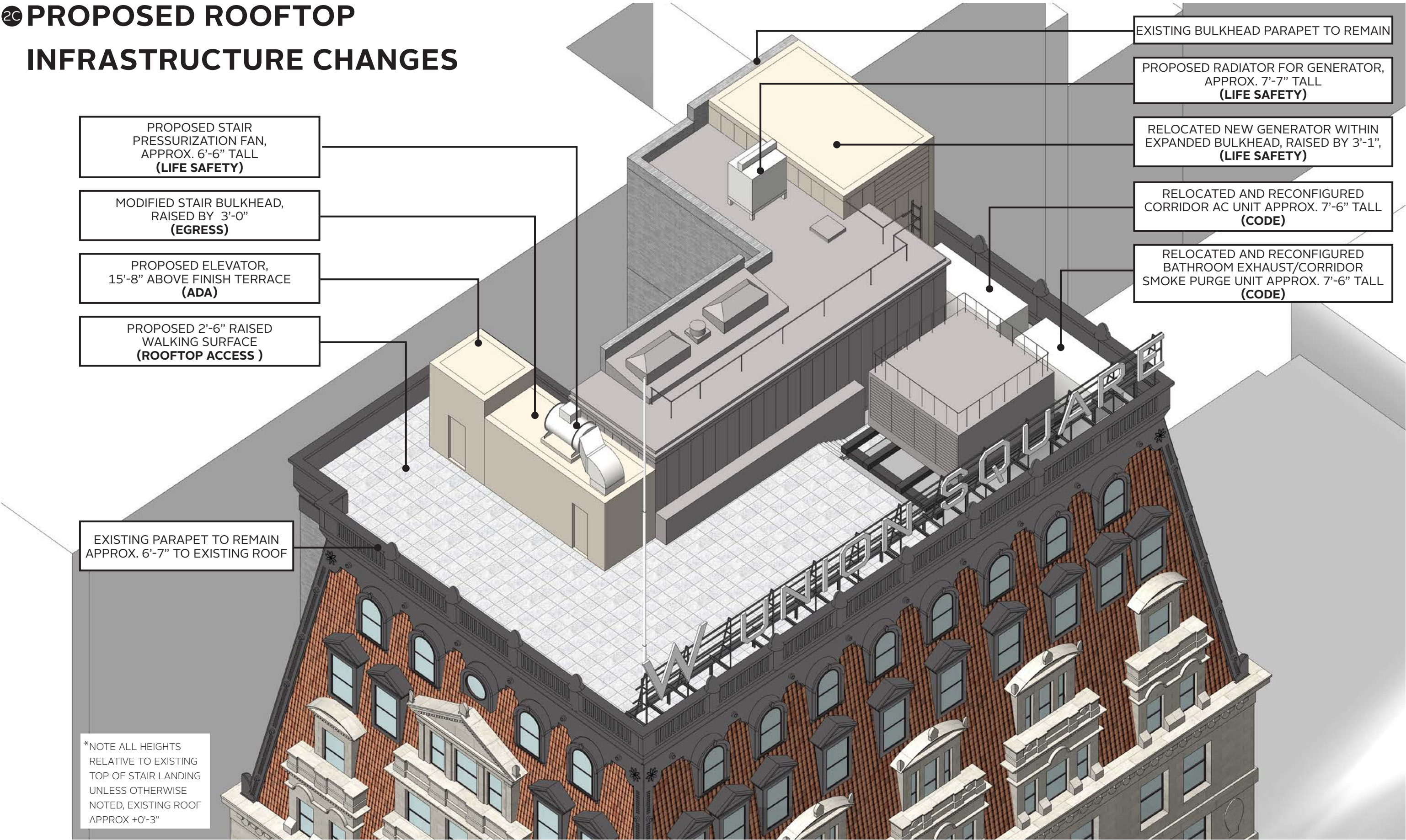
EXTEND EXISTING
STAIR BULKHEAD

RELOCATE GENERATOR
WITH INCREASED
CAPACITY FOR LIFE
SAFETY COMPLIANCE

RAISE WALKING SURFACE
BY 2'-6" FOR ACCESSIBLE
ROOF TERRACE



2C **PROPOSED ROOFTOP
INFRASTRUCTURE CHANGES**



PROPOSED STAIR
PRESSURIZATION FAN,
APPROX. 6'-6" TALL
(LIFE SAFETY)

MODIFIED STAIR BULKHEAD,
RAISED BY 3'-0"
(EGRESS)

PROPOSED ELEVATOR,
15'-8" ABOVE FINISH TERRACE
(ADA)

PROPOSED 2'-6" RAISED
WALKING SURFACE
(ROOFTOP ACCESS)

EXISTING PARAPET TO REMAIN
APPROX. 6'-7" TO EXISTING ROOF

*NOTE ALL HEIGHTS
RELATIVE TO EXISTING
TOP OF STAIR LANDING
UNLESS OTHERWISE
NOTED, EXISTING ROOF
APPROX +0'-3"

EXISTING BULKHEAD PARAPET TO REMAIN

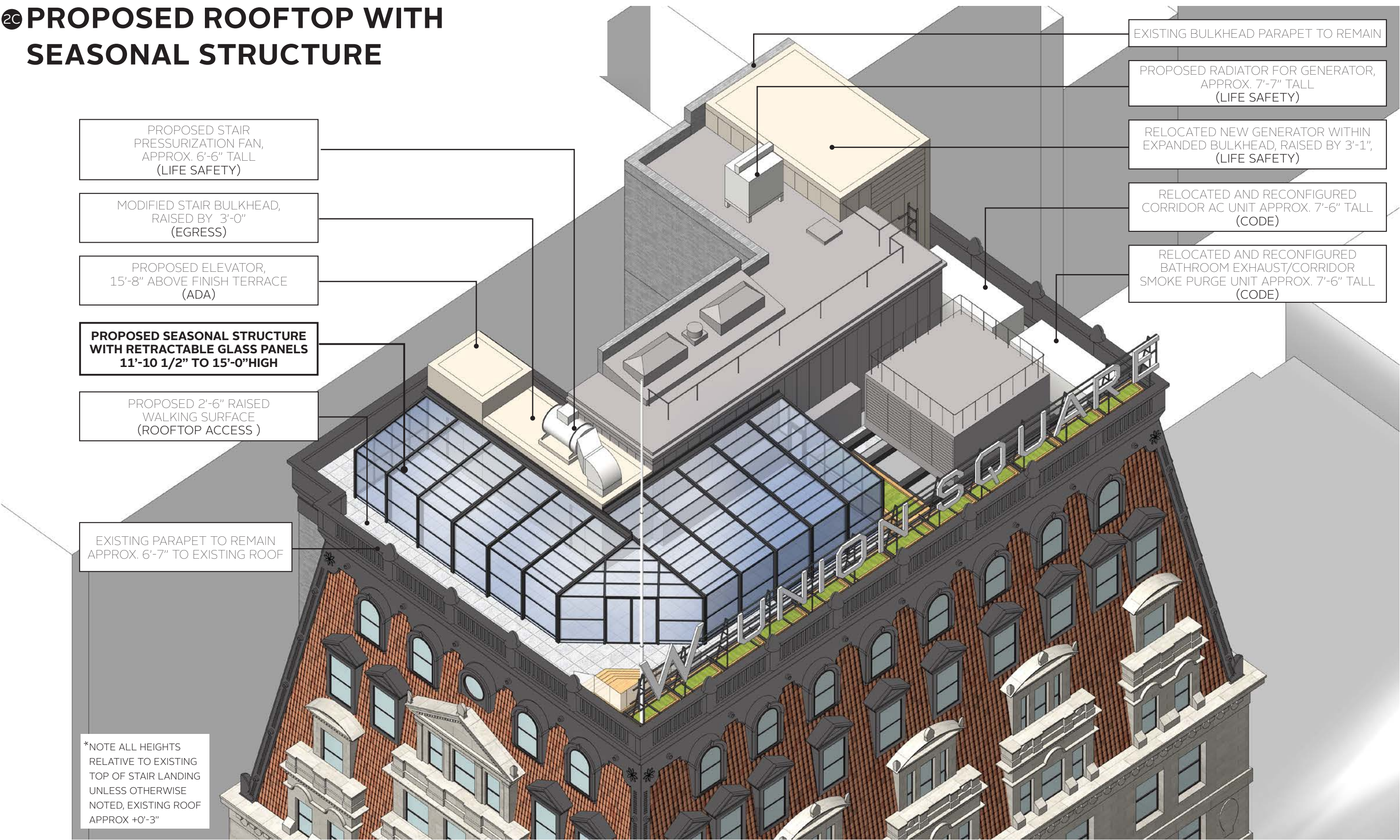
PROPOSED RADIATOR FOR GENERATOR,
APPROX. 7'-7" TALL
(LIFE SAFETY)

RELOCATED NEW GENERATOR WITHIN
EXPANDED BULKHEAD, RAISED BY 3'-1",
(LIFE SAFETY)

RELOCATED AND RECONFIGURED
CORRIDOR AC UNIT APPROX. 7'-6" TALL
(CODE)

RELOCATED AND RECONFIGURED
BATHROOM EXHAUST/CORRIDOR
SMOKE PURGE UNIT APPROX. 7'-6" TALL
(CODE)

2C **PROPOSED ROOFTOP WITH
SEASONAL STRUCTURE**



PROPOSED STAIR
PRESSURIZATION FAN,
APPROX. 6'-6" TALL
(LIFE SAFETY)

MODIFIED STAIR BULKHEAD,
RAISED BY 3'-0"
(EGRESS)

PROPOSED ELEVATOR,
15'-8" ABOVE FINISH TERRACE
(ADA)

**PROPOSED SEASONAL STRUCTURE
WITH RETRACTABLE GLASS PANELS
11'-10 1/2" TO 15'-0" HIGH**

PROPOSED 2'-6" RAISED
WALKING SURFACE
(ROOFTOP ACCESS)

EXISTING PARAPET TO REMAIN
APPROX. 6'-7" TO EXISTING ROOF

*NOTE ALL HEIGHTS
RELATIVE TO EXISTING
TOP OF STAIR LANDING
UNLESS OTHERWISE
NOTED, EXISTING ROOF
APPROX +0'-3"

EXISTING BULKHEAD PARAPET TO REMAIN

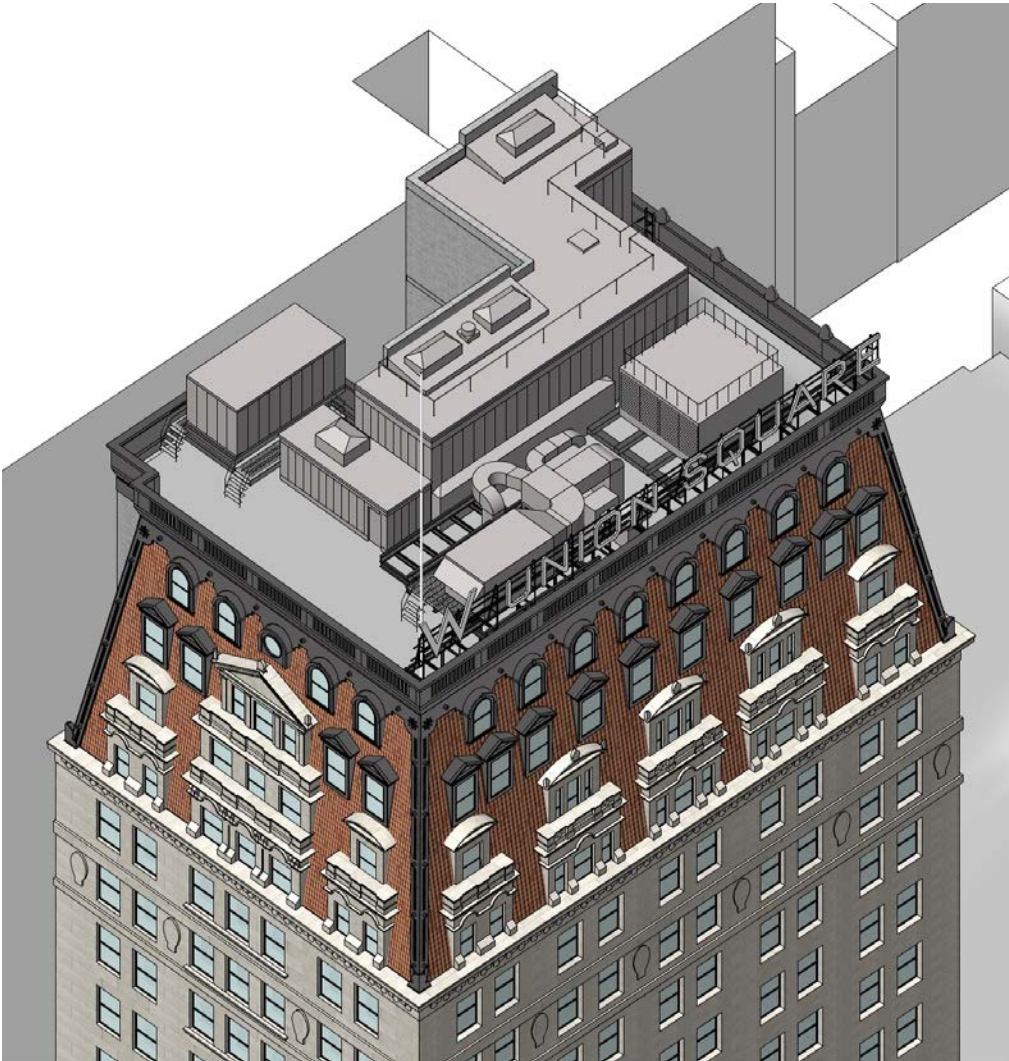
PROPOSED RADIATOR FOR GENERATOR,
APPROX. 7'-7" TALL
(LIFE SAFETY)

RELOCATED NEW GENERATOR WITHIN
EXPANDED BULKHEAD, RAISED BY 3'-1",
(LIFE SAFETY)

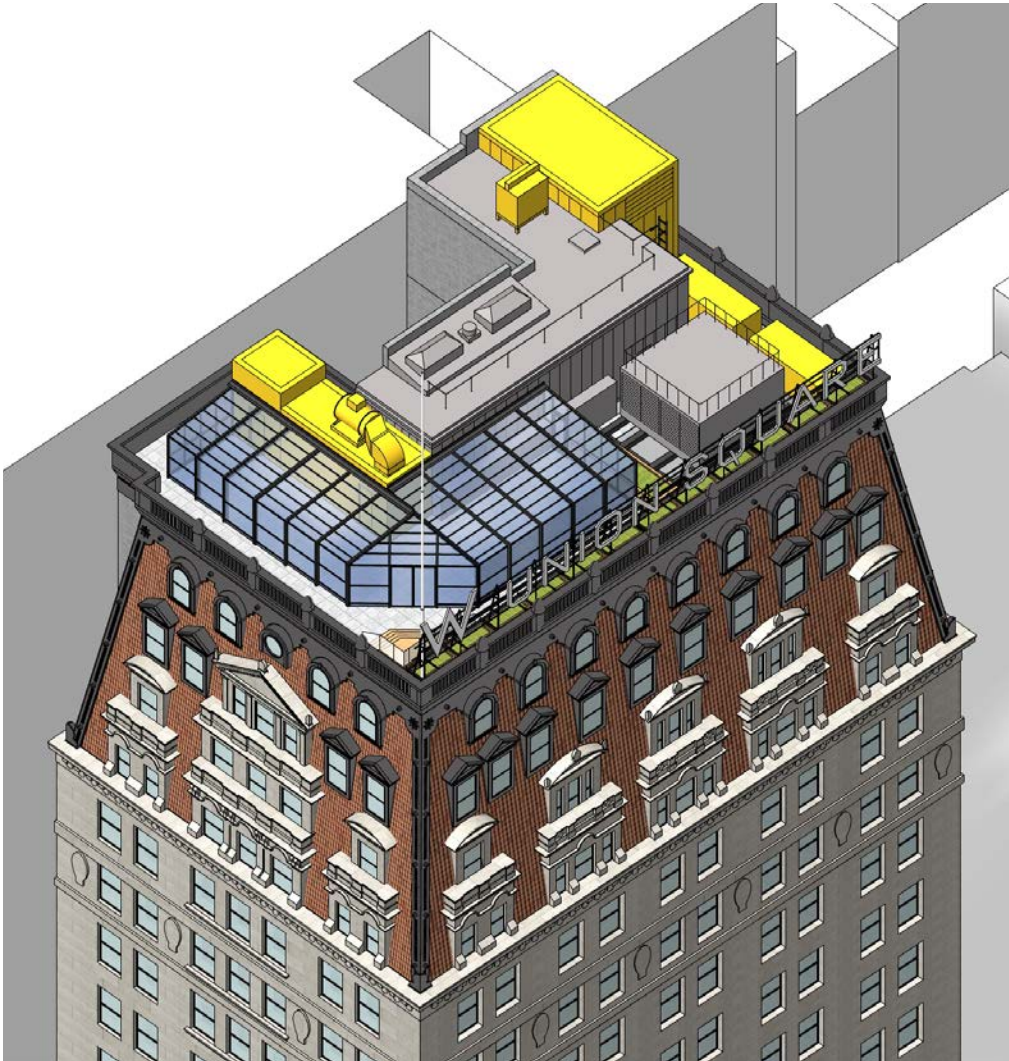
RELOCATED AND RECONFIGURED
CORRIDOR AC UNIT APPROX. 7'-6" TALL
(CODE)

RELOCATED AND RECONFIGURED
BATHROOM EXHAUST/CORRIDOR
SMOKE PURGE UNIT APPROX. 7'-6" TALL
(CODE)

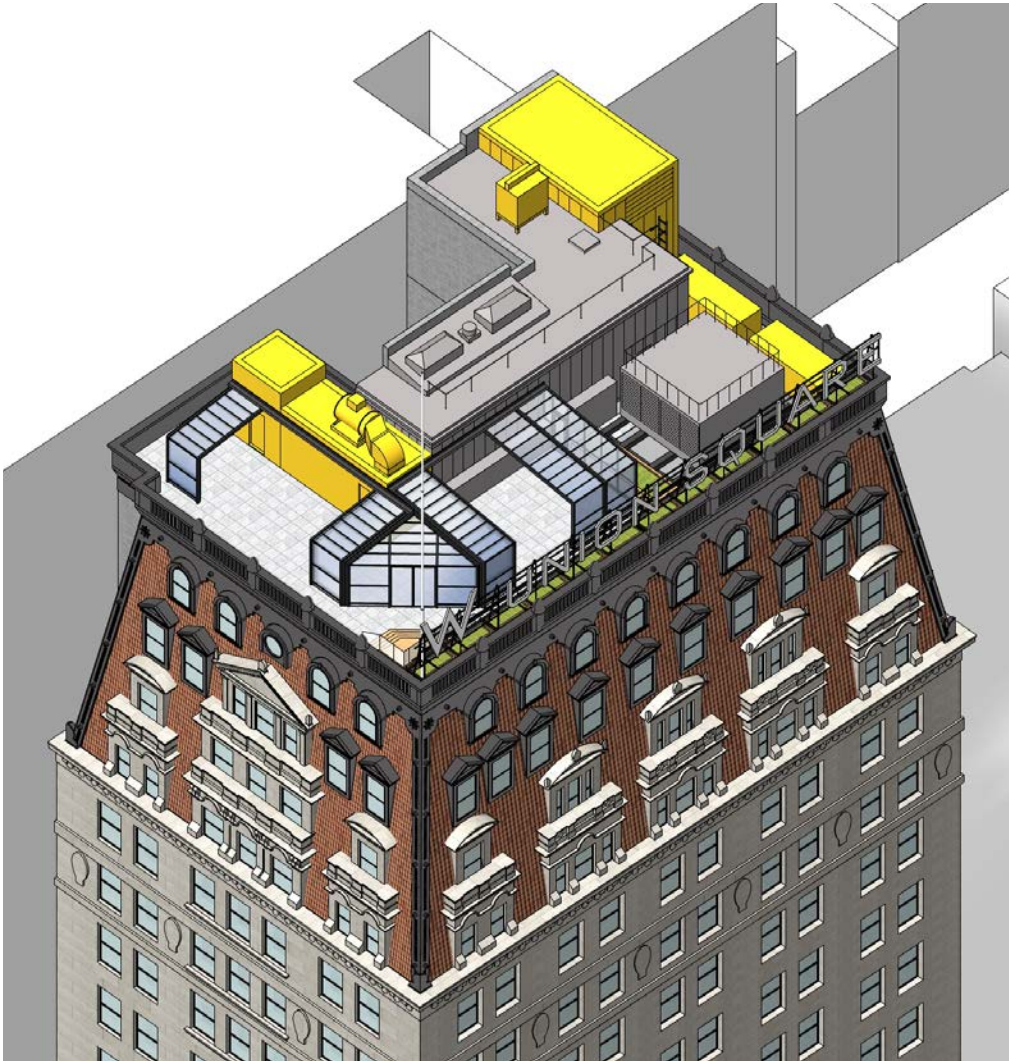
20 PROPOSAL COMPARISON



EXISTING CONDITION



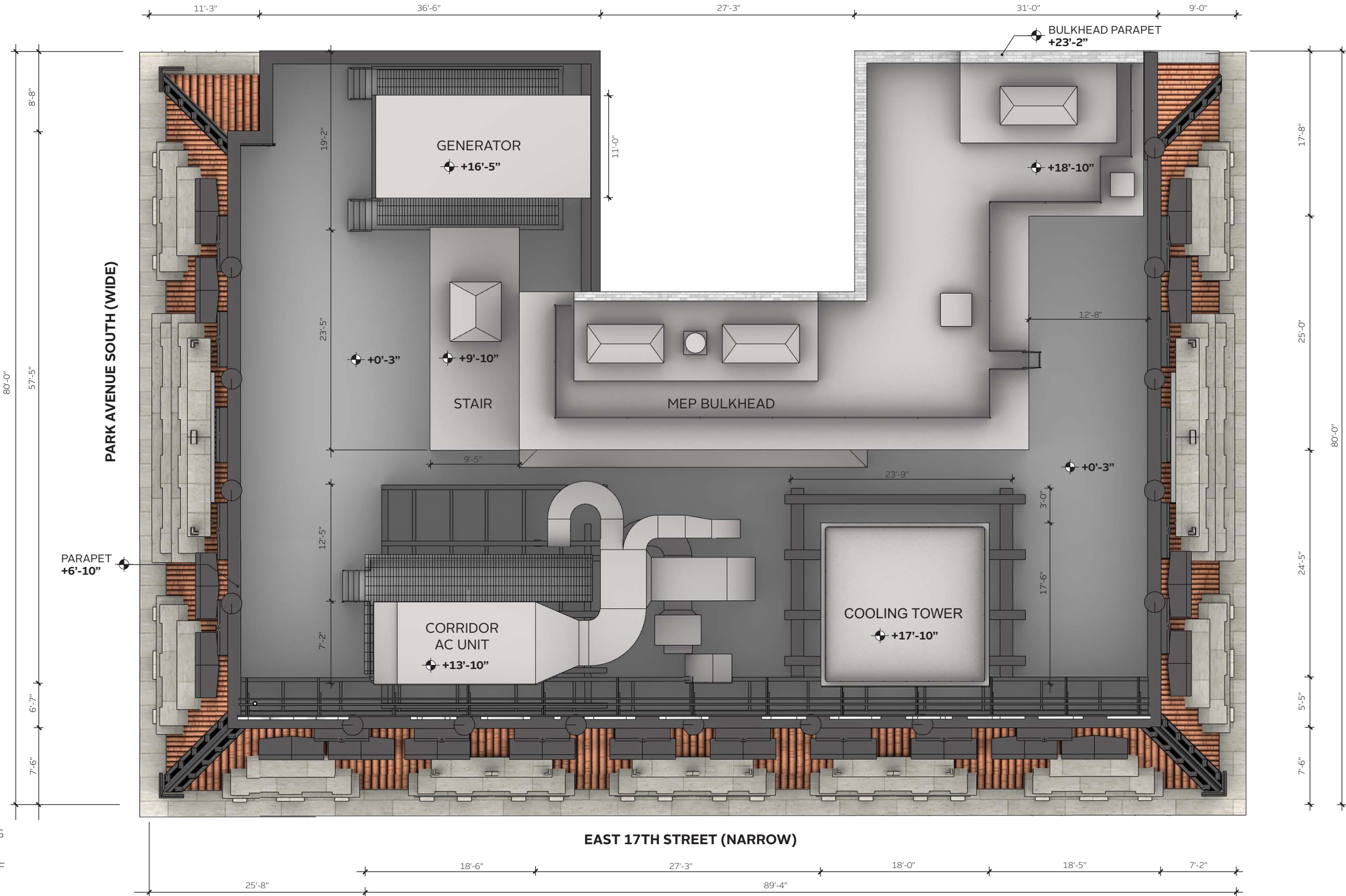
PROPOSED WITH SEASONAL STRUCTURE
IN CLOSED CONDITION



PROPOSED WITH SEASONAL STRUCTURE
IN OPEN CONDITION

2C EXISTING PLAN

*NOTE ALL HEIGHTS
RELATIVE TO EXISTING
TOP OF STAIR LANDING
UNLESS OTHERWISE
NOTED, EXISTING ROOF
APPROX +0'-3"



2C PROPOSED PLAN: CLOSED STRUCTURE



*NOTE ALL HEIGHTS
RELATIVE TO EXISTING
TOP OF STAIR LANDING
UNLESS OTHERWISE
NOTED, EXISTING ROOF
APPROX +0'-3"

AMENITY AREA: 2,180 SF
ENCLOSED: 1,320 SF
OUTDOOR: 860 SF

2C EXISTING SOUTH ELEVATION



EXISTING ROOF SOUTH ELEVATION

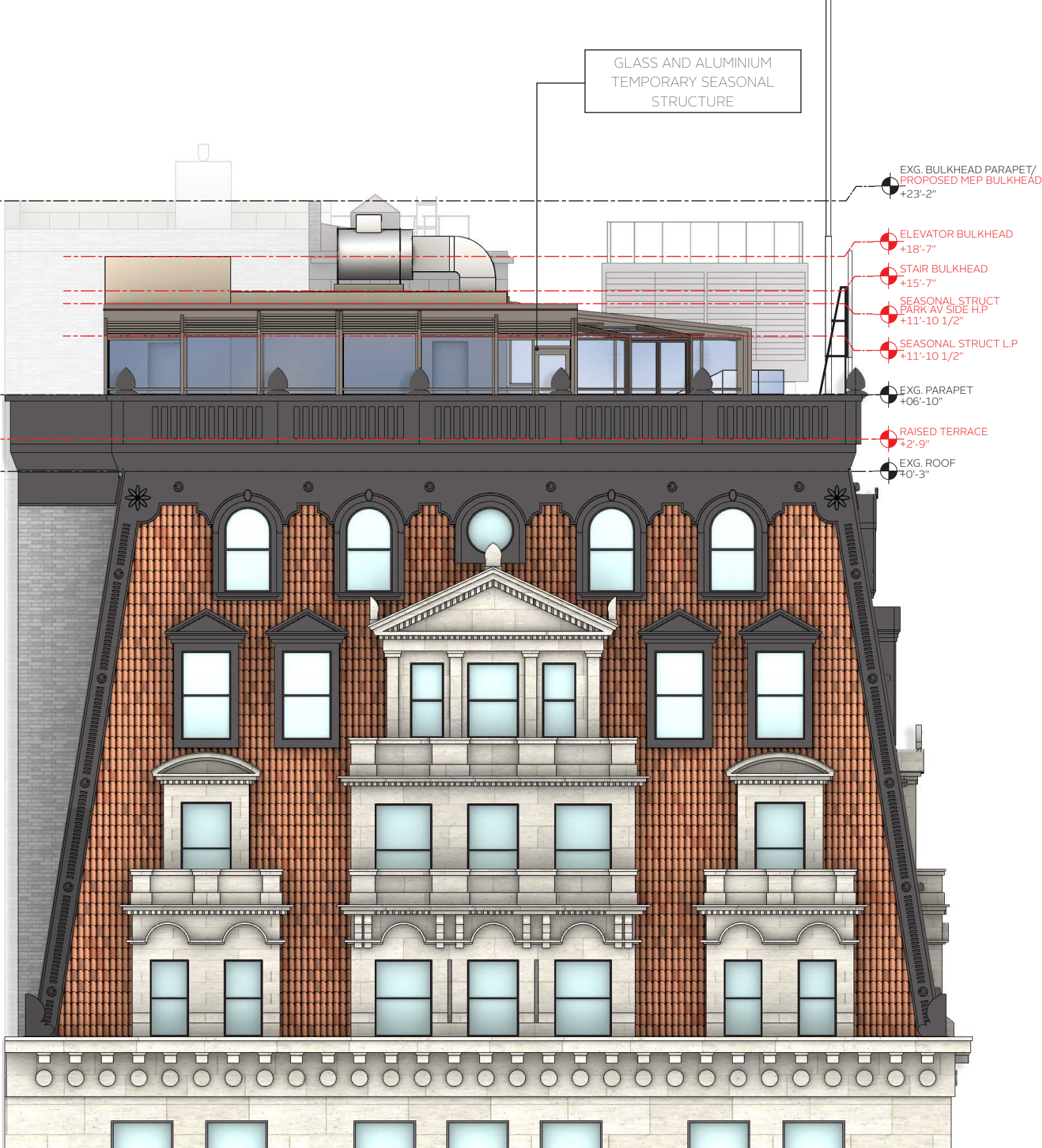
2C PROPOSED SOUTH ELEVATION



2C EXISTING & PROPOSED WEST ELEVATION



EXISTING ROOF WEST ELEVATION

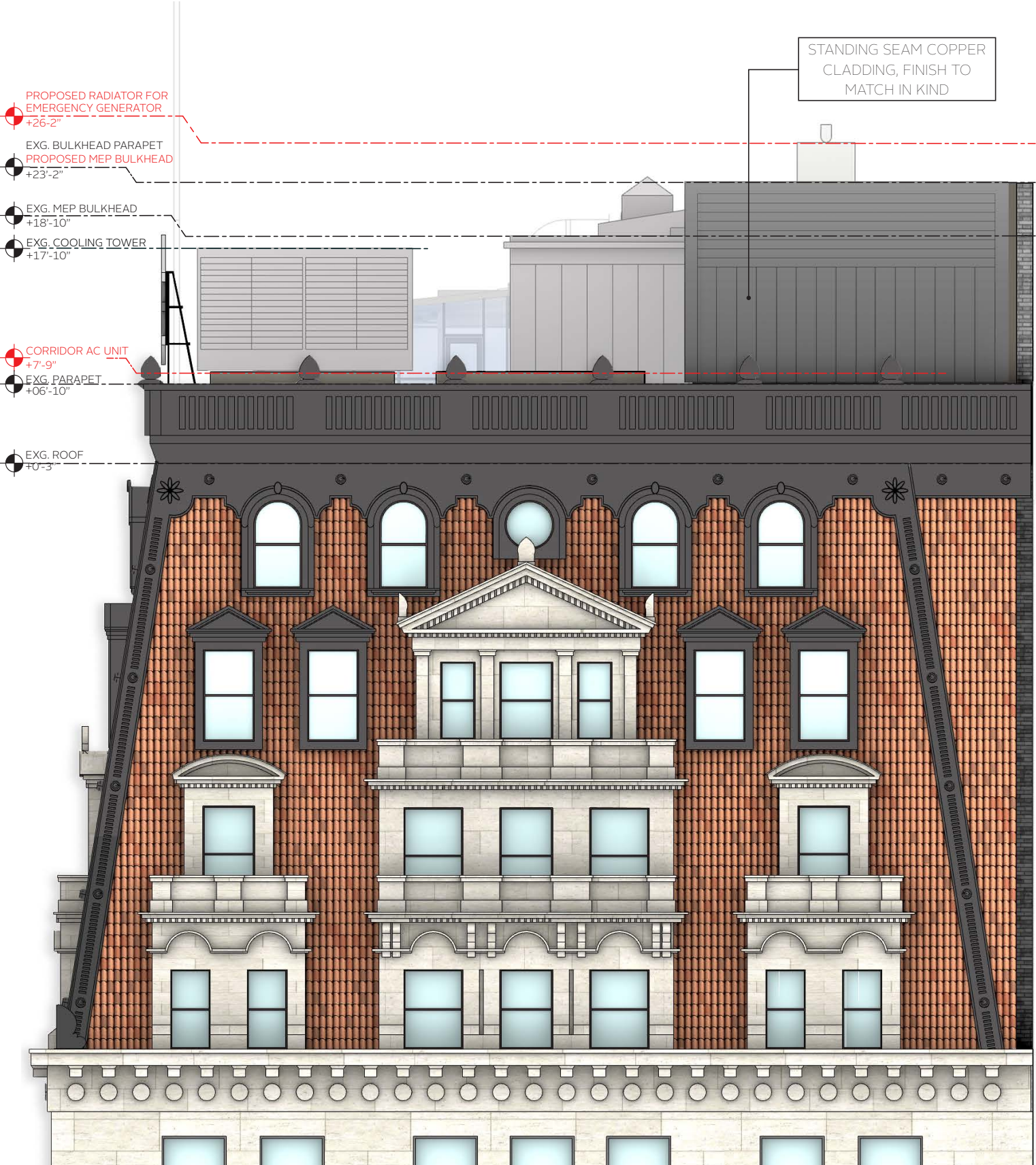


PROPOSED ROOF WEST ELEVATION

2C EXISTING & PROPOSED EAST ELEVATION

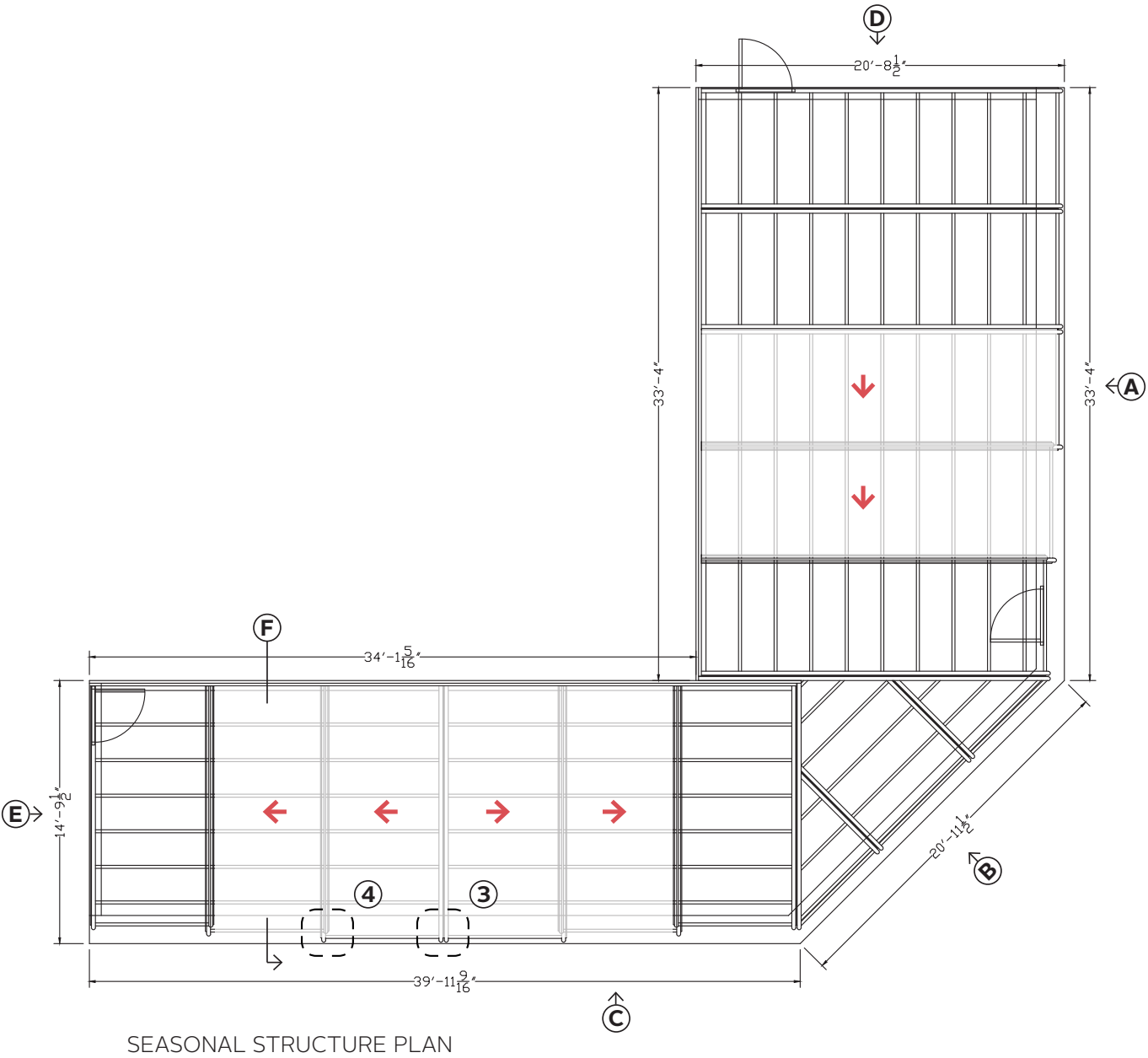


EXISTING ROOF EAST ELEVATION

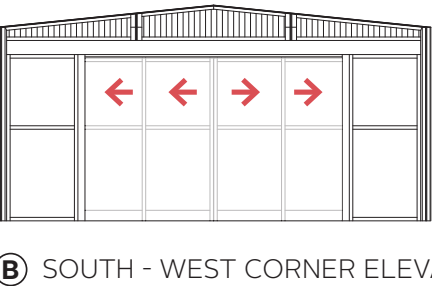
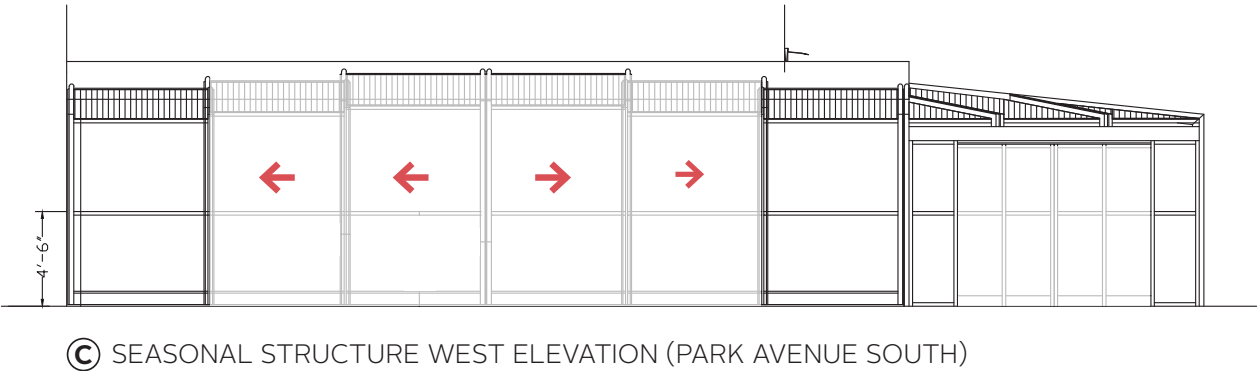
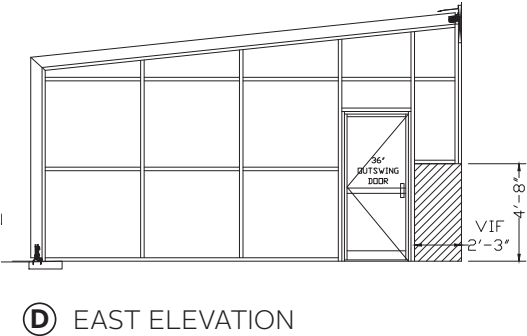
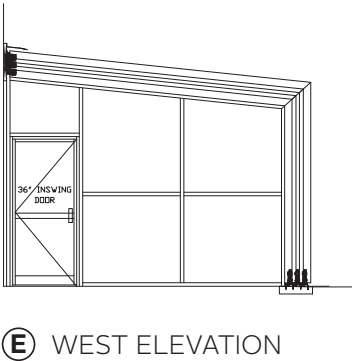
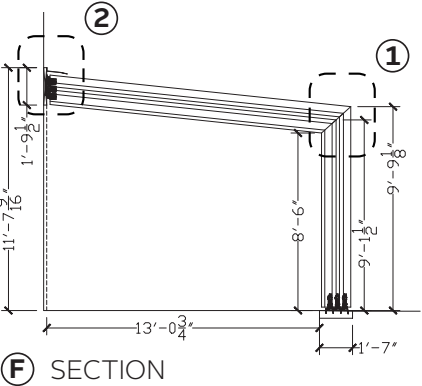


PROPOSED ROOF EAST ELEVATION

2D SEASONAL STRUCTURE ROLL- A-COVER



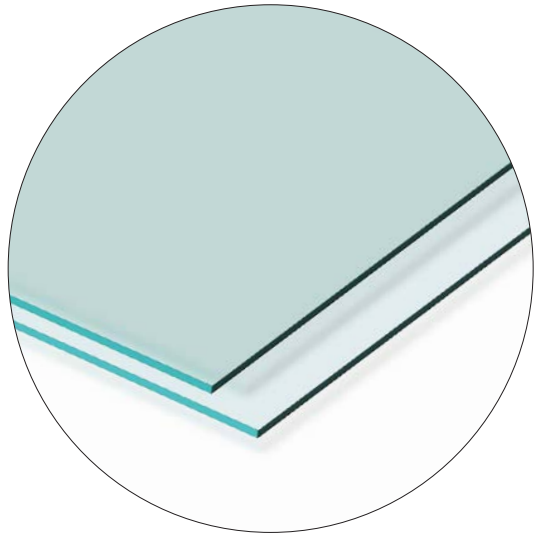
ROLL-A-COVER, MOXY EAST VILLAGE, NY



SEASONAL STRUCTURE DETAILS



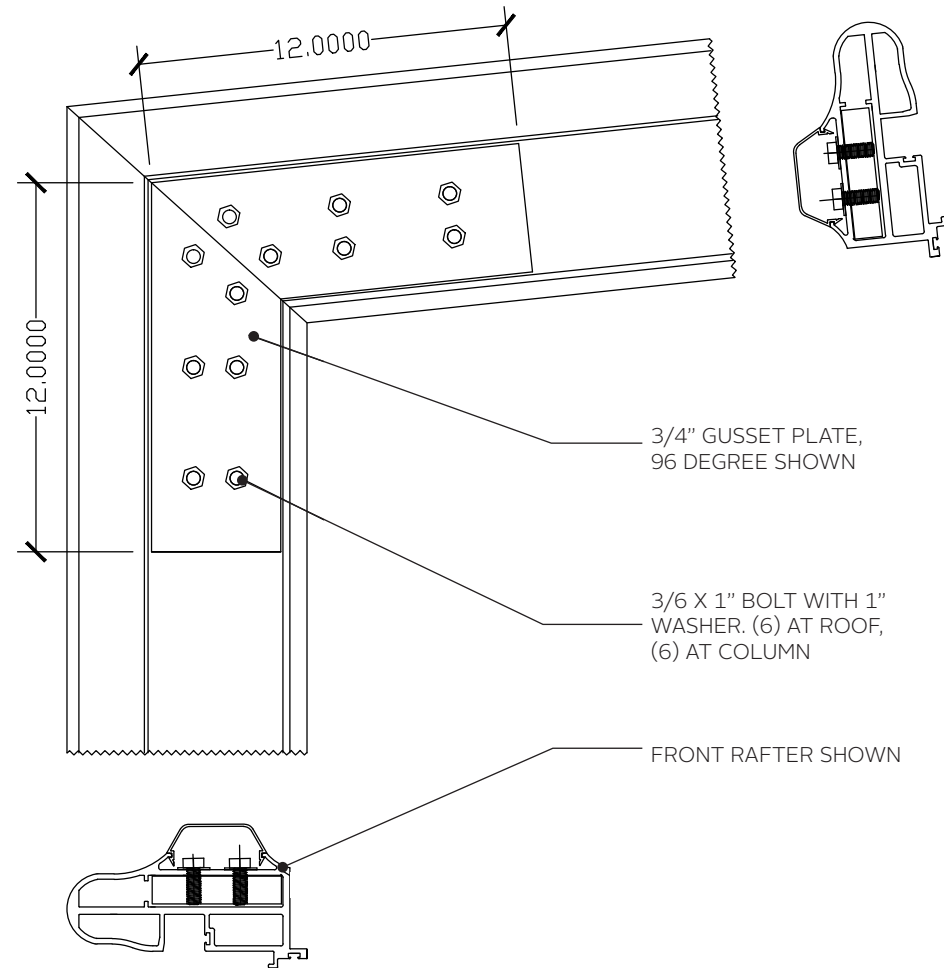
TRANSLUCENT POLYCARBONATE
CEILING PANEL



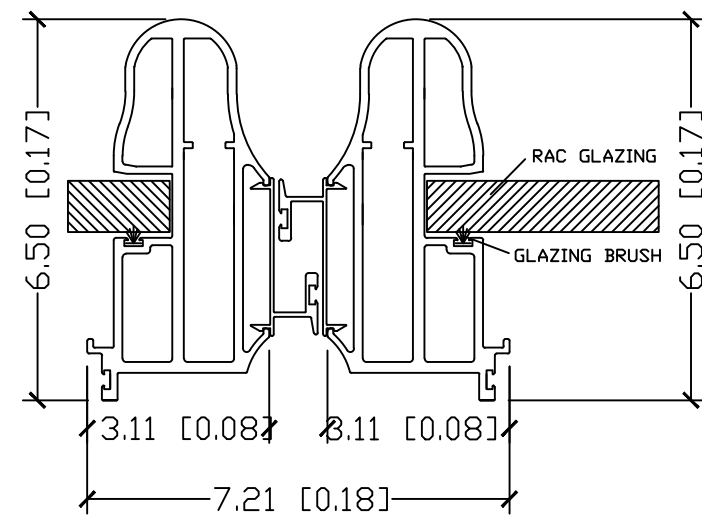
1" GLASS IGU WALL PANEL



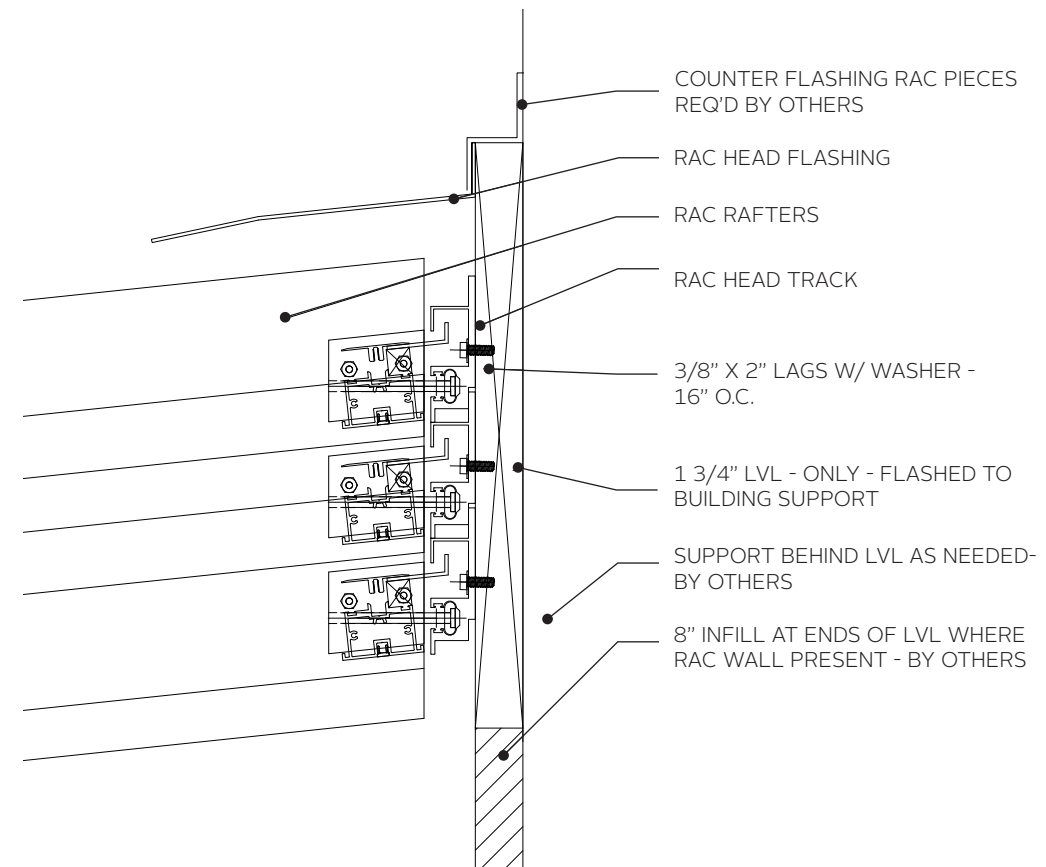
PAINTED ALUMINIUM FRAME
PPG ROMAN BRONZE



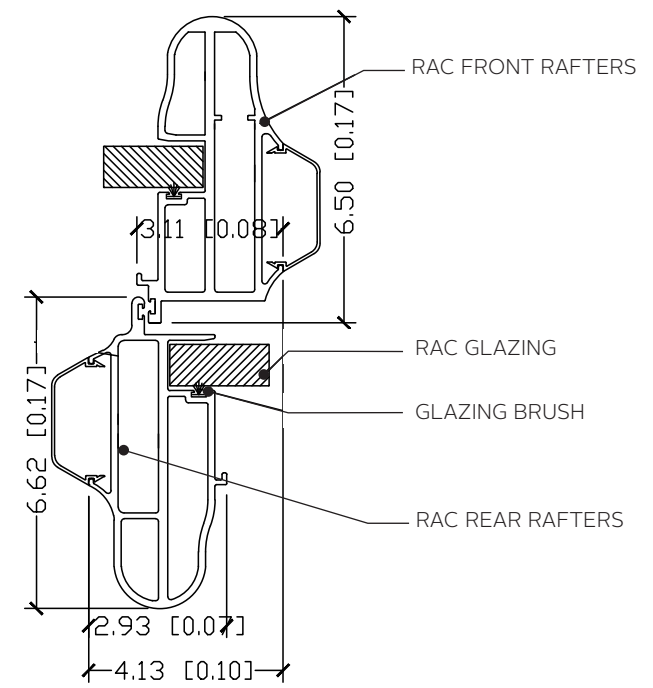
1 EAVE CONNECTION



3 RAC FRONT RAFTER WITH GUTTER



2 HEADER LVL SECTION DETAIL



4 RAC RAFTER OVERLAP

3.SIGHTLINE STUDIES

PHOTOS OF MOCKED-UP



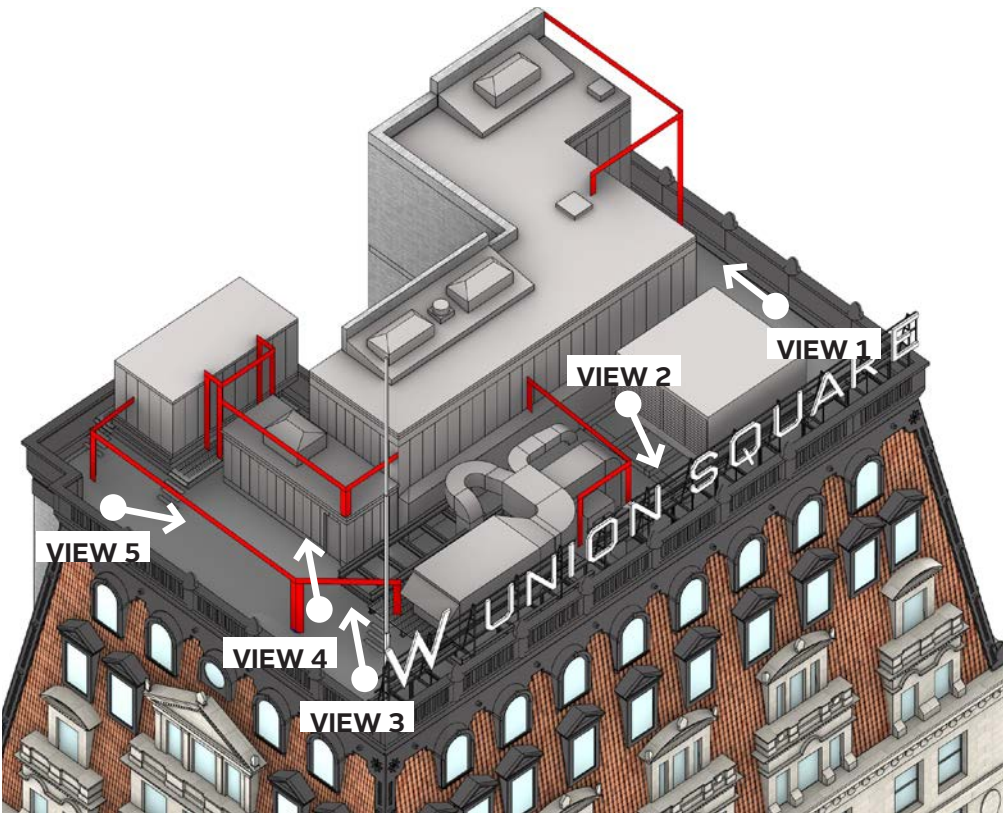
VIEW 1



VIEW 2



VIEW 3



KEYMAP



VIEW 4



VIEW 5

VIEW 1 (NORTH END UNION SQUARE LOOKING E)



EXISTING CONDITION



PROPOSED



MOCKED-UP

VIEW 2 (EAST 15TH STREET & PARK AVENUE S LOOKING NE)



EXISTING CONDITION



PROPOSED



MOCKED-UP

VIEW 3 (EAST 14TH STREET & BROADWAY LOOKING N)



EXISTING CONDITION



PROPOSED



MOCKED-UP

VIEW 4 (EAST 17TH STREET & IRVING PL. LOOKING W)



EXISTING CONDITION



PROPOSED



MOCKED-UP

VIEW 5 (EAST 15TH STREET AT UNION SQUARE WEST LOOKING NE)



EXISTING CONDITION



PROPOSED



MOCKED-UP

VIEW 6 (EAST 17TH STREET & BROADWAY LOOKING E)



EXISTING CONDITION



PROPOSED



MOCKED-UP

VIEW 7 (EAST 18TH STREET & PARK AVE SOUTH LOOKING S)



EXISTING CONDITION



PROPOSED



MOCKED-UP

VIEW 8 (PARK AVE SOUTH)



EXISTING CONDITION



PROPOSED

VIEW 9 (EAST 17TH STREET)



EXISTING CONDITION



PROPOSED