

The current proposal is:

**Preservation Department – Item 3, LPC-23-10212**

**1 West 29th Street, aka 270-272 Fifth Avenue – Marble  
Collegiate Church – Individual Landmark  
Borough of Manhattan**

**Note: this is a Public Meeting item. No public testimony will be received today as the hearing on this item is closed**

# Marble Collegiate Church Visible West Façade

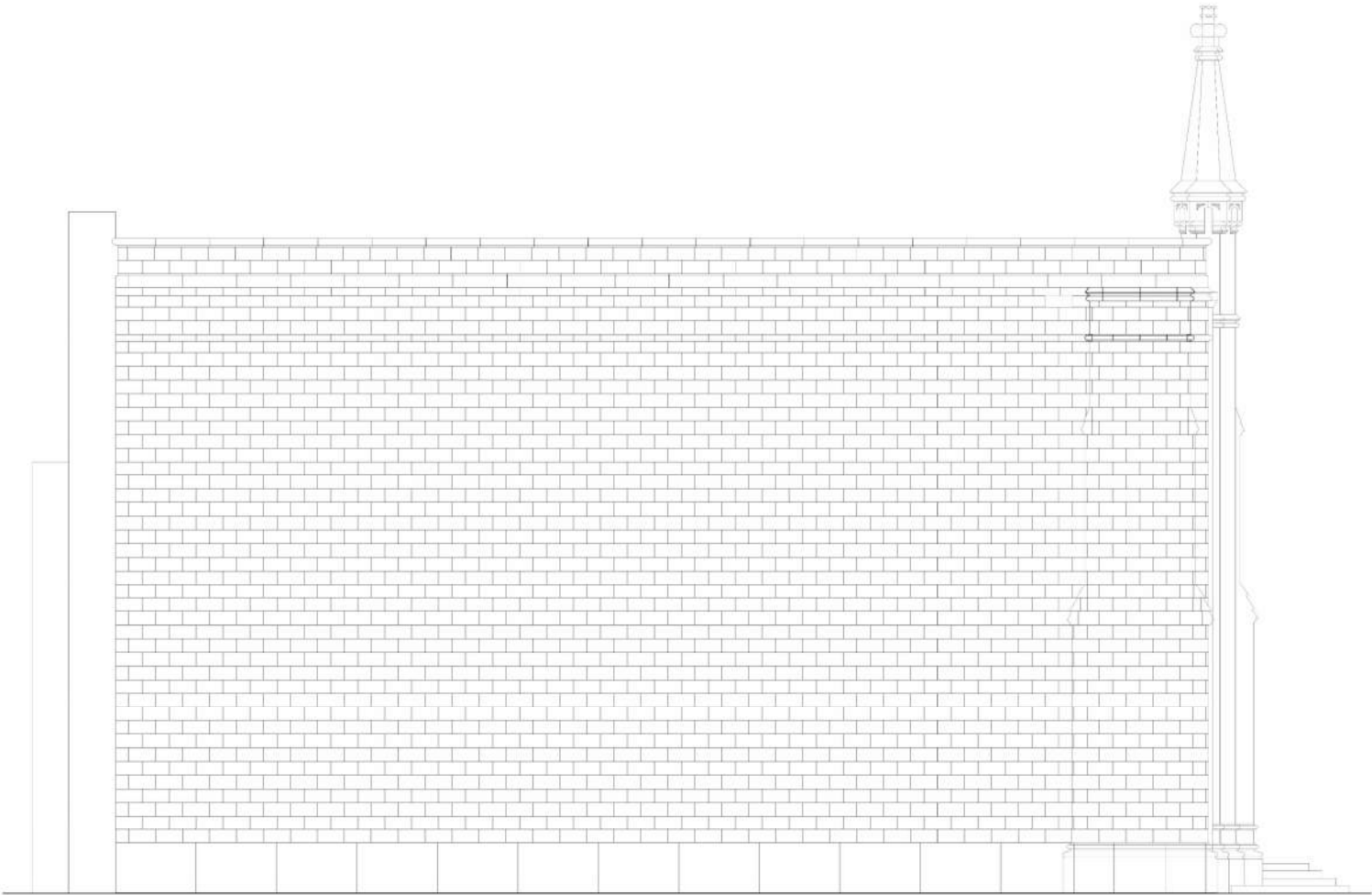
Public Meeting February 13, 2024





# 1 WEST 29<sup>TH</sup> STREET WEST ELEVATION DESIGN CONCEPTS

Initial design concept presented on October 3, 2023  
to clad West Elevation in limestone and build-up  
bump-out up to level of the roof



Revised design concept presented on February 13, 2024  
to clad the West Elevation in brick to match the original,  
build-up the masonry parapet, and replicate the original  
window openings with masonry infilled blind-windows



**Initial Proposal Description**

- Removal existing projecting façade elements to allow for level façade to receive waterproofing and limestone cladding installation
- Raise parapets, tie-in at north and south to existing structure, clad west parapet with Lueders limestone
- Clad West Elevation in Lueders limestone to match the original Tuckahoe marble present throughout the primary facades
- Build-up bump-out up to level of main roof and clad in Lueders limestone, replicate stepped profile at present at existing piers
- Replicate and extend stone band-course at upper level across full length of West Elevation

**Commissioner Comments from October 3, 2023, Public Hearing**

- Confirm what the brick coating is and the condition of the of the brick that can be restored as a watertight façade
- Maintain historic marble quoining at southwest corner
- No alterations at the historic marble pinnacle
- First floor bump-out can remain at its current height and should be clad in either brick or limestone; however, some of the commissioners don’t feel the introduction of a third material is appropriate

**Revised Proposal Description and Reposes to Commissioner’s Comments**

- Removal existing non-historic CMU parapet and railings
- Clad the existing west wall with an additional wythe of brick masonry to match existing and recreate the historic window configuration using recessed “blind” windows with natural stone sills and lintels
  - Existing brick is coating in multiple layers of cementitious and waterproofing coatings that cannot be removed without damaging the skin of the brick
  - Areas of orange brick are due to loss of brick face and coating
  - There are existing leaks present throughout existing masonry wall
- Raise the parapet height to eliminate the need for guardrails and cap the parapet in natural stone copings to match the existing.
- Replicate the original brick band-course below the level of the parapet.
- At the southwest corner of the façade:
  - Tie-in the new brick masonry to the existing historic and marble quoining
  - Clad the existing bump-out in brick masonry at west and south elevations with natural stone copings (existing height to be maintained)
  - Step down the parapet to maintain visibility of historic pinnacle
- At northwest corner of the façade:
  - Tie-in new brick masonry to the existing brick masonry
- Remove existing projecting façade elements to prepare the façade to receive new waterproofing and brick cladding



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**ZIMMERMAN**  
ARCHITECTS & ENGINEERS, DPC

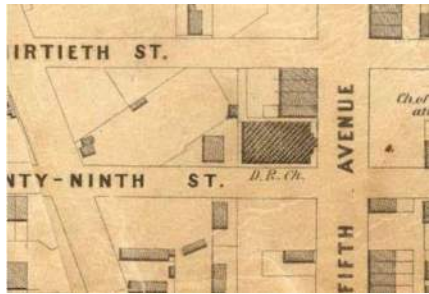
Project: MARBLE COLLEGIATE CHURCH  
1 WEST 29<sup>TH</sup> STREET  
NEW YORK, NY 10001  
EXTERIOR RESTORATION

Job Information: HLZAE JOB No. 22-0808  
LPC Docket: LPC-23-10212  
Block/Lot: 831/33  
Cross Streets: West 29<sup>th</sup> Street/ 5<sup>th</sup> Avenue

Year Built: 1854  
Year Altered: 1985  
Designated: 1966  
Status: Individual Landmark



# TIMELINE



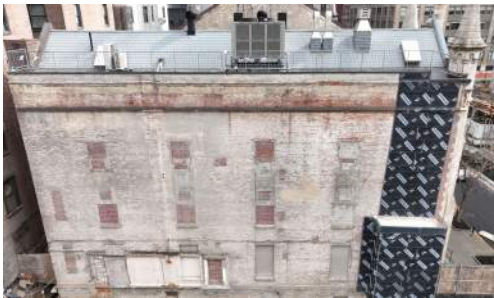
1854  
The construction of the Church is completed



1880's  
The adjacent building 3 West 29<sup>th</sup> Street is constructed



1960's  
Installation of South Entrance Portico and building tie-ins at West Elevation



1980's - 1990's  
The West Elevation is coated with a grey roll-on waterproofing.

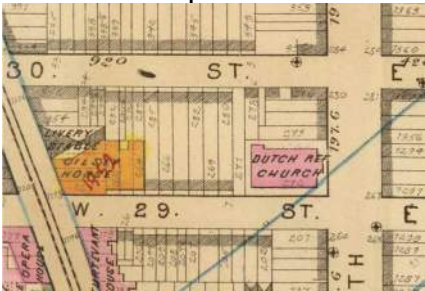


Pre-removal  
2014  
West Elevation windows are fully infilled, the South Entrance Portico is removed, and the adjacent building 3 West 29<sup>th</sup> Street is demolished. The newly re-exposed South Entrance is modified.



2019  
Demolition of the second and third floor building tie-ins which were infilled in plane of the surrounding original brick masonry wall with steel stud framing and DensGlass board finishes, topped with waterproofing at the exterior.

2021  
3 West 29<sup>th</sup> Street site goes into foreclosure



1879  
3 West 29<sup>th</sup> Street lot is still vacant



Double Height chapel



Converted classrooms

1960  
The double height chapel is converted into second and third floor classrooms, the double height windows are partially infilled and divided into single height windows at the second and third floors



1966  
The Church is designated a landmark



2012  
Installation of CMU curb parapet and railing in conjunction with the installation of roof-mounted mechanical equipment



2015  
October 27, 2015, LPC approves an application to clad the entire West Elevation with limestone and reestablish the original single height windows at ground level and double height windows spanning from the second to the third floor.



June 5, 2019, LPC approves revised plans to clad the West Elevation in limestone in conjunction with the development of the adjacent property 3 West 29<sup>th</sup> Street.

2023  
LPC votes to take no action at this time for the proposal to revise the June 5, 2019, limestone cladding proposal and requests that the existing brick wall be restored.



July 1968



Circa 1895



THE CHURCH ON FIFTH AVENUE AND TWENTY-NINTH STREET  
DEDICATED OCTOBER 11, 1854





Original entrance prior to the installation of the portico



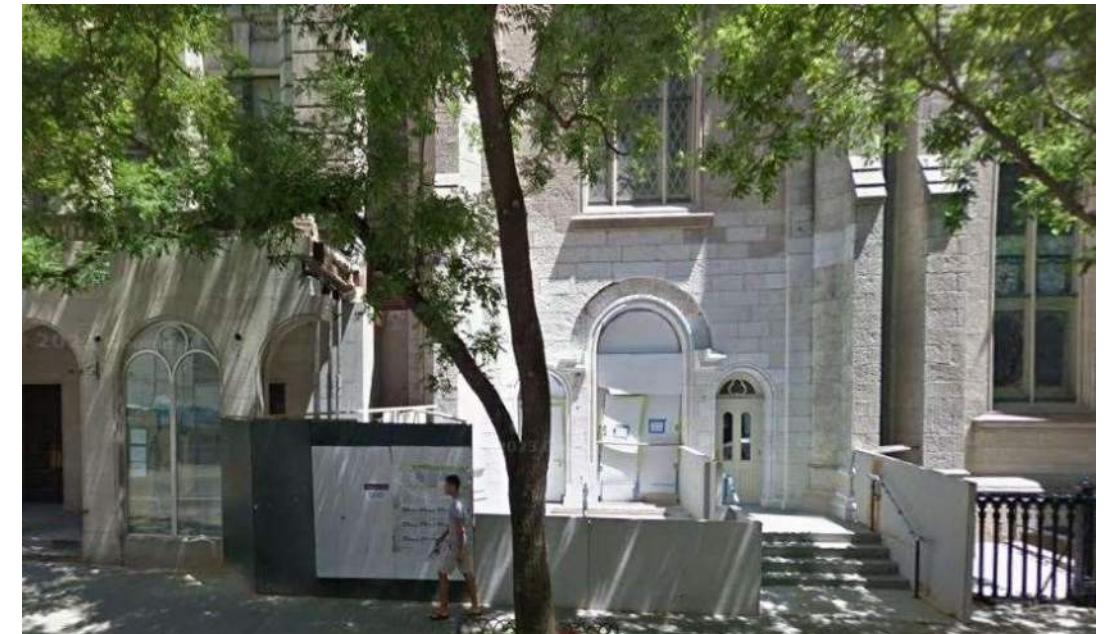
2011 South Entrance portico tie-in prior to demolition



1960's Portico installation – In progress



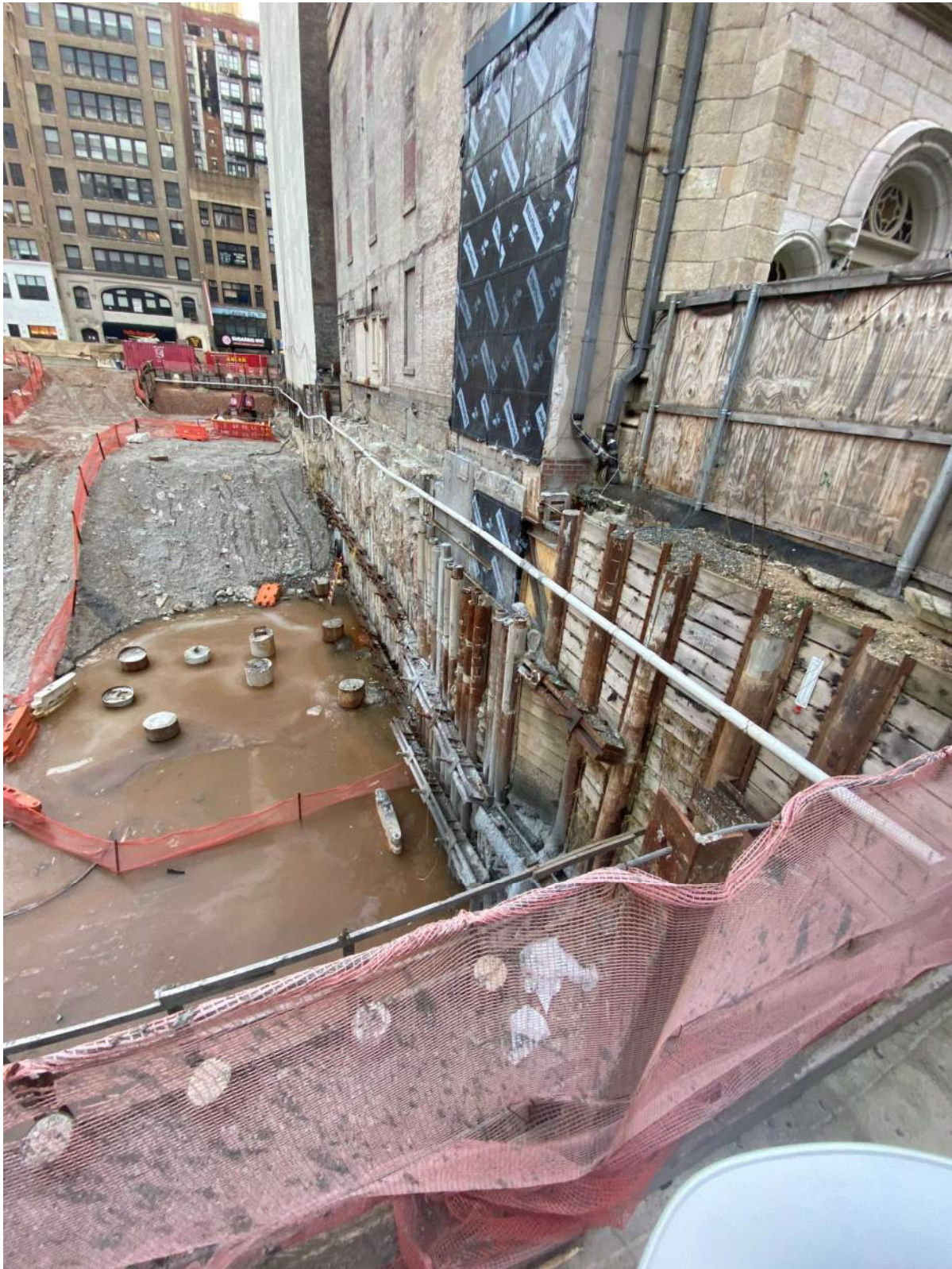
1960's Portico installation – Completed



2014 Portico demolition – In progress



# ADJACENT EXCAVATED SITE





# EXISTING CONDITIONS AT WEST ELEVATION - OVERVIEW

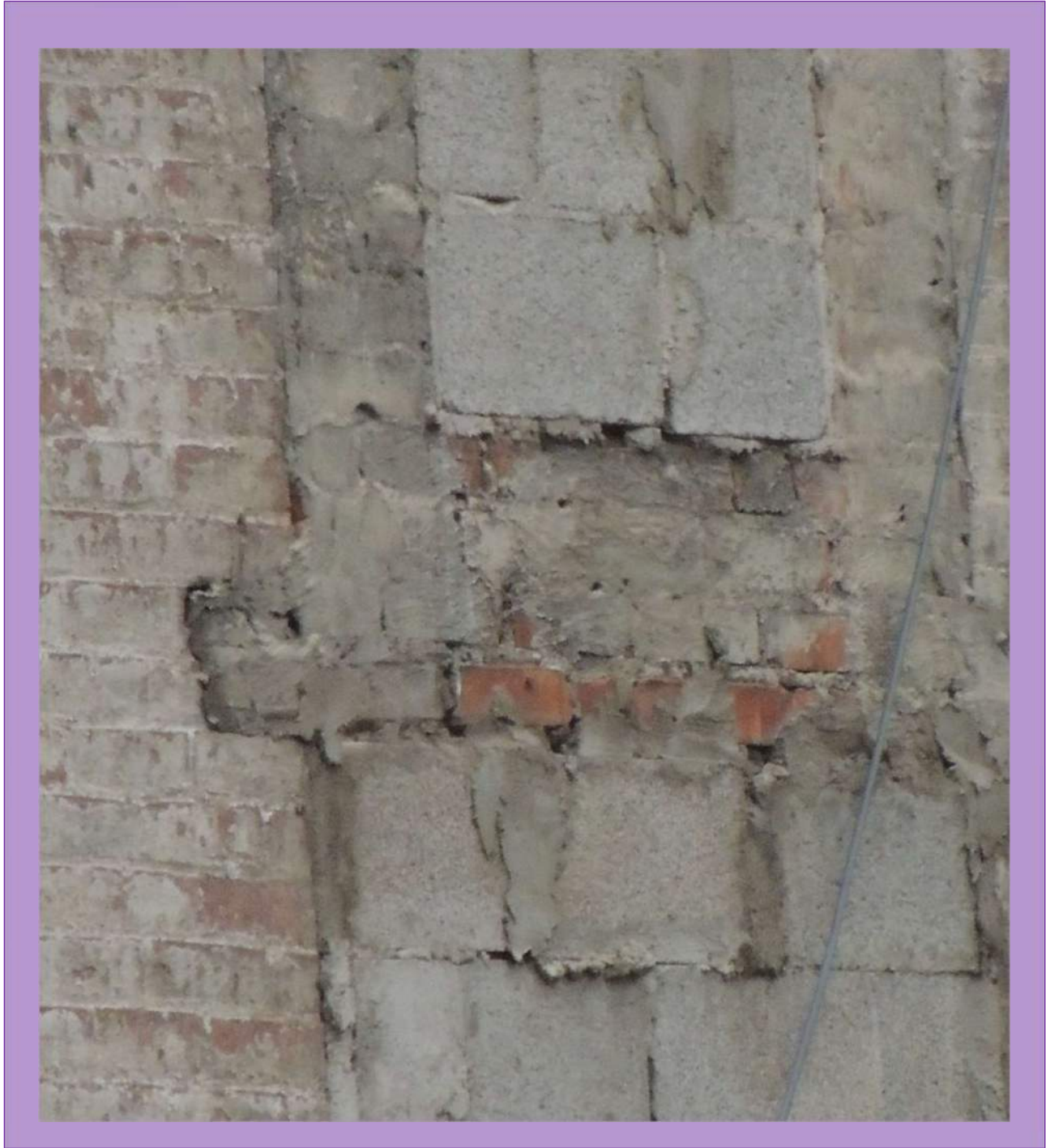


## LEGEND

- Non-masonry infill at building tie-ins (10% of Wall Area)
- Broken/Missing Brick Masonry (1% of Wall Area)
- Mismatched Masonry Infilled Openings (17% of Wall Area)
- CMU Parapet (4% of Wall Area)
- Cementous Coating (5% of Wall Area)
- Waterproofing coating(s) over deteriorated brick (63% of Wall Area)



# EXISTING CONDITIONS – Mismatched masonry at infilled openings



Close-up of mismatched masonry infill



Overviews of mismatched window and door infill



Close-up of mismatched masonry infill

There is mismatched window and door masonry infill present throughout the West Elevation. The infill consists of a mix of brick masonry, CMU, and recessed CMU finished with a cementitious coating.



Overview of West Elevation Current Condition



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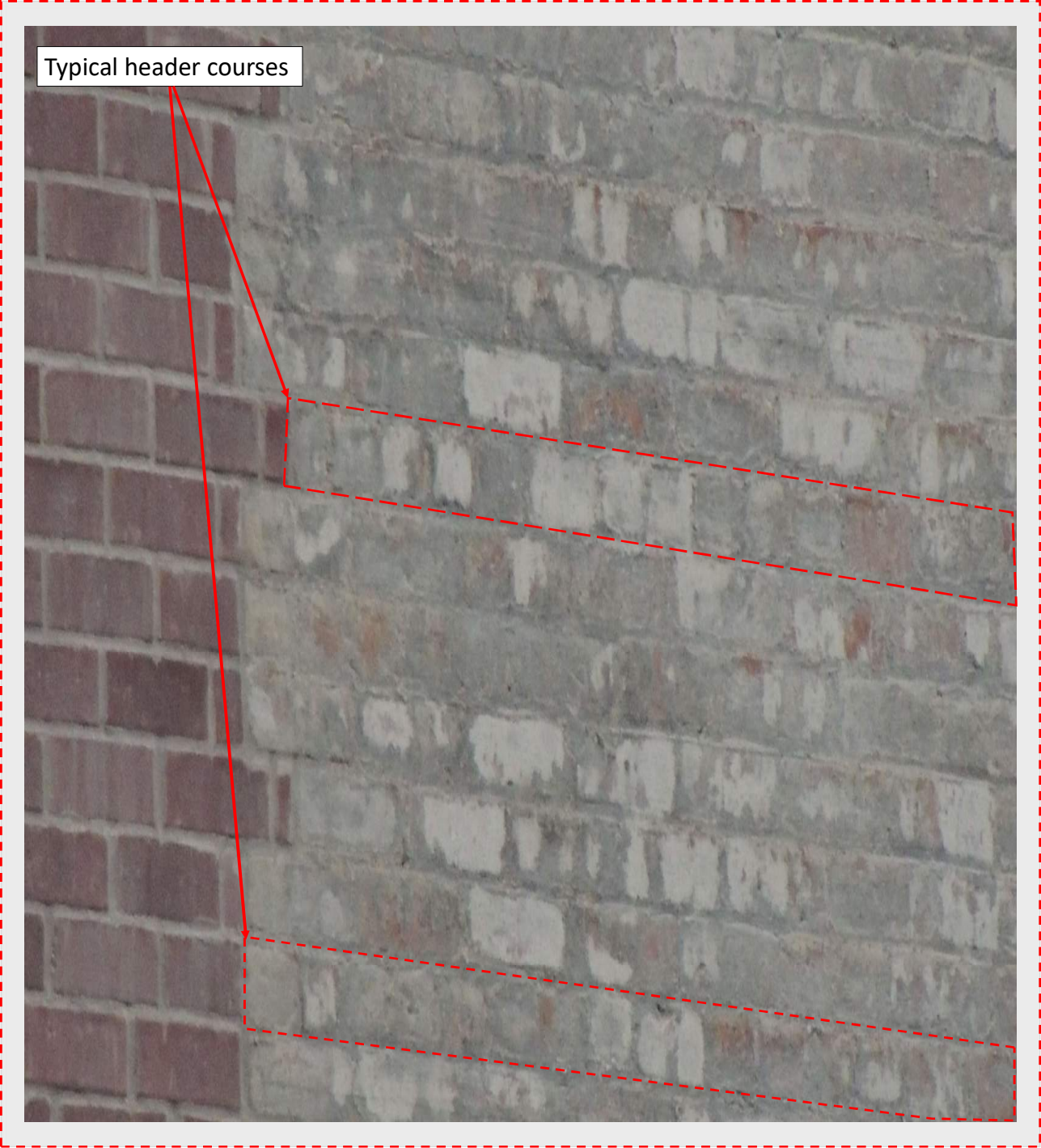
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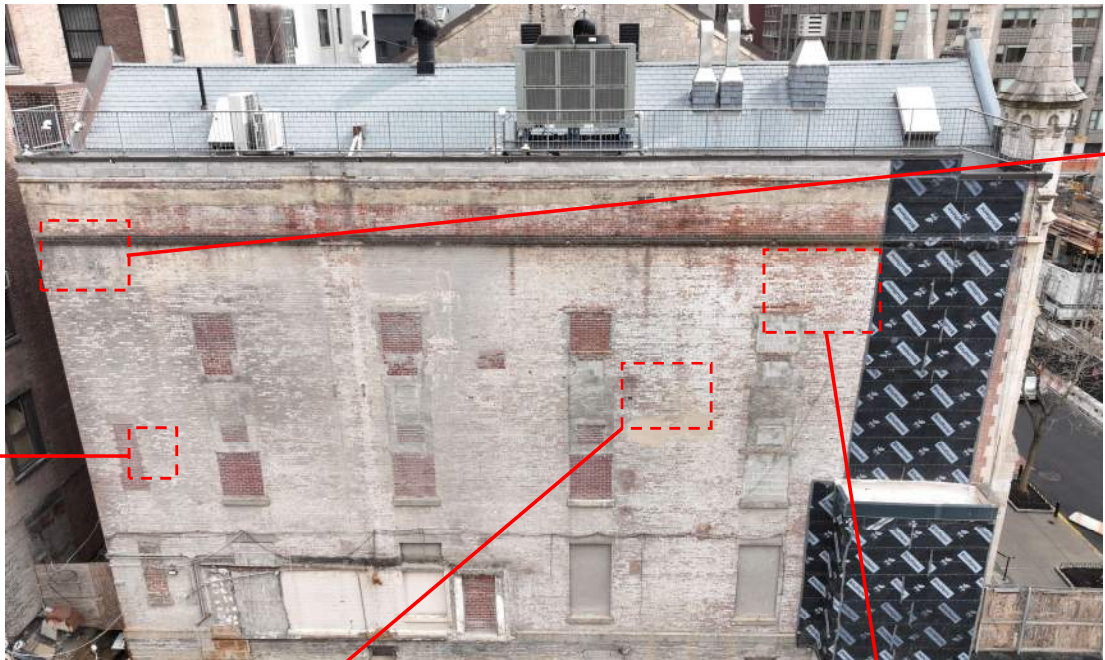
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# EXISTING CONDITIONS – Waterproofing coatings over deteriorated brick



Overview of West Elevation Current Condition



The West Elevation was previously coated with a fluid-applied waterproofing. It looks as if the wall has been coated at least two coats the latest being in the 1990's.

The coatings are heavily deteriorated throughout the West Elevation. At areas where the coatings have fully deteriorated, there are clear signs of failed brick finishes.



Close-ups of Coated Wall

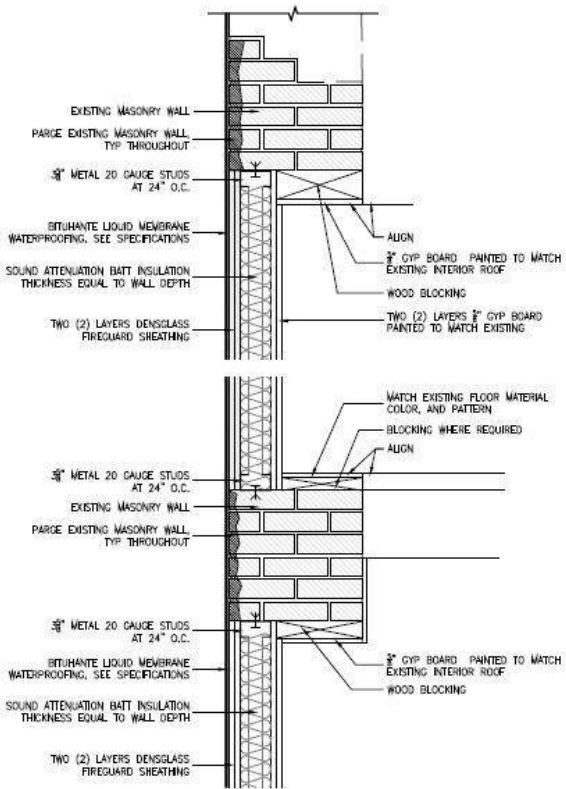


# EXISTING CONDITIONS – Non-masonry infill at building tie-ins



Non-masonry infill at previous building tie-ins

In 2019 the building tie-in corridors were demolished at the second and third floors and infilled with a wall assembly installed flush with the surrounding original brick. This assembly leaves no space for a layer of face brick to be installed in front of the wall assembly without projecting off the existing plane of the brick façade.



Infill wall assembly detail



2019 Before removal of building tie-ins

Overview of DensGlass infill wall assembly installation in progress



# EXISTING CONDITIONS – Non-historic CMU parapet



Close-up of CMU Parapet

The existing non-historic CMU parapet was installed in 2012, to allow for the existing code compliant roof pitch. Railings were also installed at this time atop the CMU parapet in accordance with fall protection requirements. There appears to be an original stone coping or band course below the CMU material.



Overview of North Elevation parapet



Overview of West Elevation Current Condition



Overview of West Elevation CMU parapet



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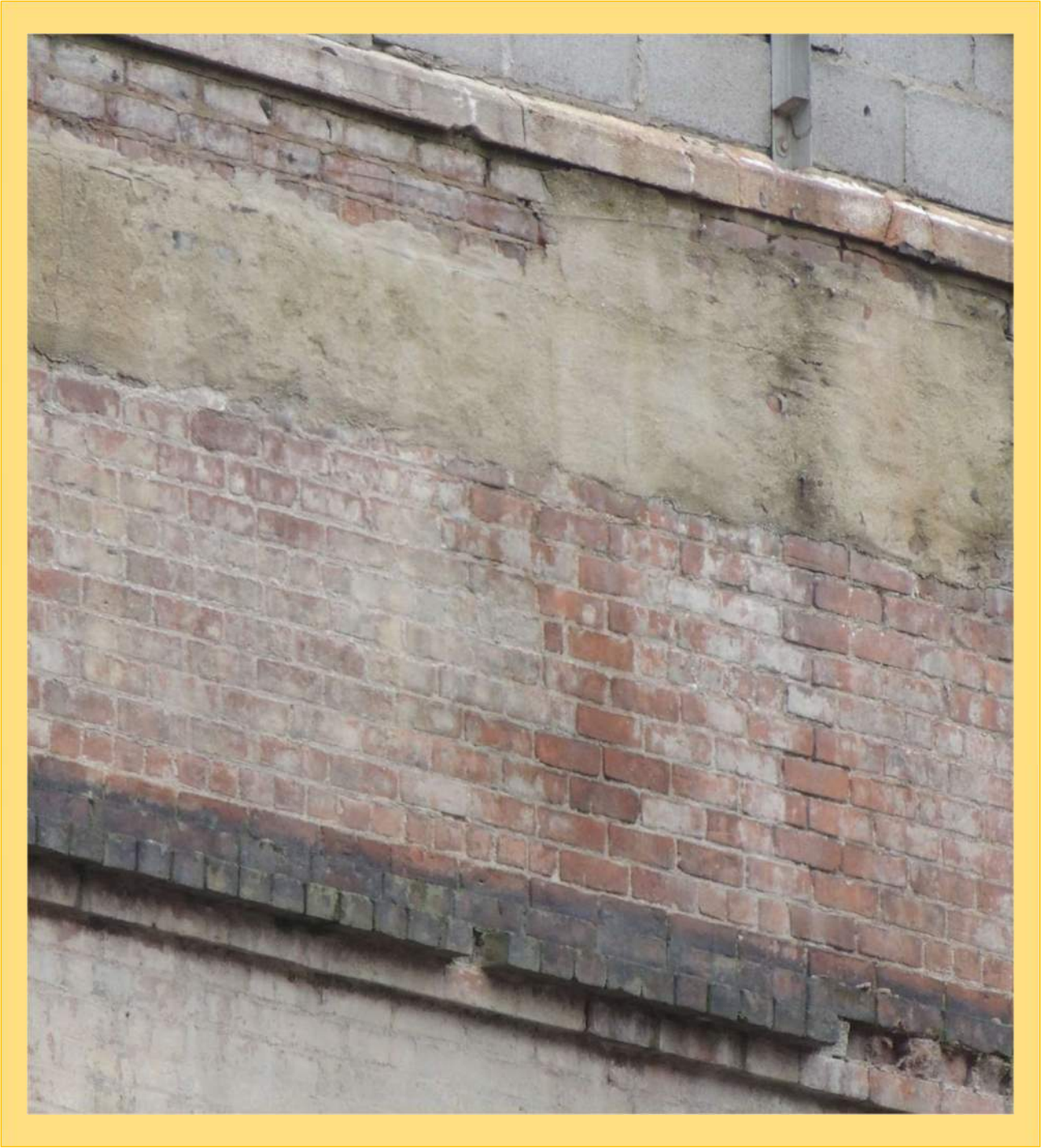
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# EXISTING CONDITIONS – Cementitious coating



Close-up of Cementitious Coating



Overview of West Elevation Current Condition



There is an existing cementitious parge coat on the full length of the upper portion of the West Elevation, this cannot be removed without further damaging the existing brick masonry.



Overview of West Elevation Cementitious Coating



# EXISTING CONDITIONS – Roof plan



Close-up of damaged/ missing masonry at band-course



Overview of West Elevation Current Condition



Overview of damaged/ missing masonry at wall area

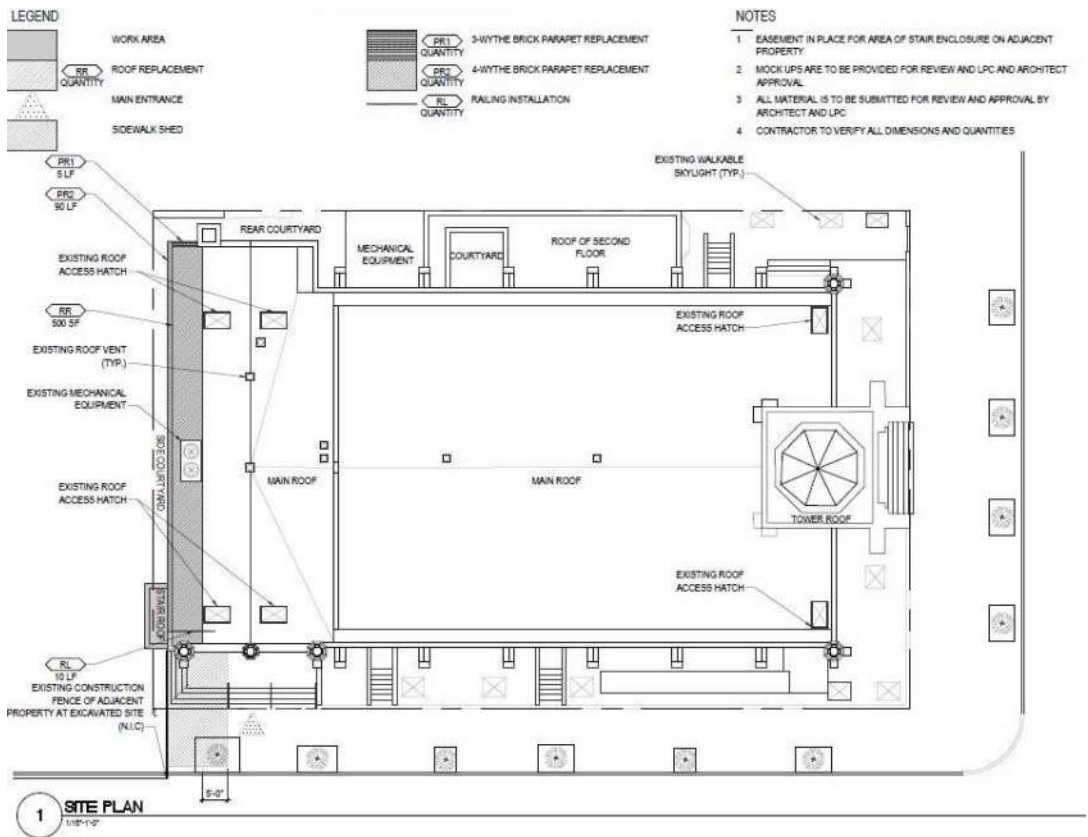
Damaged and spalled brick masonry is present throughout the façade primarily at the projecting brick band-course present at the upper portion of the West Elevation.



Additional missing/damaged brick



# ROOF PLAN





# PROPOSED SCOPE – Removals & repairs to existing brick wall

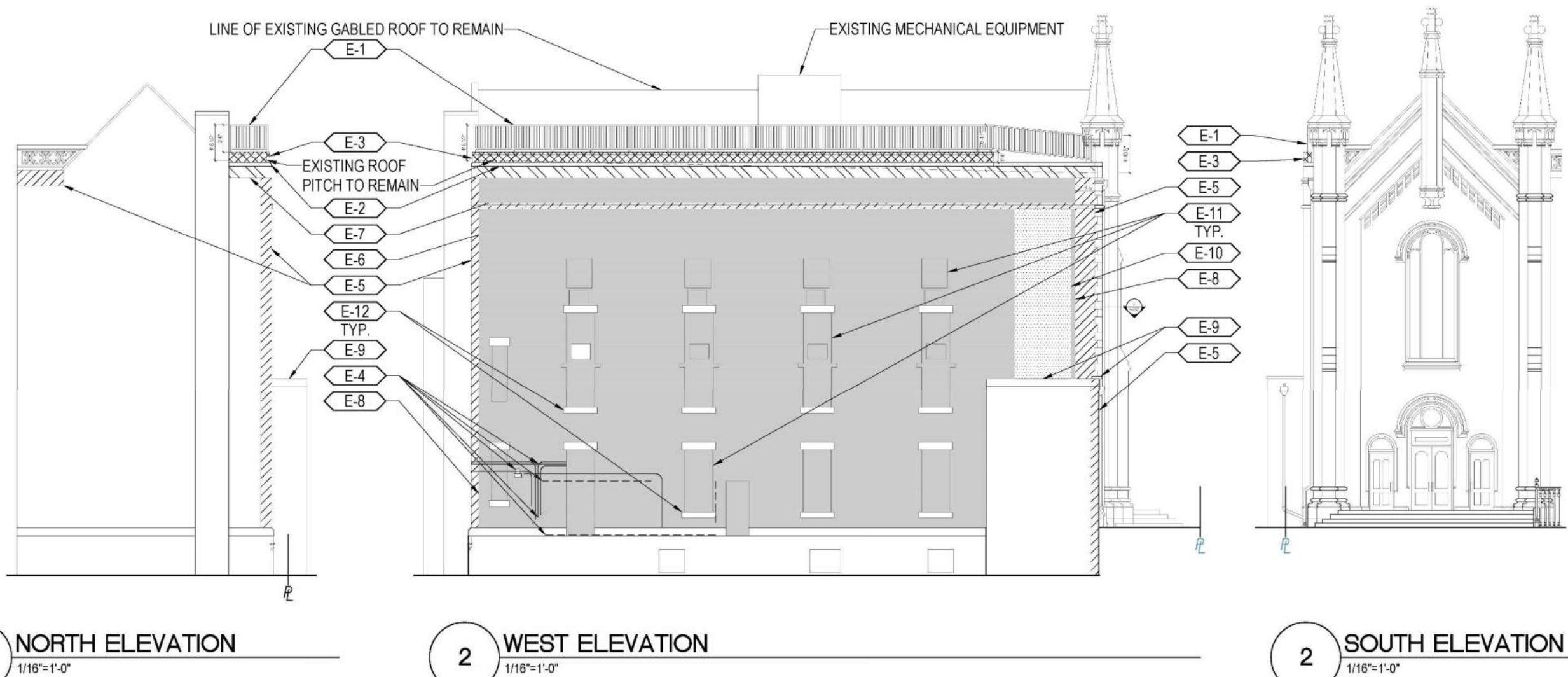
## LEGEND

- E-1 REMOVAL OF EXISTING NON-HISTORIC RAILING
- E-2 REMOVAL OF EXISTING STONE BAND-COURSE
- E-3 REMOVAL OF EXISTING NON- HISTORIC CMU PARAPET
- E-4 REMOVAL OF NON-HISTORIC DEFUNCT CONDUITS, LIGHTING, HANDRAIL, AND MISCELLANEOUS STEEL ANGLES
- E-5 FACE BRICK REPLACEMENT
- E-6 REMOVAL OF EXISTING BRICK BAND COURSE
- E-7 RECONSTRUCTION OF EXISTING 3-WYTHE MASONRY WALL

- E-8 MASONRY RE-POINTING
- E-9 REMOVAL OF EXISTING NON-HISTORIC COPING
- E-10 EXISTING DENSGLASS SHEATHING WALL ASSEMBLY CONCEALED WITH BITUTHENE TO BE REINFORCED
- E-11 EXISTING PREVIOUSLY INFILLED PUNCHED MASONRY OPENINGS (DOORS, WINDOWS, AND THROUGH-WALL A/C) TO REMAIN
- E-12 REMOVAL OF EXISTING STONE WINDOWSILLS
- SECTION CALLOUTS
- PROPERTY LINE

## NOTES
















- 1 BRICK REPLACEMENT AT NORTH AND SOUTH ENDS OF WEST WALL TO BE COORDINATED WITH BRICK VENEER TIE-INS





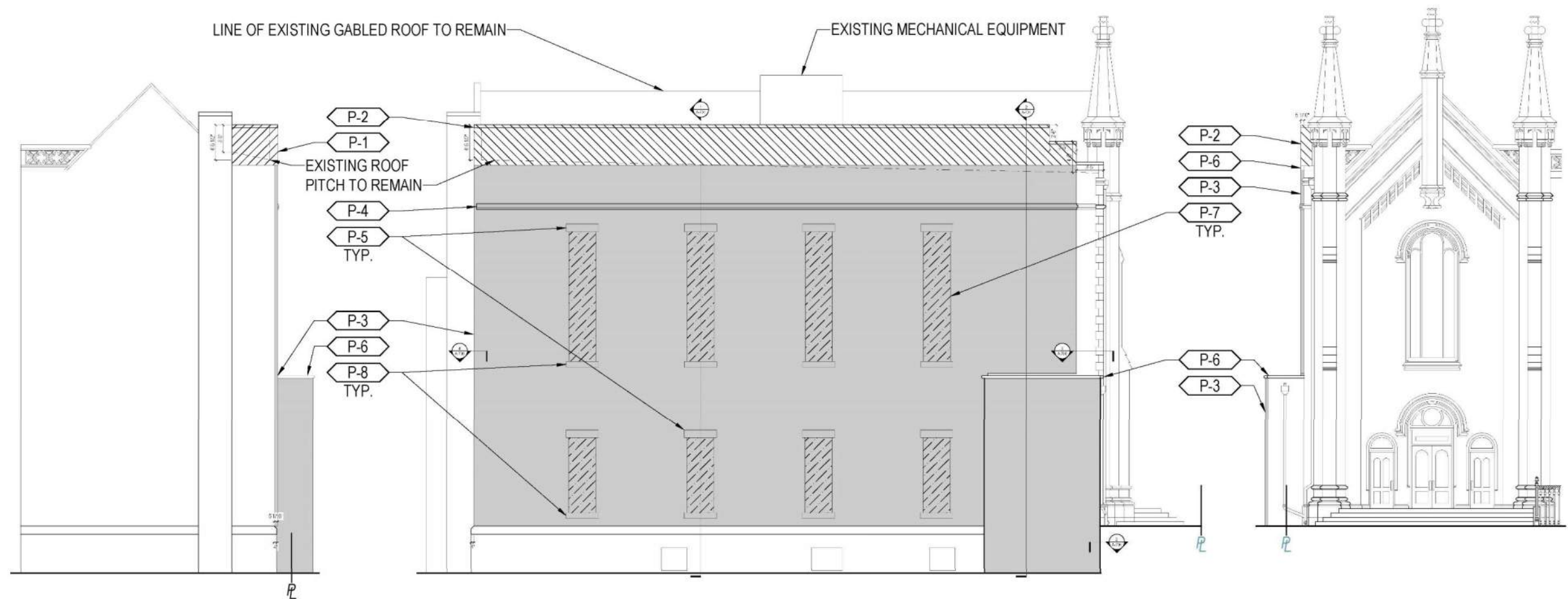
## **PROPOSED SCOPE –Installations**

## LEGEND

- |   |   |  |   |   |  |
|---|---|--|---|---|--|
|  |  | INSTALLATION OF 3-WYTHE MASONRY PARAPET                                  |  |  | INSTALLATION OF NATURAL STONE COPINGS                      |
|  |  | INSTALLATION OF 4-WYTHE MASONRY PARAPET                                  |   |  | INSTALLATION OF RECESSED MASONRY BLIND-WINDOWS             |
|  |  | INSTALLATION OF BRICK VENEER   |   |  | INSTALLATION OF NATURAL STONE WINDOWSILLS AT BLIND-WINDOWS |
|   |  | INSTALLATION OF BRICK BAND-COURSE TO MATCH HISTORIC COURSING AND PROFILE |  |   | SECTION CALLOUTS   |
|   |  | INSTALLATION OF NATURAL STONE LINTELS AT BLIND-WINDOWS                   |  |  | PROPERTY LINE  |

## NOTES

- 1 BRICK MASONRY VENEER CAVITY WALL TO BE INSTALLED AT AT AREA INDICATED ON ELEVATIONS AND AT THE NORTH AND WEST ELEVATIONS OF THE STAIR ENCLOSURE OVER EXISTING BRICK MASONRY WALL AREA
- 3 SHELF ANGLES TO BE INSTALLED TO SUPPORT BRICK MASONRY VENEER CAVITY WALL
- 4 BRICK MASONRY VENEER CAVITY WALL TO KEY-IN TO EXISTING BONDED MASONRY WALL AT SOUTH AND NORTH



NORTH ELEVATION

1 NORTH ELEVATION  
1/16"=1'-0"

WEST ELEVATION

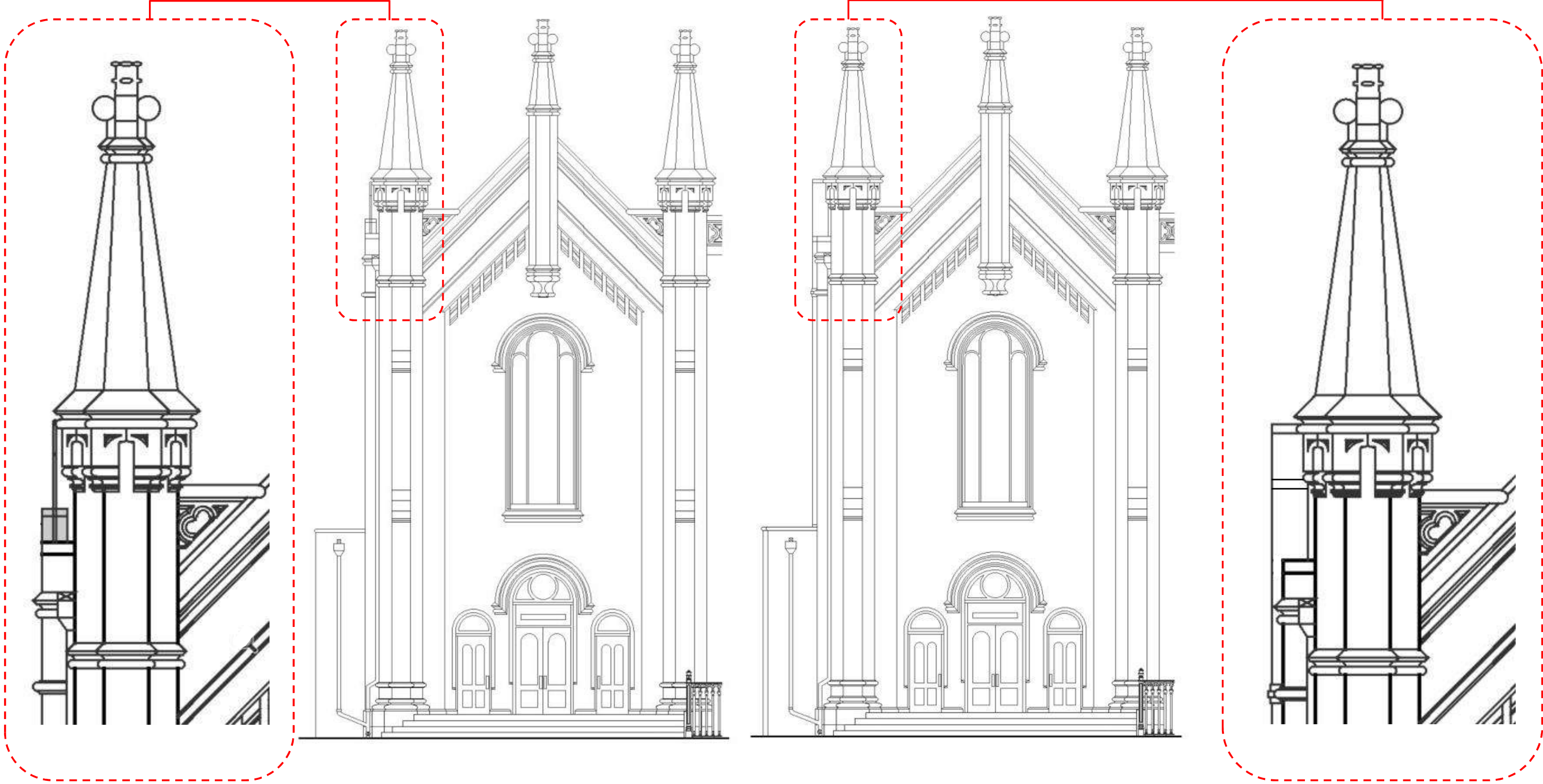
2 WEST ELEVATION  
1/16"=1'-0"

SOUTH ELEVATION

2 SOUTH ELEVATION  
1/16"=1'-0"



# SOUTH ELEVATION



Existing South Elevation

Proposed South Elevation



# WEST ELEVATION

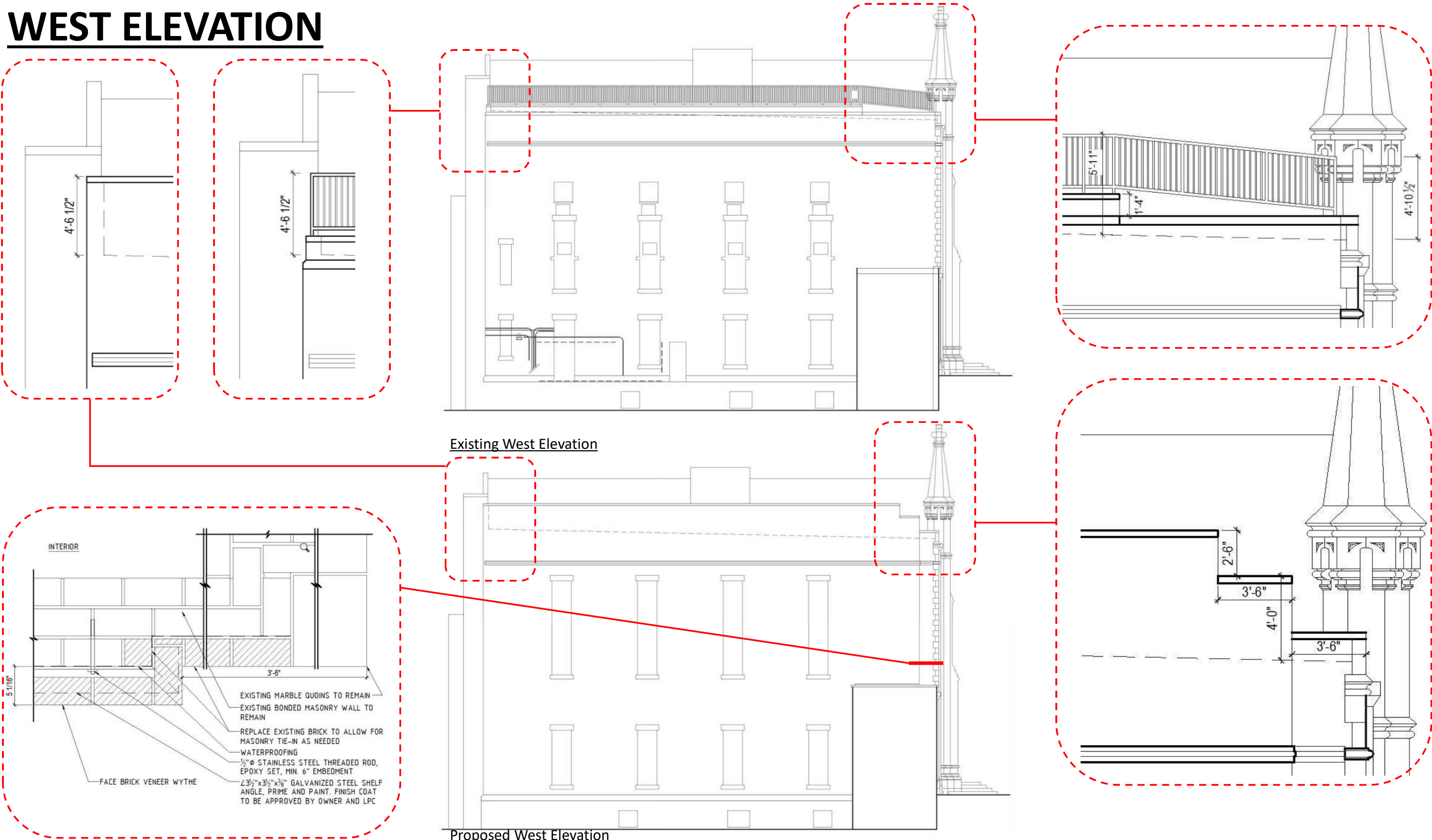
Existing West Elevation

Proposed West Elevation

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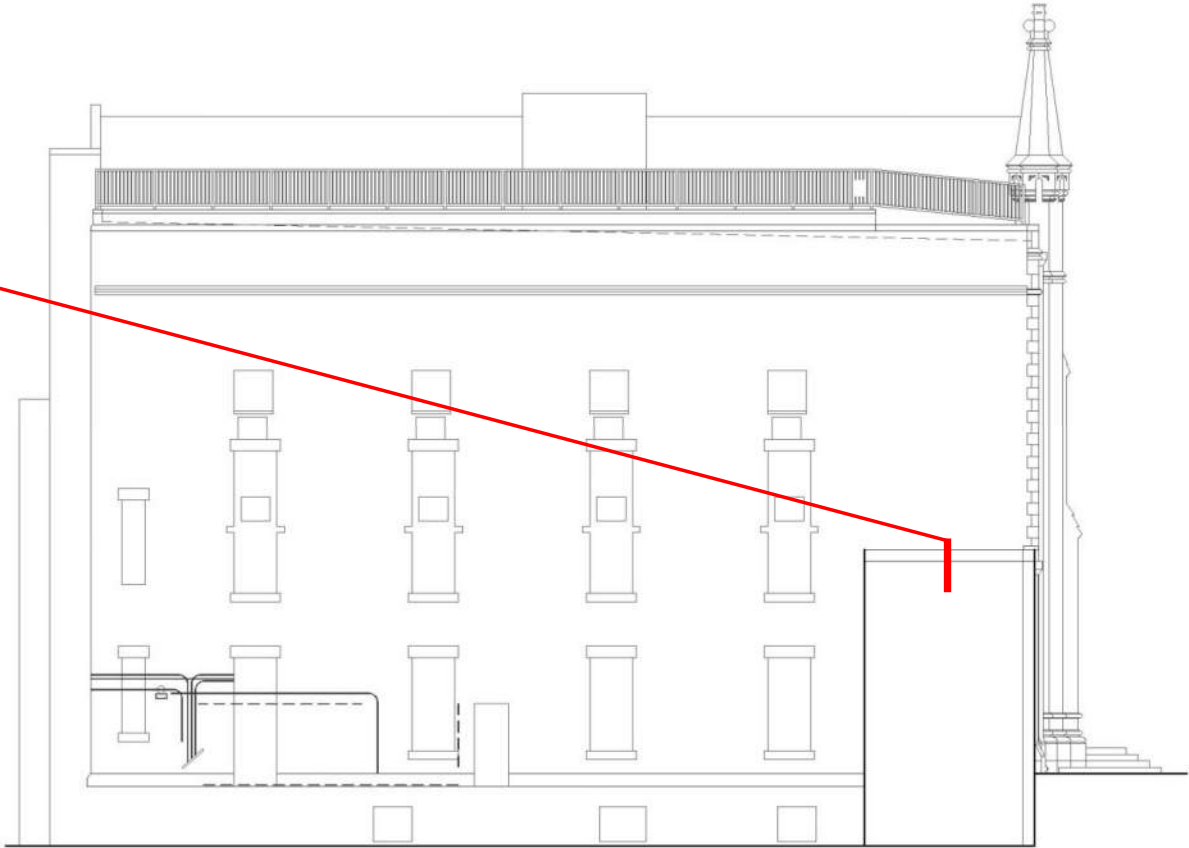
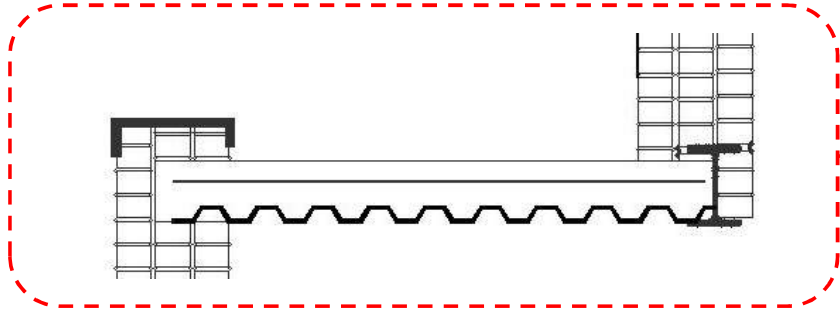
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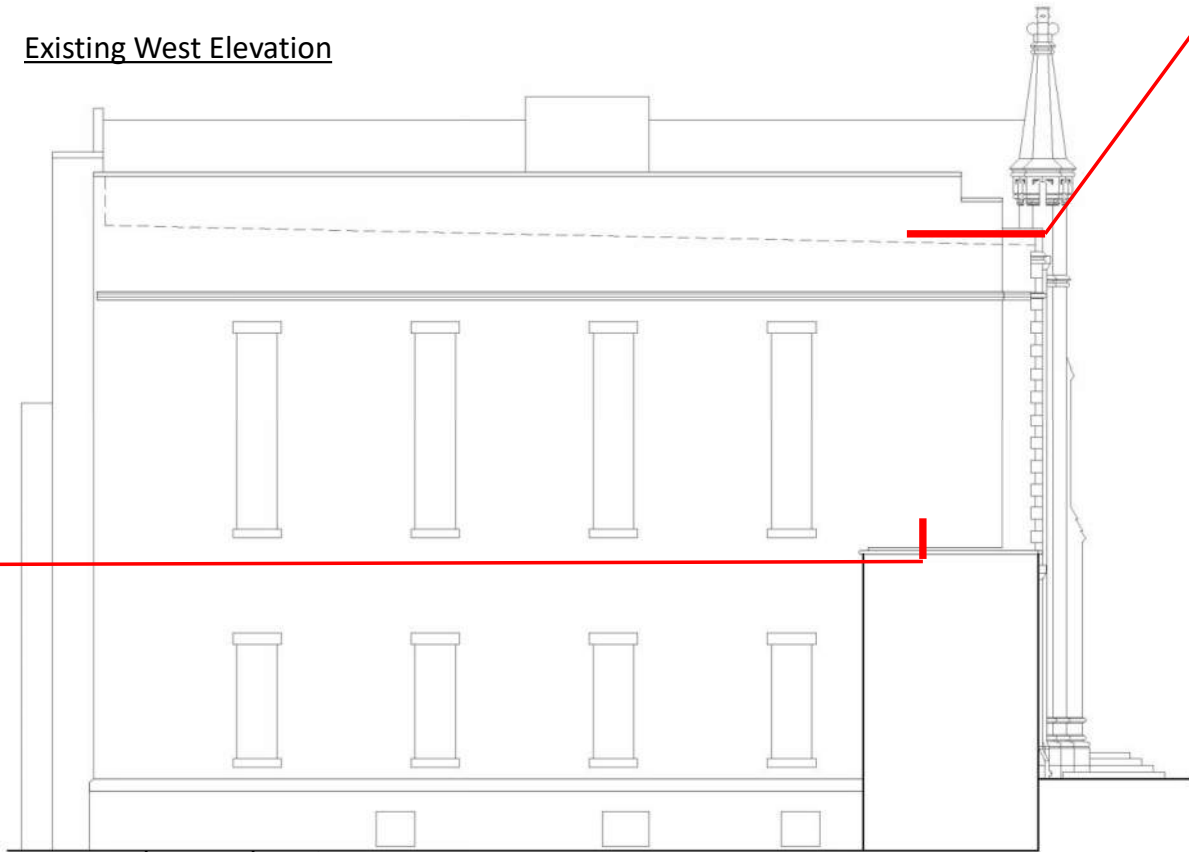
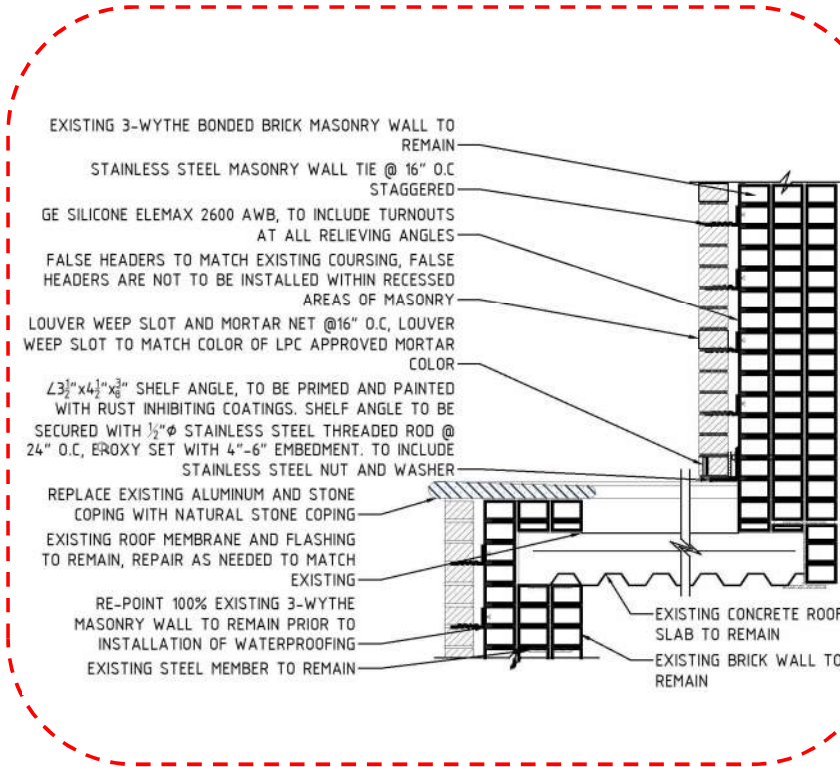




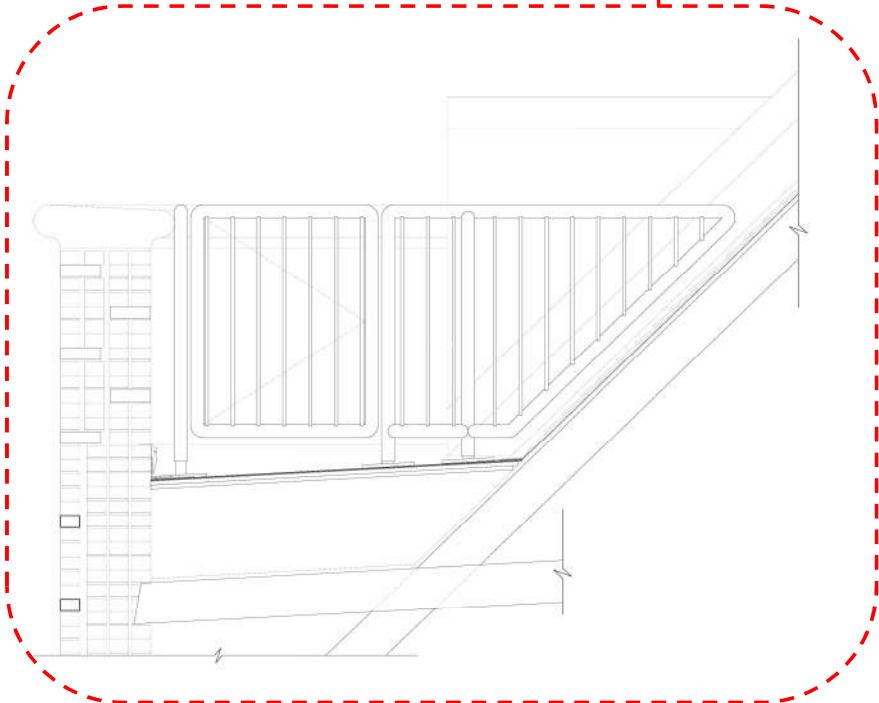
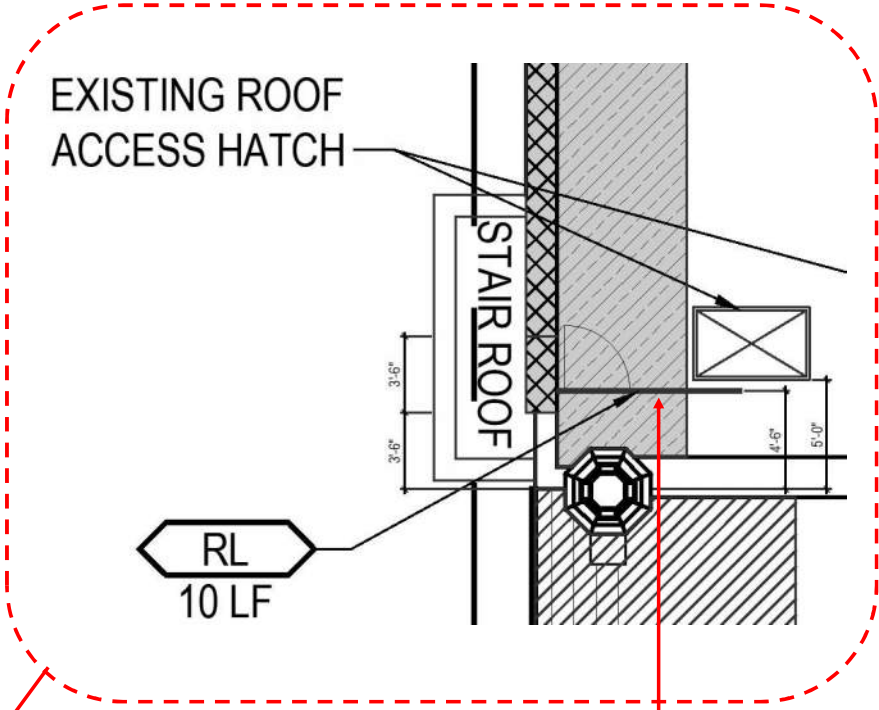
# WEST ELEVATION



Existing West Elevation



Proposed West Elevation



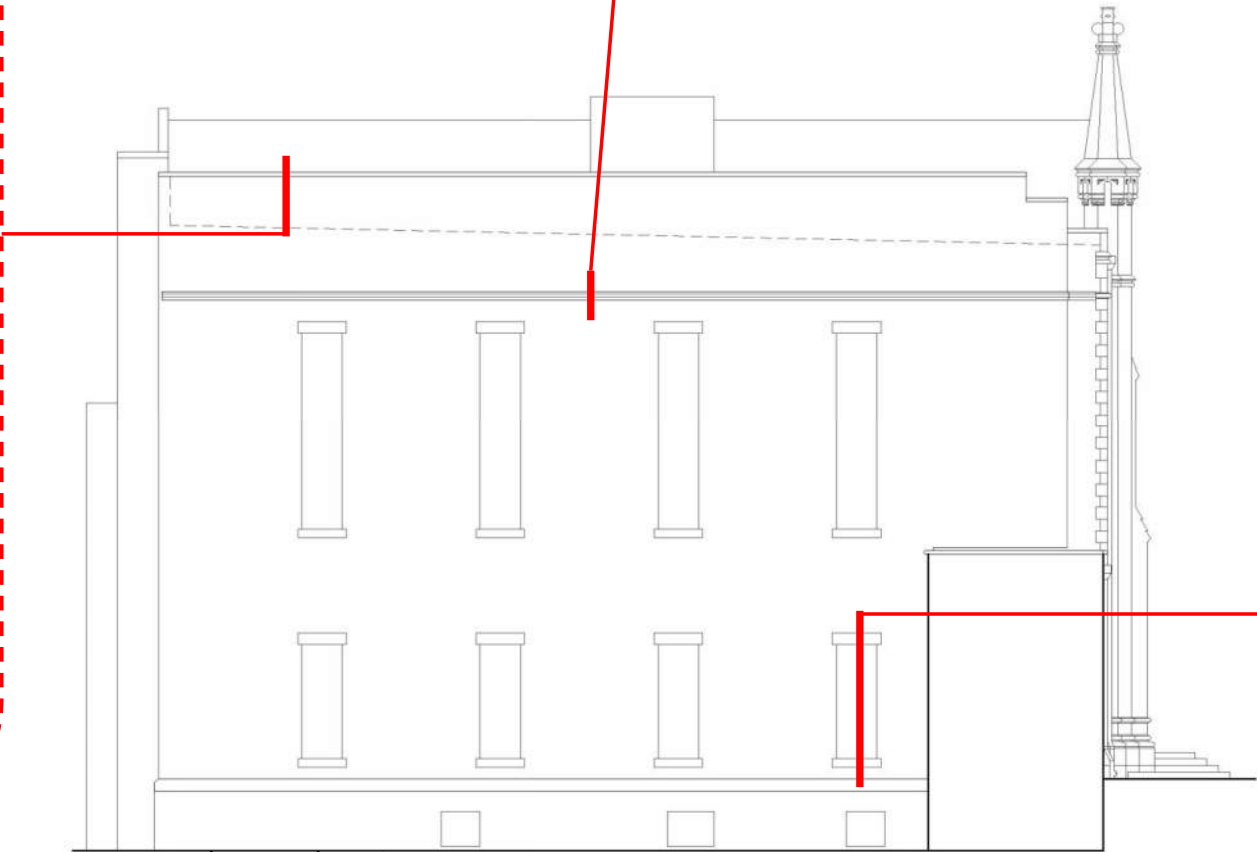
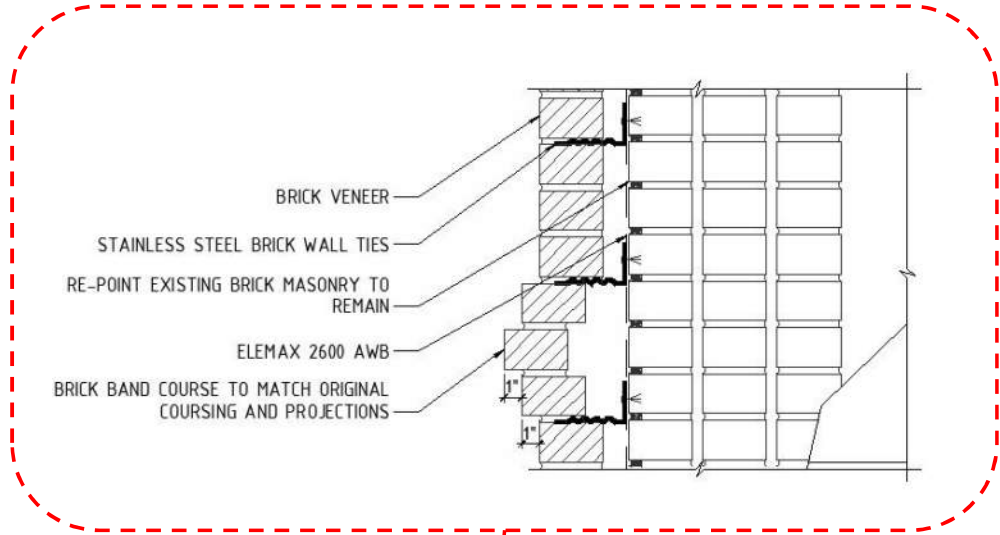
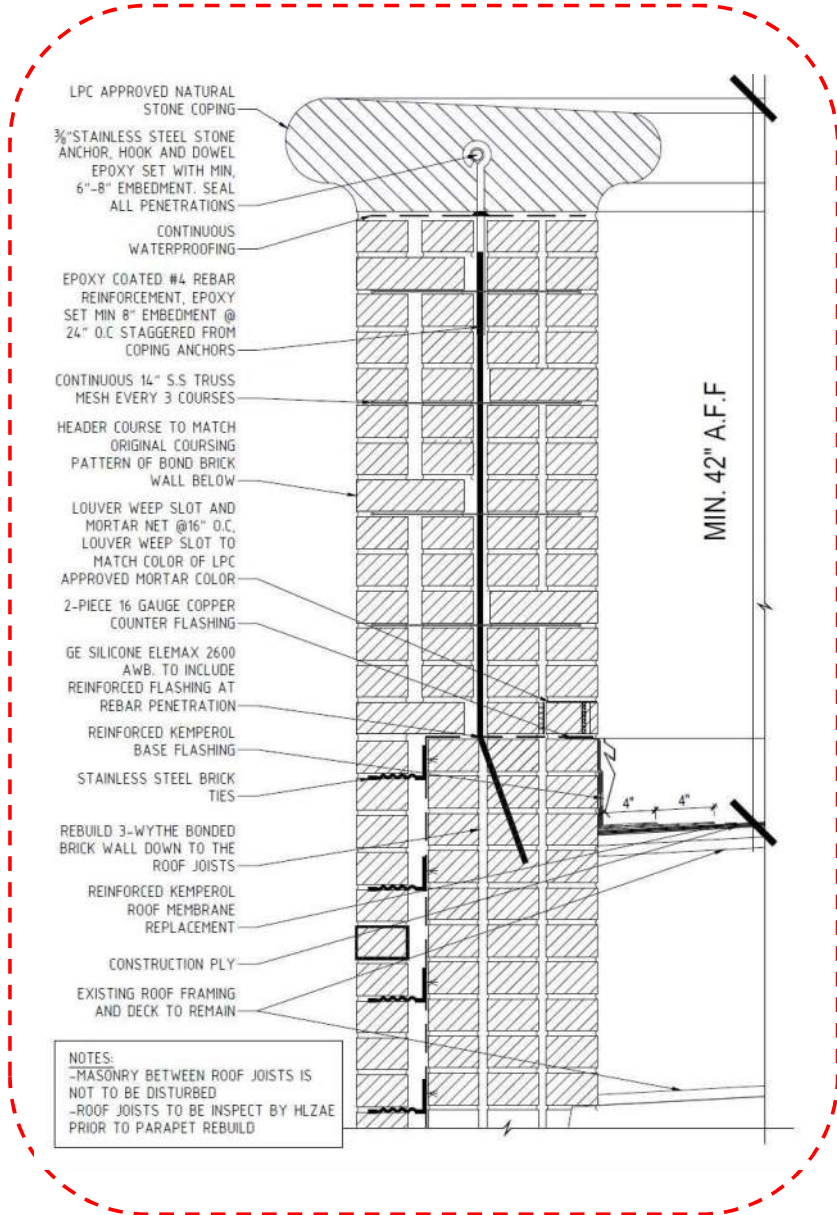
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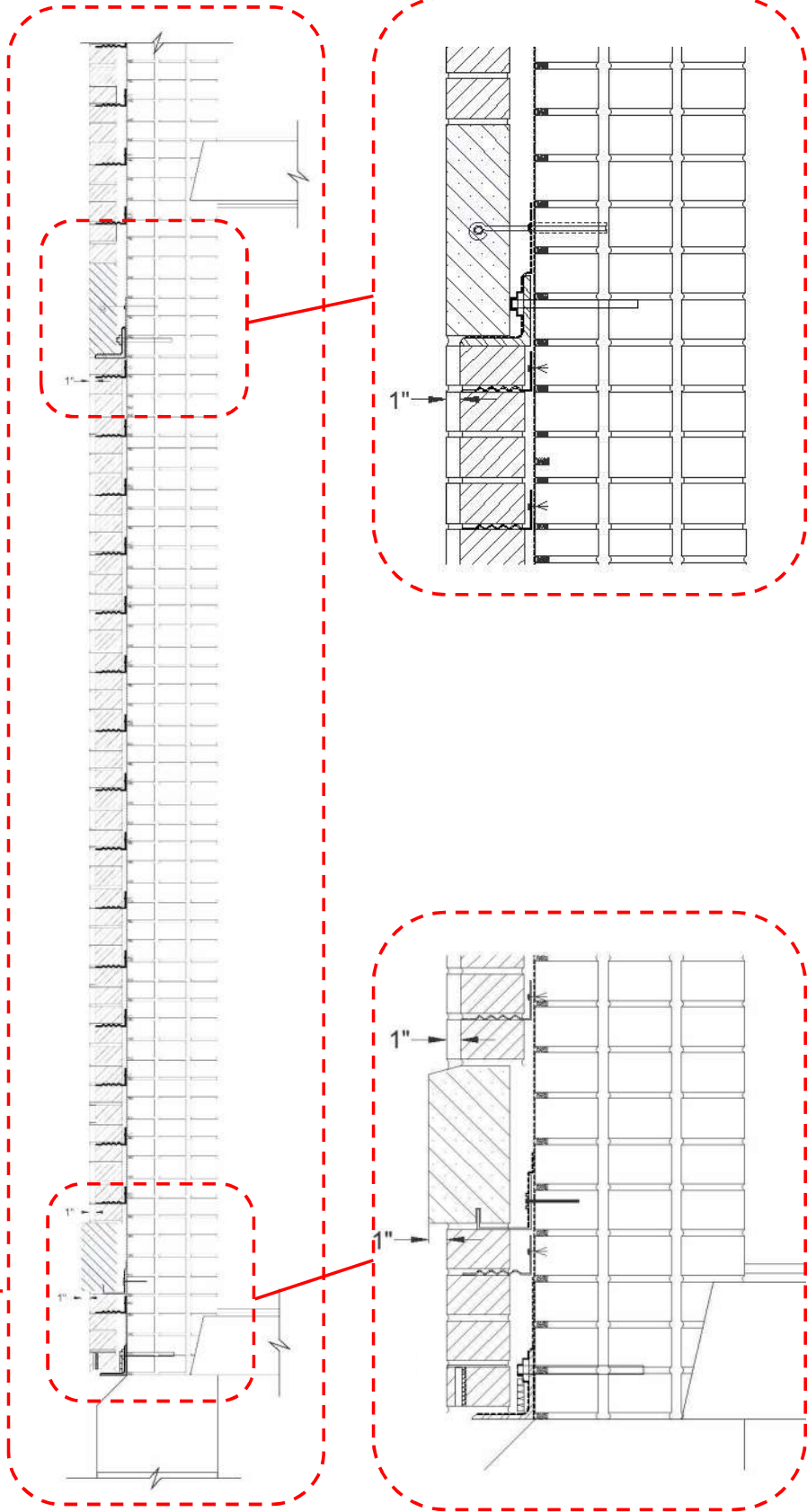
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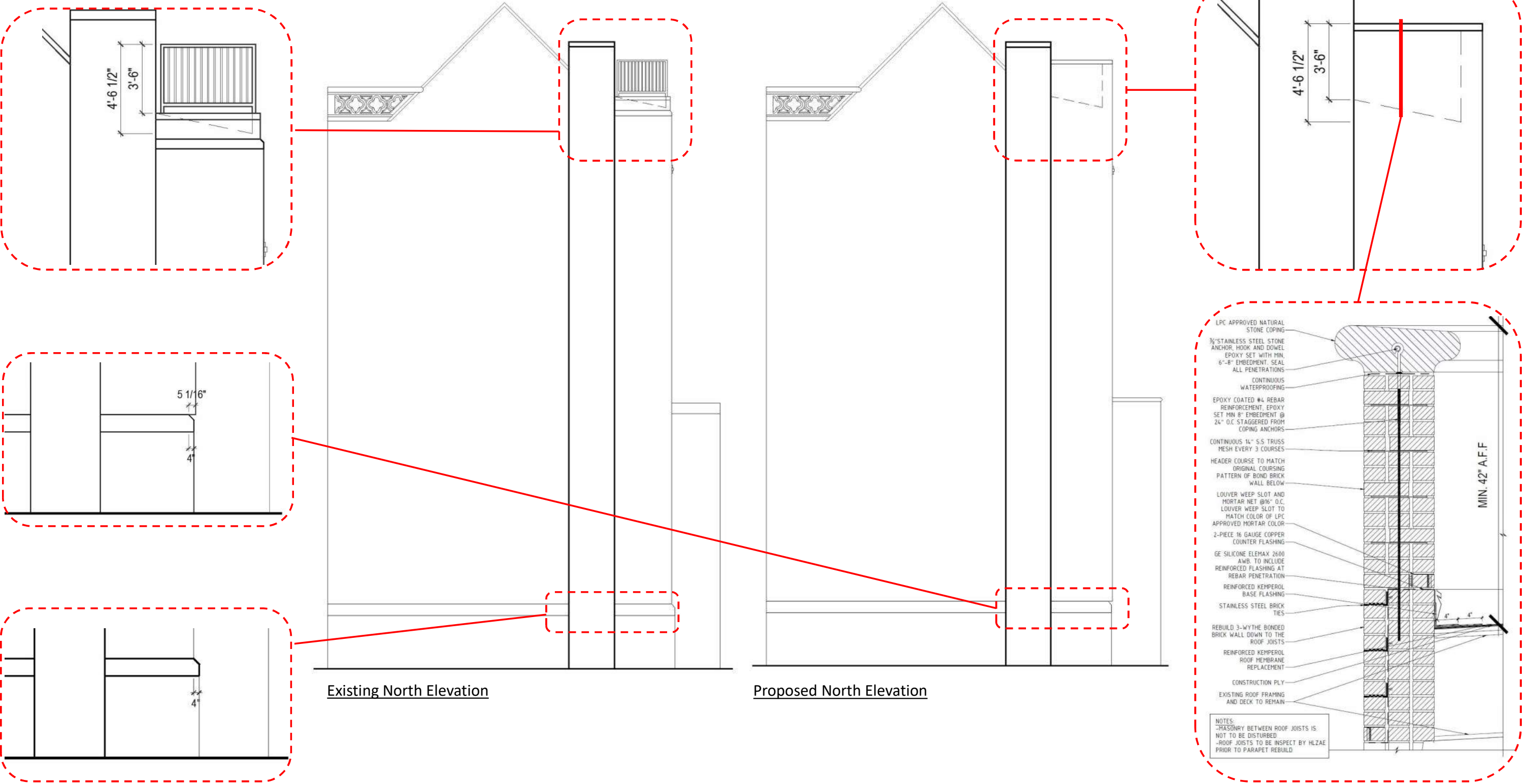


Proposed West Elevation



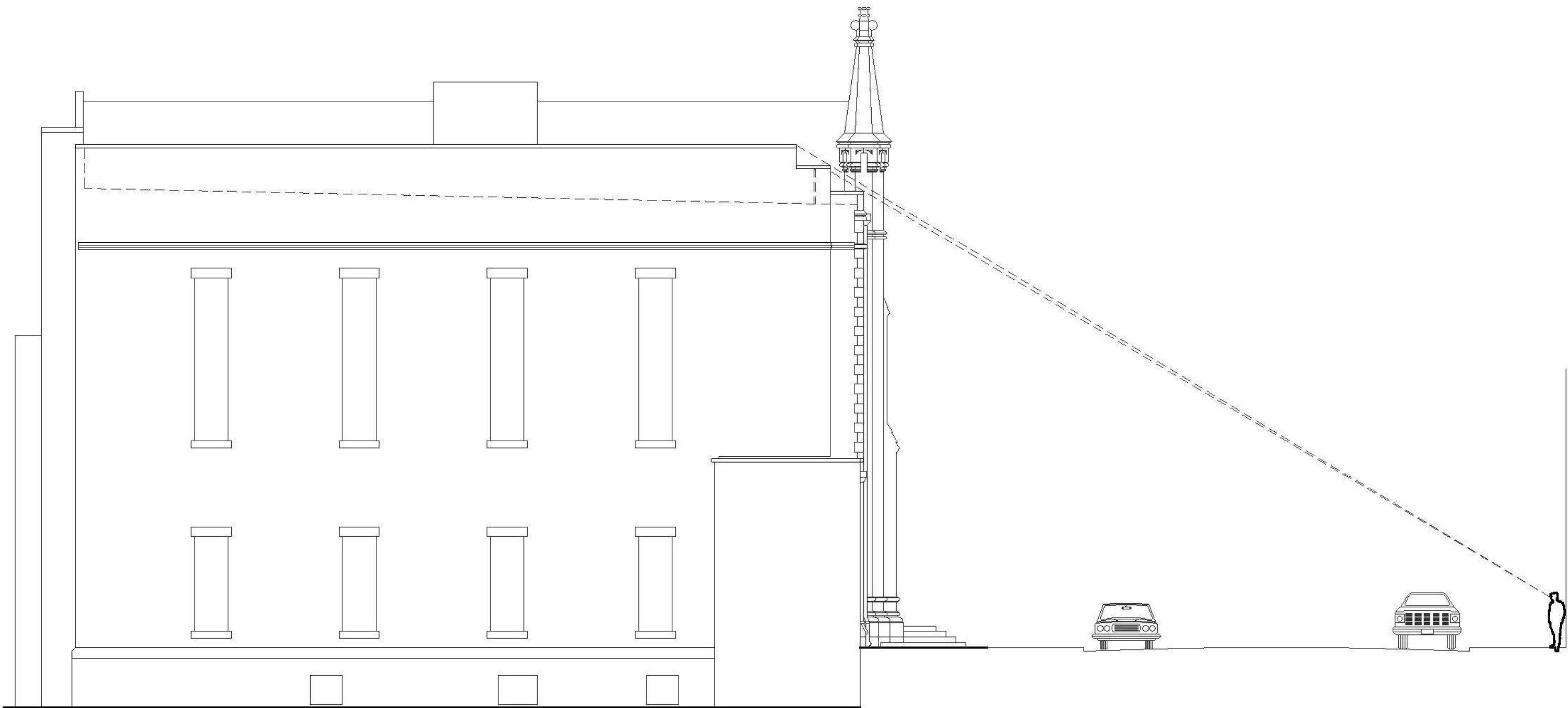


# NORTH ELEVATION



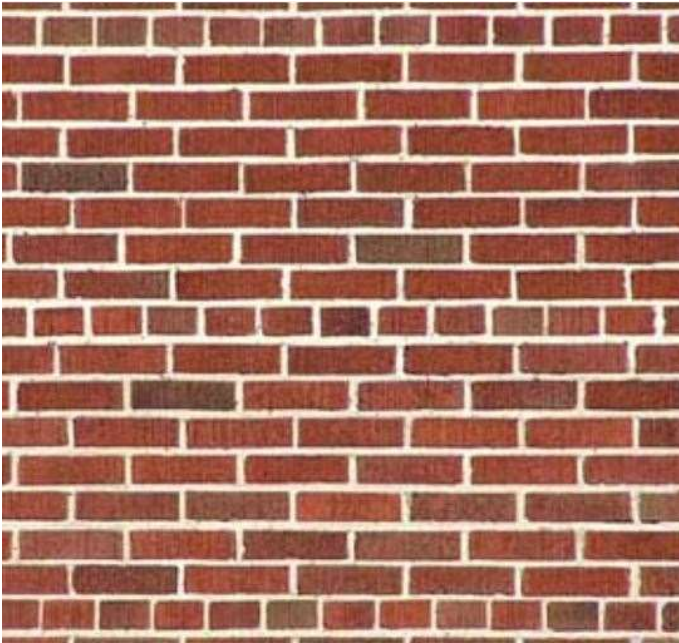


# LINE OF SIGHT DIAGRAM





# Material Samples



Common Bond Brick Coursing  
We are proposing to match the existing historic common bond brick coursing.



Glen-Gery Brandywine Handmade  
Series – Craftsman Handmade Series  
Style – Handmade  
Color - Burgundy



Glen-Gery Shenandoah 1776  
Texture/ Finish – Antique  
Style – Molded  
Color - Burgundy



Existing brick at chimney – unclean



Existing brick at North Elevation - unclean



Existing stone lintels and sills at West Elevation



Proposed lintel and sill material – Preservationist believes the historic material to be brown stone



The current proposal is:

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Borough of Manhattan**

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