

THE CITY OF NEW YORK
MANHATTAN COMMUNITY BOARD 3

59 East 4th Street - New York, NY 10003
Phone: (212) 533-5300 - Fax: (212) 533-3659
www.cb3manhattan.org - info@cb3manhattan.org

Gigi Li, Board Chair

Susan Stetzer, District Manager

Community Board 3 Liquor License Application Questionnaire

Please bring the following items to the meeting:

NOTE: ALL ITEMS MUST BE SUBMITTED FOR APPLICATION TO BE CONSIDERED.

- Photographs of the inside and outside of the premise.
- Schematics, floor plans or architectural drawings of the inside of the premise.
- A proposed food and or drink menu.
- Petition in support of proposed business or change in business with signatures from residential tenants at location and in buildings adjacent to, across the street from and behind your proposed location. Petition must give proposed hours and method of operation. For example: restaurant, sports bar, combination restaurant/bar. (petition provided)
- Letter of notice of proposed business to block or tenant association if one exists. E-mail the CB3 office at info@cb3manhattan.org for help to find block associations.
- Photographs of proof of conspicuous posting of meeting with newspaper showing date.
- If applicant has been or is licensed anywhere in City, letter from applicable community board indicating history of complaints and other comments.

Check which you are applying for:

- new liquor license alteration of an existing liquor license corporate change

Check if either of these apply:

- sale of assets upgrade (change of class) of an existing liquor license

Today's Date: May 31, 2013

If applying for sale of assets, you must bring letter from current owner confirming that you are buying business or have the seller come with you to the meeting.

Type of license: Tavern Wine Is location currently licensed? Yes No

If alteration, describe nature of alteration: Relocation of stairs; cosmetic interior design alterations

Previous or current use of the location: Grocery Store (prior use)

Corporation and trade name of current license: Prior licensee: Rivington Deli Corp.

APPLICANT:

Premise address: 94-96 Rivington Street, New York, NY 10002

Cross streets: Orchard and Ludlow

Name of applicant and all principals: Alpha 94, LLC
Sophien Bennaceur, Imed Bennaceur

Trade name (DBA): Rouge NYC

PREMISE:

Type of building and number of floors: Mixed Use; 6 floors

Will any outside area or sidewalk cafe be used for the sale or consumption of alcoholic beverages?
(includes roof & yard) Yes No If Yes, describe and show on diagram: _____

Does premise have a valid Certificate of Occupancy and all appropriate permits, including certificate of occupancy for back or side yard intended for commercial use? Yes No

Indoor Certificate of Occupancy 16 Outdoor Certificate of Occupancy _____
(fill in maximum NUMBER of people permitted)

Do you plan to apply for Public Assembly permit? Yes No

Zoning designation (check zoning using map: <http://gis.nyc.gov/doitt/nycitymap/> - please give specific zoning designation, such as R8 or C2):

C4-4A

Is this premise wheel chair accessible? Yes No

PROPOSED METHOD OF OPERATION:

What type of establishment will this be (i.e.: restaurant, bar, performance space, club, hotel)?
Wine Bar

Will any other business besides food or alcohol service be conducted at premise? Yes No
If yes, please describe what type: N/A

What are the proposed days/hours of operation? (Specify days and hours each day and hours of outdoor space) Sunday-Thursday (12pm-1am), Friday-Saturday (12pm-2am), Daily from 9am-11am for breakfast

Number of tables? 1 communal, 2 small tables Number of seats at tables? 14

How many stand-up bars/ bar seats are located on the premise? 1

(A **stand up bar** is any bar or counter (whether with seating or not) over which a patron can order, pay for and receive an alcoholic beverage)

Describe all bars (length, shape and location): 14'1" W x 3' D located on ground floor, rear of premises

Any food counters? Yes No If Yes, describe: Bar will include a food prep area

Does premise have a full kitchen Yes No?

Does it have a food preparation area? Yes No (If any, show on diagram)

Is food available for sale? Yes No If yes, describe type of food and submit a menu

Small plates of hot and cold French and Mediterranean cuisine

What are the hours kitchen will be open? Food will be served from opening until midnight

Will a manager or principal always be on site? Yes No If yes, which? _____

How many employees will there be? Approx 10

Do you have or plan to install French doors accordion doors or windows?

Will you agree to close any doors and windows at 10:00 P.M. every night? Yes No

Will there be TVs/monitors? Yes No (If Yes, how many?) _____

Will premise have music? Yes No

If Yes, what type of music? Live musician DJ Juke box Tapes/CDs/iPod

If other type, please describe _____

What will be the music volume? Background (quiet) Entertainment level

Please describe your sound system: Simple sound system with 4 speakers, no subwoofer, only playlist on iPod

Will you host promoted events, scheduled performances or any event at which a cover fee is charged? If Yes, what type of events or performances are proposed? N/A

How do you plan to manage vehicular traffic and crowds on the sidewalk caused by your establishment? Please attach plans.

Will there be security personnel? Yes No (If Yes, how many and when) _____

How do you plan to manage noise inside and outside your business so neighbors will not be affected? Please attach plans.

Do you have or plan to install sound-proofing? There is some existing insulation in ceiling

APPLICANT HISTORY:

Has this corporation or any principal been licensed previously? Yes No

If yes, please indicate name of establishment: _____

Address: _____ Community Board # _____

Dates of operation: _____

If you answered "Yes" to the above question, please provide a letter from the community board indicating history of complaints or other comments.

Has any principal had work experience similar to the proposed business? Yes No If Yes, please attach explanation of experience or resume. *20+ years business & managerial experience in diverse industries

Does any principal have other businesses in this area? Yes No If Yes, please give trade name and describe type of business _____

Has any principal had SLA reports or action within the past 3 years? Yes No If Yes, attach list of violations and dates of violations and outcomes, if any.

Attach a separate diagram that indicates the location (**name and address**) and total number of establishments selling/serving beer, wine (B/W) or liquor (OP) for 2 blocks in each direction. Please indicate whether establishments have On-Premise (OP) licenses. Please label streets and avenues and identify your location. Use letters to indicate **Bar, Restaurant**, etc. The diagram must be submitted with the questionnaire to the Community Board before the meeting.

LOCATION:

How many licensed establishments are within 1 block? Please see attached diagram _____

How many licensed establishments are within 500 feet? 61 _____

Is premise within a 500 foot radius of 3 or more establishments with OP licenses? Yes No

How many On-Premise (OP) liquor licenses are within 500 feet? 48 _____

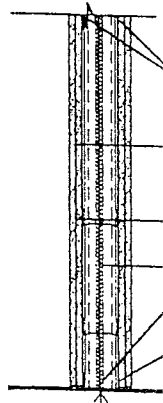
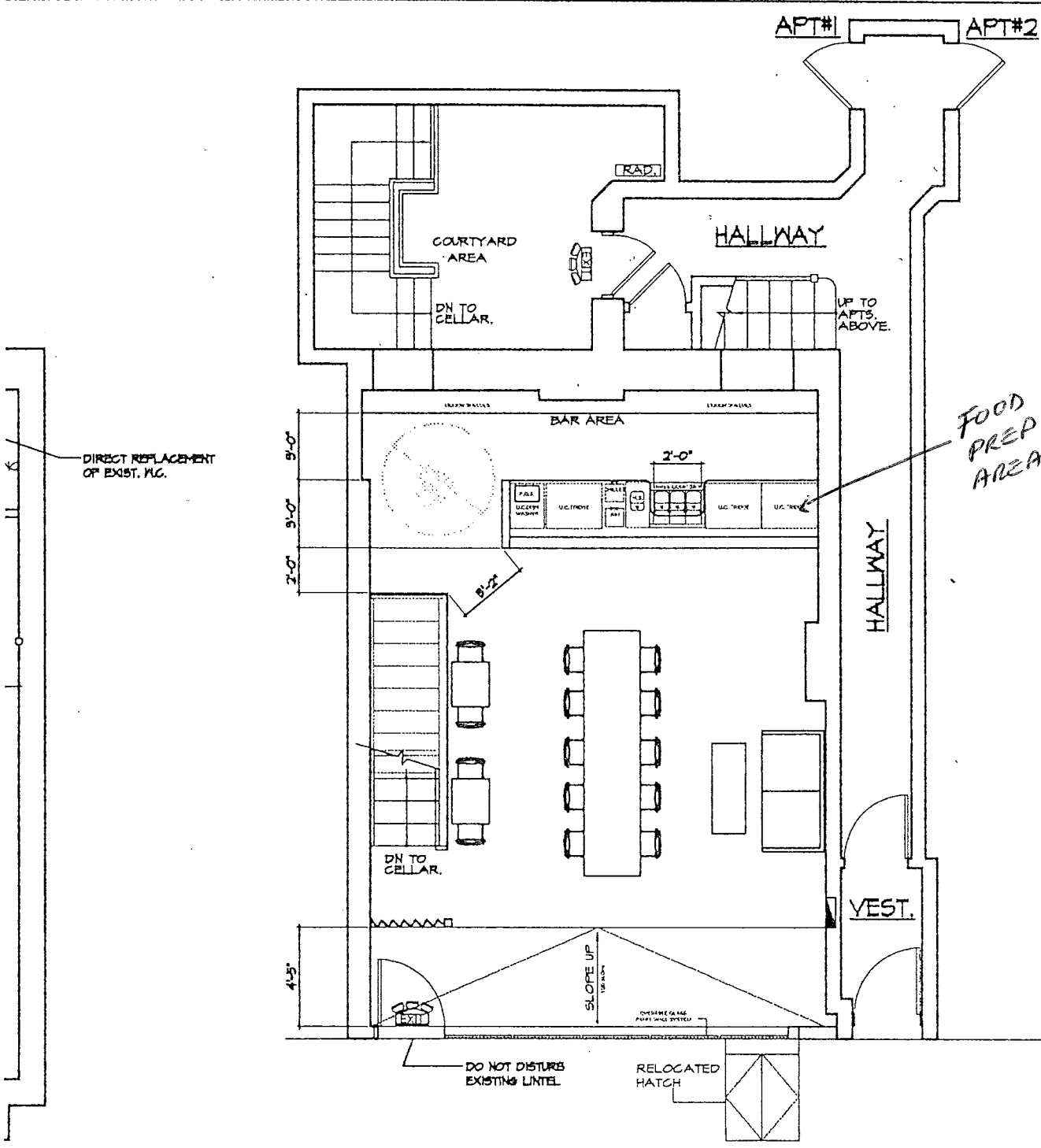
Is premise within 200 feet of any school or place of worship? Yes No

If there is a school or place of worship within 200 feet of your premise on the same block, submit a block plot diagram or area map showing its location in proximity to your premise and indicate the distance and name and address of the school or house of worship.

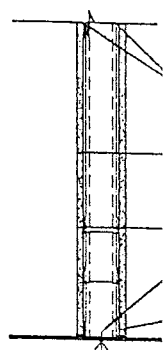
COMMUNITY OUTREACH:

If there are block associations or tenant associations in the immediate vicinity of your location, you must contact them. **Please attach proof (copies of letters and poster) that you have advised these groups of your application with sufficient time for them to respond to your notice.** You may contact the Community Board at info@cb3manhattan.org for any contact information.

Please use provided petitions, which clearly state the name, address, license for which you are applying, and the hours and method of operation of your establishment at the top of each page. (Attach additional sheets of paper as necessary).



1 2HR FIRE



3 INTERIOR PARTITIC

1'-0"

RIVINGTON STREET

8'x
PL
BE
3/4
EX
4'L

X NUMBER

ROUGE BAR 94 RIVINGTON STREET NEW YORK, NY 10002

GENERAL NOTES

1. THE GENERAL NOTES AND CONSTRUCTION DOCUMENTS HEREIN SHALL APPLY TO THE WORK OF THIS PROJECT AND SHALL BE CAREFULLY REVIEWED BY THE GENERAL CONTRACTOR AND ALL OF HIS SUBCONTRACTORS. THE GENERAL CONTRACTOR SHALL COORDINATE EACH SUBCONTRACTOR'S PARTICULAR WORK WITH ALL OTHER SUBCONTRACTOR'S WORK ASSOCIATED WITH THIS PROJECT. THE GENERAL CONTRACTOR SHALL SUPPLY THE SUBCONTRACTOR WITH COMPLETE SETS OF DRAWINGS AND/OR DISCREPANCIES BETWEEN TRADES SHALL BE BROUGHT TO NDA'S ATTENTION FOR RESOLUTION.
2. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL CARRY OUTWORKS COOPERATION AND INTERDEPENDENCE. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR.
3. EXISTING CONDITIONS: BEFORE BIDDING, THE CONTRACTOR SHALL VISIT THE JOB SITE AND ASCERTAIN ALL EXISTING CONDITIONS WHICH WILL AFFECT HIS WORK. FAILURE TO DO SO SHALL BE ACCEPTED AS A REASON FOR ANY DELAYS OR ADDITIONAL COSTS INCURRED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR PERIODS SATISFACTORY TO THE GENERAL CONTRACTOR.
4. ALL WORK PERFORMED FOR THIS PROJECT SHALL COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THOSE LISTED IN THE CODE DATA PORTION OF THE DRAWINGS AND WITH THE REQUIREMENTS OF THE UTILITY COMPANIES WHOSE SERVICES SHALL BE UTILIZED. ALL MODIFICATIONS REQUIRED BY THE BUILDING DEPARTMENT, ANY REQUIRED CHANGES WILL BE SHOWN AS DETERMINED BY THE ARCHITECT. ON REVISED DRAWINGS ISSUED TO THE GENERAL CONTRACTOR.
5. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL MAKE ARRANGEMENTS FOR OBTAIN AND PAY FOR ALL PERMITS, TESTS, INSPECTIONS, AND APPROVALS REQUIRED FOR HIS PORTION OF WORK.
6. THE GENERAL CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ALL MANDATORY BUILDING INSPECTIONS REQUIRED BY THE BUILDING DEPARTMENT TO BE MADE BY THE ARCHITECT OR ANY OF HIS ENGINEERS UPON ISSUANCE OF THE PERMIT. THE GENERAL CONTRACTOR MUST ENSURE THAT THE INSPECTION PROCESS IS IN FULL COMPLIANCE WITH THE REQUIREMENTS OF ALL CODES AND AGENCIES HAVING JURISDICTION.
7. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE AWARE OF THE GENERAL CONTRACTOR'S AND ALL SUBCONTRACTORS' OBLIGATIONS TO THE ARCHITECT AND SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY CHANGES TO THE WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY CHANGES TO THE WORK. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE ARCHITECT OF ANY CHANGES TO THE WORK.
8. WRITTEN DIMENSIONS AND NOTES ARE TYPICAL. FOR SIMILAR CONDITIONS UNLESS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS, ALL DIMENSIONS AND CONDITIONS SHOWN ON THE DRAWINGS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING ANY MATERIAL OR COMMENCING WITH ANY WORK.
9. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR ANY CUTTING, TYPING AND PUNCHING THAT MAY BE REQUIRED TO PROPERLY COMPLETE THE WORK OF HIS CONTRACT. NO CONTRACTOR SHALL ENDANGER THE WORK OF ANY OTHER CONTRACTOR. ANY FEES/COSTS INCURRED TO REPAIR DEFECTIVE OR LIMITED WORK SHALL BE BORNE BY THE SUBCONTRACTOR RESPONSIBLE THEREFOR.
10. THE GENERAL CONTRACTOR SHALL SUBMIT PRODUCT APPROVALS, SHOP DRAWINGS, SAMPLES AND EQUIPMENT SPECIFICATION SHEETS AS CALLED FOR IN THE CONSTRUCTION DOCUMENTS INCLUDING, BUT NOT LIMITED TO THE FOLLOWING: ELECTRICAL AND AIR CONDITIONING EQUIPMENT, PLUMBING FIXTURES AND BATHROOM FIXTURES. THE GENERAL CONTRACTOR SHALL ADVANCE TO ALL FOR REVIEW AND CORRECTION OR APPROVAL. THE GENERAL CONTRACTOR SHALL ADVANCE TO ALL FOR REVIEW AND CORRECTION OR APPROVAL. THE GENERAL CONTRACTOR SHALL ADVANCE TO ALL FOR REVIEW AND CORRECTION OR APPROVAL.
11. ALL EXISTING DISTURBED OR DAMAGED SURFACES (I.E. DRYWALL, STUCCO, PAINT, ETC.) WITHIN THE AREA OF CONSTRUCTION SHALL BE REPAIRED AS NECESSARY TO MATCH EXISTING FINISHES.
12. AFTER COMPLETION OF CONSTRUCTION, ALL WORK AREAS SHALL BE LEFT CLEAN AND FREE OF ANY PLASTER, PAINT, SPILLS, OR SPRAWLS, AND THE BUILDING IS TO BE BROOM CLEANED.
13. COORDINATION DRAWINGS: PREPARE COORDINATION DRAWINGS WHERE SEVERAL COORDINATION IS REQUIRED OR CONSTRUCTION DRAWINGS WHERE LIMITED SPACE AVAILABILITY NECESSITATES MAXIMUM UTILIZATION OF SPACE FOR EFFICIENT INSTALLATION OF DIFFERENT COMPONENTS. I. SHOW THE RELATIONSHIP OF COMPONENTS SHOWN ON SEPARATE SHOP DRAWINGS. 2. INDICATE REQUIRED INSTALLATION SEQUENCES. 3. COMPLY WITH REQUIREMENTS ALL SUBMITTALS AND SHOP DRAWING REQUIREMENTS.
14. COLD WEATHER CONSTRUCTION: THE GENERAL CONTRACTOR SHALL TAKE SPECIAL PRECAUTIONS AGAINST DAMAGE TO MATERIALS AND WORK INSTALLED IN COLD OR FREEZING WEATHER. BY PROVIDING ADEQUATE SPECIAL HEAT AND/OR OTHER MEASURES TO PREVENT SUCH EVENTS. THE GROUND SURFACES UNDER FOOTINGS SHALL BE PROTECTED AGAINST FROST OR FREEZING.
15. ALL WORK SPECIFIED IN THE CONSTRUCTION DOCUMENTS AND PERFORMED BY THE GENERAL CONTRACTOR OR HIS SUBCONTRACTORS SHALL BE GIVEN A ONE (1) YEAR WARRANTY FROM THE DATE OF THE CITY OR COUNTY'S FINAL INSPECTION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY WORK PERFORMED UNDER HIS CONTRACT WHICH IS DEFECTIVE OR DAMAGED DUE TO CIRCUMSTANCES ASSOCIATED WITH THE WORKMANSHIP OF THE GENERAL CONTRACTOR'S WORK FORCE OR THAT OF HIS SUBCONTRACTORS.
16. THESE DRAWINGS AND SPECIFICATIONS ARE INSTRUMENTS OF CONSTRUCTION AND REMAIN THE PROPERTY OF THE ARCHITECT. ANY REPRODUCTION OF SAID DRAWINGS, WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT, IS STRICTLY PROHIBITED BY COPYRIGHT PROTECTION LAWS.

21. PLANS, DRAWINGS AND CONSTRUCTION DOCUMENTS INTENDED TO DEPICT APPROXIMATELY EQUIPMENT LOCATIONS AND ARRANGEMENTS, NOT TO SHOW EVERY MINOR DETAIL. WHERE MANUFACTURER'S NAMES AND PRODUCT NUMBERS ARE INDICATED ON THE DRAWINGS, THEY SHALL BE CONSIDERED TO BE THE ESTABLISHED QUALITY AND PERFORMANCE STANDARDS OF SUCH ITEMS. ALL OTHER PRODUCT SUBSTITUTIONS MUST BE SUBMITTED TO THE ARCHITECT FOR APPROVAL. MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS AND SPECIFICATIONS SHALL BE CONSIDERED TO BE THE ARCHITECT'S INTENT. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES SO INTERDEPENDENCE. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES SO INTERDEPENDENCE. THE CONTRACTOR SHALL COORDINATE HIS WORK WITH OTHER TRADES SO INTERDEPENDENCE.
22. INTERFERENCE: IN EXISTING CONDITIONS, CONDUIT, PIPES, EQUIPMENT, ARCHITECTURAL AND STRUCTURAL MEMBERS ARE TO BE MAINTAINED. THE CONTRACTOR SHALL PROVIDE AN ALLOWANCE TO RELOCATE ANY EXISTING PLUMBING MAINS, HVAC RUNS, BRANCH LINES OR ANY OTHER NON-STRUCTURAL ELEMENTS THAT INTERFERE WITH THE PROPOSED LAYOUT.
23. SUBSTITUTIONS: PRODUCTS AND MATERIALS CALLED OUT BY TRADE NAME AND/OR CATALOG NUMBERS ESTABLISH A STANDARD OF QUALITY, APPEARANCE, PERFORMANCE AND DIMENSION. CONTRACTORS SHALL BASE HIS PROPOSAL ON THOSE ITEMS AS THEY SHALL BE CONSIDERED AS A BASIS OF BIDDING. REQUESTS FOR SUBSTITUTION SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT/ENGINEER, PROVISIONS AND APPROVALS ON SUBSTITUTIONS SHALL BE WITHOUT CHANGE AND DOES NOT CAUSE EXTRA WORK TO OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING EQUALITY OF SUBSTITUTION. ARCHITECT/ENGINEER WILL UNDER NO CIRCUMSTANCES, BE REQUIRED TO PROVIDE SUCH ITEM IS OR IS NOT OF EQUAL QUALITY TO THE SPECIFIED ITEM. ARCHITECT/ENGINEER'S EXPENSES INCURRED DUE TO CONTRACTOR'S REQUESTED REVISIONS OR SUBSTITUTIONS SHALL BE PAID BY CONTRACTOR.
24. ALL TRADES SHALL BE RESPONSIBLE FOR REVIEWING THE ENTIRE SET OF CONSTRUCTION DRAWINGS FOR ANY APPLICABLE WORK. CHANGE ORDERS FOR WORK DEPICTED ANYWHERE IN THE SET OF CONSTRUCTION DOCUMENTS SHALL NOT BE ALLOWED.
25. SCHEDULING: CONTRACTOR SHALL COORDINATE WITH THE OWNER APPROPRIATE TIMES TO PERFORM WORK. CONTRACTOR MUST BE AWARE OF VARYING AVAILABILITY OF APPROPRIATE THE WINDOWS. CLOSE CONSULTATION WITH OWNER IS THEREFORE NECESSARY.
26. NO DEVIATIONS SHALL BE MADE FROM THE CONTRACT DOCUMENTS OR PRODUCT SPECIFICATIONS WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
27. ALL PRODUCTS USED SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND THE BEST PRACTICES OF THE TRADE.
28. RECORD DRAWINGS: MAINTAIN A COMPLETE SET OF PRINTS FOR INDICATING ALL CHANGES. USE COLORED PENS TO MARK CHANGES AT THE TIME OF EXECUTION AND DELIVER THE SET TO THE ARCHITECT/ENGINEER UPON COMPLETION. CONTRACTOR SHALL STAMP "AS BUILT" ON PRINTS AND PLANS DATE AND SIGN IN INK.
29. THE GENERAL CONTRACTOR SHALL HAVE INSTALLED A JOB SITE TELEPHONE AND FAX WHICH SHALL BE IN OPERATION FROM THE START OF CONSTRUCTION UNTIL THE PERMANENT TELEPHONE SYSTEM IS INSTALLED.
30. THE CONTRACTOR SHALL FOLLOW ALL BUILDING MANAGEMENT AND/OR MUNICIPAL BULLETS REGULATIONS CONCERNING WORK SCHEDULES AND BEHAVIOR.
31. GC SHALL COORDINATE HIS SCHEDULE WITH THOSE OF THE OWNER'S SEPARATE CONTRACTS (IF ANY) INCLUDING:
 - A. MILLWORK CONTRACTOR
 - B. MILLWORK CONTRACTOR
 - C. SAFE INSTALLER
 - D. SECURITY AND ALARM INSTALLER
 - E. IT, WIRING AND TERMINATION DEVICE INSTALLER
 - F. SYSTEMS FURNITURE INSTALLER
 - G. CAMERA INSTALLER
32. OWNER SUPPLIED ITEMS: AT ONSET OF PROJECT, GC SHALL NOTIFY OWNER OF QUANTITIES AND DELIVERY DATE REQUIREMENTS OF ALL OWNER PROVIDED ITEMS (IF ANY) INCLUDING:
 - A. CARPET
 - B. LIGHTING FIXTURES & LAMPS
 - C. WALL COVERINGS
 - D. DRAPEY
 - E. COVY CABLE
 - F. SOUND SYSTEM
33. THE GENERAL CONTRACTOR SHALL LAYOUT & PAINT ON THE FLOOR, THE LOCATION OF ALL WALLS, CEILING, RECESSES, LIGHT FIXTURES, DIFFUSERS AND GRATES. THE GENERAL CONTRACTOR SHALL LAYOUT & PAINT ON THE FLOOR, THE LOCATION OF ALL WALLS, CEILING, RECESSES, LIGHT FIXTURES, DIFFUSERS AND GRATES. THE GENERAL CONTRACTOR SHALL LAYOUT & PAINT ON THE FLOOR, THE LOCATION OF ALL WALLS, CEILING, RECESSES, LIGHT FIXTURES, DIFFUSERS AND GRATES.
34. ALL LIFE SAFETY EQUIPMENT SHOWN ON THESE CONSTRUCTION DRAWINGS ARE THE MINIMUM REQUIRED TO MEET ALL APPLICABLE CODES. PRIOR TO PROVIDING FINAL PRICING ALL CONTRACTORS SHALL MEET WITH THE LOCAL AUTHORITIES TO CONFIRM THAT QUANTITIES ARE ACCEPTABLE. CHANGE ORDERS WILL NOT BE APPROVED FOR ADDITIONAL LIFE SAFETY EQUIPMENT. CHANGE ORDERS WILL NOT BE APPROVED FOR ADDITIONAL LIFE SAFETY EQUIPMENT.
35. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING DAMAGED SPRAY-ON FIREPROOFING FROM DISTURBED STRUCTURAL STEEL.
36. BOTH THE GENERAL CONTRACTOR AND THE MILLWORK CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETION TO OPENING DAY. MILLWORK SUPERINTENDENT SHALL REMAIN ON SITE THROUGHOUT COMPLETE WEEK FOLLOWING SUBSTANTIAL COMPLETION.
37. ALL WORK IS TO CONFORM WITH DRAWINGS AND SPECIFICATIONS WHETHER BY NDA, ENGINEERS, TELECOMMUNICATIONS CONSULTANTS, AND/OR ANY AND ALL OTHER CONSULTANTS.
38. THE CONTRACTOR IS TO MAINTAIN A COMPLETE AND UP TO DATE SET OF DRAWINGS, DOCUMENTS AND SHOP DRAWINGS.
39. THE CONTRACTOR SHALL INCLUDE ALL CUTTING AND/OR CHIPPING AS REQUIRED FOR ANY AND ALL TRADES, INCLUDING THOSE WORKING FOR THE OWNER. REFER TO ALL DOCUMENTS, SAID CUTTING AND/OR CHIPPING SHALL BE PERFORMED IN ACCORDANCE WITH THE BUILDING RULES AND REGULATIONS.
40. THE CONTRACTOR IS TO PROVIDE ALL MATERIALS AND SUPPLIES FOR BUILDING STANDARDS AND REGULATIONS.
41. THE CONTRACTOR IS TO PROVIDE ALL MATERIALS AND SUPPLIES FOR BUILDING STANDARDS AND REGULATIONS.
42. THE CONTRACTOR IS TO PROVIDE ALL MATERIALS AND SUPPLIES FOR BUILDING STANDARDS AND REGULATIONS.
43. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DISTRIBUTE ADEQUATE COPIES OF THESE DRAWINGS TO ALL APPLICABLE TRADES AT ALL TIMES DURING THE PROGRESS OF THE JOB (I.E. REVISIONS).
44. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/OR SAMPLES AS REQUIRED BY NDA, AND OTHER PROJECT CONSULTANTS FOR NDA'S REVIEW PRIOR TO COMMENCEMENT OF WORK.

45. REFER TO ALL OTHER PLANS INCLUDING ENGINEERING AND COMMUNICATIONS PLANS FOR RELATED WORK.
46. EACH CONTRACTOR AND SUBCONTRACTOR SHALL REVIEW THE ENTIRE SET OF CONTRACT DOCUMENTS AND ACKNOWLEDGE ALL CONDITIONS PERTAINING TO WORK. HE SHALL FULLY COORDINATE HIS WORK WITH THE INSTALLATION WORK BY OTHER TRADES AND MAKE NECESSARY FIELD ADJUSTMENTS AS REQUIRED TO ACCOMMODATE HIS WORK AT NO ADDITIONAL CHARGE TO OWNER.
47. ALL EXISTING CORE WALLS, PERIMETER WALLS, COLUMNS, AND ANY AND ALL EXISTING WALLS TO REMAIN ARE TO BE FIELD INSPECTED BY CONTRACTOR AT THE TIME OF BID AND ALL COSTS TO PATCH AND REPAIR ALL MENTIONED ITEMS TO A SMOOTH SURFACE FOR FINISHING SHALL BE INCLUDED IN THE BID. ALL EXISTING MASONRY WALLS, SHEET PILING OR FURRED TIGHT WITH 5/8" SYSTEM BOARD TO 3" ABOVE HANGING CEILING AND TAPE AND SPACKLED READY FOR FINISHES UNLESS OTHERWISE NOTED.
48. CONTRACTOR TO FIELD INSPECT EXISTING FLOOR SLAB CONDITIONS TO DETERMINE IF ANY FLOOR LEVELING IS REQUIRED. INFORM NDA OF ANY WORK THAT WILL BE REQUIRED AND INCLUDE COSTS AT TIME OF BID.
49. PROVIDE FURRED ENCLOSURE AROUND ALL VERTICAL PIPES TO REMAIN.
50. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL TRADES AND MATERIALS, WHETHER UNDER THE CONTRACT OR PROVIDED BY THE OWNER.
51. THE CONTRACTOR AND REINSTALLATION OF ALL ITEMS AT THE OWNER'S EXISTING PREMISES WHICH ARE DESIGNATED TO BE RELOCATED.
52. THE CONTRACTOR SHALL PROVIDE THE OWNER AS-BUILT DRAWINGS FOR ALL TRADES.
53. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL COORDINATED SHOP DRAWINGS OF ALL TRADES HAVING AN IMPACT ON EACH OTHER, INCLUDING BUT NOT LIMITED TO HVAC, SPRINKLER PLUMBING, CEILING LIGHTING, ETC. IF CONFLICTS OCCUR AFTER INSTALLATION OF ANY TRADES WORK, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RECTIFY SAME AT NO COST TO THE OWNER.
54. ALL CLEANUP AND CARTING FOR ANY AND ALL MATERIAL SHALL BE INCLUDED IN THE BID, WHETHER BY CONTRACTORS SUBS OR OWNER'S CONTRACTORS.
55. CONTRACTOR TO PROVIDE A SYSTEM OF TEMPORARY LIGHTS THROUGHOUT THE SPACE DURING DEMOLITION AND CONSTRUCTION.
56. ALL WORKS THAT AFFECT THE TENANT'S SPACE BELOW SHALL BE PERFORMED AFTER HOURS ONLY. GC/CONTRACTORS SHALL VERIFY ALL CONDITIONS AND COORDINATE ALL WORKS WITH BUILDING MANAGEMENT AND TENANT PRIOR TO A WORK MUST BE PERMITTED AND KEPT CLEAN AT ALL TIMES. SPACE MUST RETURN TO SAME OPERATIONAL WORKING CONDITIONS BEFORE THE START OF NEXT BUSINESS DAY. AFTER WORK IS COMPLETED EACH DAY, ALL WORKS THAT AFFECT THE TENANT'S SPACE BELOW SHALL BE PATCHED, REPAIRED AND/OR CONSTRUCT NEW AND FINISH TO MATCH EXISTING. NEW FINISH MATERIAL MUST BE ORDERED AND ARE TO BE READY TO BE INSTALLED PRIOR TO THE BEGINNING OF WORK. GC/CONTRACTORS ARE RESPONSIBLE FOR TAKING PHOTOS OF TENANT'S SPACE BELOW BEFORE DURING AND AFTER WORK IS COMPLETED.
57. ALL CONTRACTORS AND SUBCONTRACTORS SHALL INCLUDE IN THEIR CONTRACT/AGREEMENT A DOCUMENT ADDITIONAL GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION:

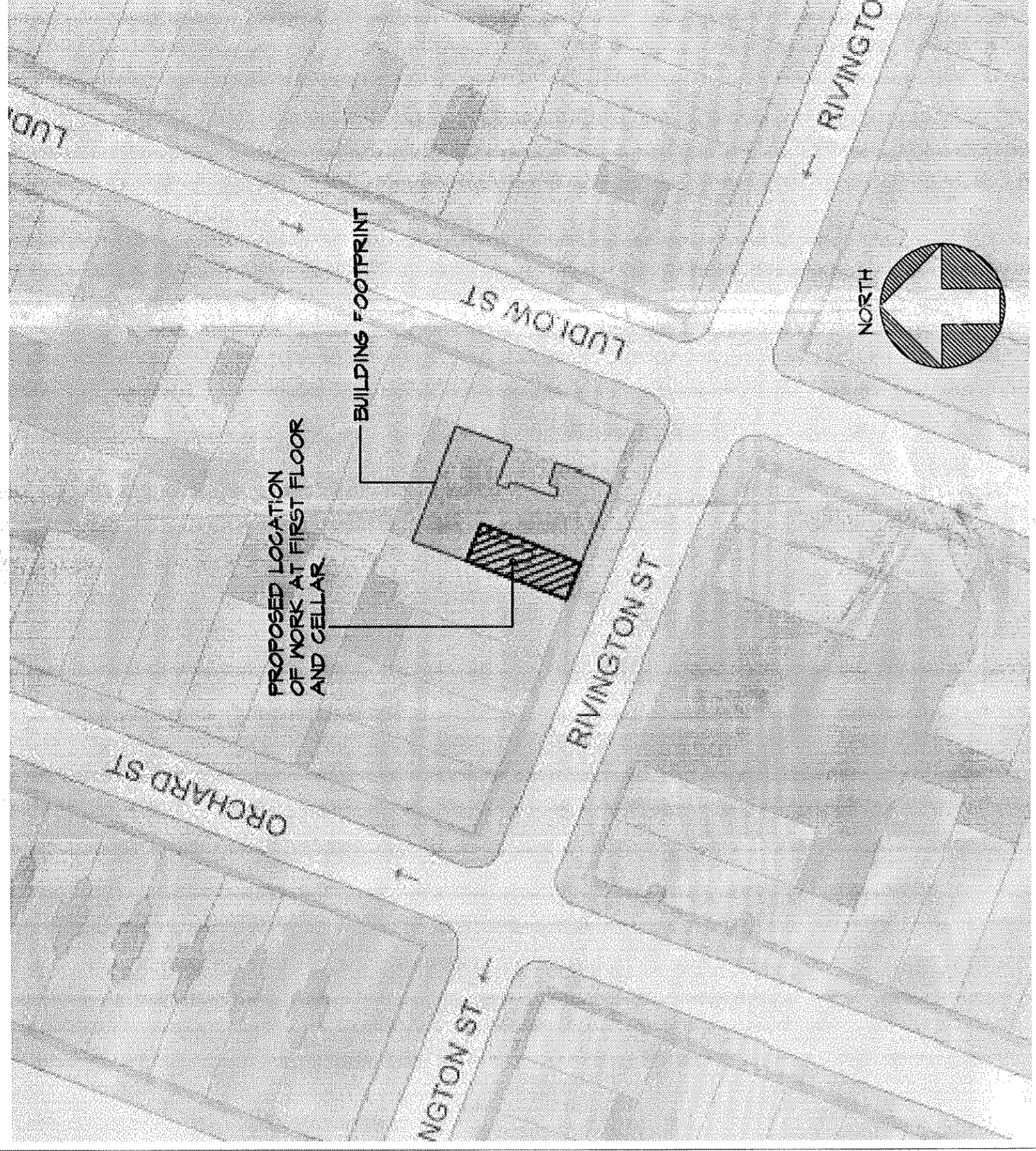
CONTRACTOR NOTES

1. THE GENERAL CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING OWNER GUIDE LINES FOR DEMOLITION AND REMOVAL OF DEBRIS INCLUDING ANY OVERTIME WORK REQUIRED FOR COMPLETION OF PROJECT.
2. ALL WORK PERFORMED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE RE-USED OR RETURNED TO THE CLIENT OR AS OTHERWISE DIRECTED.
3. THE GENERAL CONTRACTOR AT ALL TIMES SHALL PROTECT THE PROPERTY OF THE CLIENT AND THE BUILDING OWNER, INCLUDING BUT NOT LIMITED TO FLOORS, CEILING, AND/OR CEILING TILES, ELEVATORS, DOORS, BILLS, ETC.
4. THE GENERAL CONTRACTOR SHALL REMOVE ALL DEBRIS FROM THE TRADE, EVEN TRADES NOT UNDER HIS CONTRACT AND LEAVE ALL AREAS BROOM CLEANED AT THE END OF EACH WORK DAY.
5. UNLESS OTHERWISE NOTED, ALL EXPOSED WIRING CONDUITS, ETC., NOT BEING REUSED SHALL BE REMOVED AND EITHER STORED OR CARTED AWAY BY THE GENERAL CONTRACTOR.
6. ALL PROTECTIVE ITEMS BEING UNASSIGNED SHALL BE CAPPED AND FLUSHED OFF BEHIND SURFACES UNLESS OTHERWISE NOTED.
7. THE GENERAL CONTRACTOR SHALL PROVIDE REQUIRED PROTECTION FOR ALL EXISTING ITEMS AND/OR ITEMS TO REMAIN.
8. THE GENERAL CONTRACTOR SHALL FINISH TEMPORARY LIGHTING AS REQUIRED.
9. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL ALL HIDDEN CONDITIONS. ARE REVEALED THAT MAY AFFECT INTEGRITY OF STRUCTURE OR PRELIMINARY FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY NEW YORK DESIGN ARCHITECTS IMMEDIATELY.
10. DEMOLITION TO MEAN REMOVAL AND OFF-SITE DISPOSAL OF DEMOLISHED MATERIALS. REMAINING SURFACES TO BE RESTORED TO ACCEPTABLE CONDITIONS.
11. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY CONSTRUCTION BARRICADES AS REQUIRED.
12. ALL DEMOLITION WORK SHALL COMPLY WITH O.S.H.A. STANDARDS.
13. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER SHORING AND BRACING AS REQUIRED TO SAFELY EXECUTE DEMOLITION WORK.

SCOPE OF WORK

APPLICATION IS FILED FOR RENOVATION OF EXISTING RETAIL SPACE WORK TO INCLUDE NON-LOAD BEARING PARTITIONS, PLUMBING, & MECHANICAL. FIXTURES WORK ALL AS PER PLANS FILED HEREWITH. NO CHANGE TO USE EGRESS OR OCCUPANCY UNDER THIS APPLICATION.

SITE PLAN:



ZONING DATA:

BLOCK..... 41
LOT..... 84
ZONE..... C4-4A
MAP..... 12C
SPECIAL DISTRICT..... NO
LANDMARKED..... NO
SRO RESTRICTED..... NO
SPECIAL BOARD..... OS
USE GROUP..... COMM
OCCUPANCY GROUP..... 6

SQUARE FOOTAGE:
FIRST FLOOR = 570 SQ. FT.
CELLAR FRONT = 571 SQ. FT.
CELLAR BACK = 142 SQ. FT.

DRAWING INDEX:

T-010.00 GENERAL NOTES, PLOT PLAN & ZONING DATA
A-010.00 GENERAL NOTES & ECGNY TABULAR ANALYSIS
DH-010.00 CELLAR & FIRST FLOOR DEMOLITION FLOOR PLAN
A-020.00 CELLAR & FIRST FLOOR CONSTRUCTION PLANS
A-030.00 NYC ADA STANDARD DETAIL
P-010.00 PLUMBING NOTES
P-020.00 CELLAR, FIRST FLOOR PLUMBING PLAN & RIBER DIAGRAM
M-010.00 MECHANICAL NOTES
M-020.00 MECHANICAL DETAILS
M-030.00 CELLAR AND FIRST FLOOR MECHANICAL PLAN

CONCRETE WAIVER CALCULATION

RESPECTFULLY REQUESTING THAT TR3 & TR3 BE MAIVED ON THE REQUIRED ITEMS / SPECIAL INSPECTIONS LIST.

THE WORK MEETS THE EXEMPTION CRITERIA OF BUILDINGS BULLETIN 2004-026 ITEM IV AND I HEREBY ELECT TO WAIVE THE REQUIREMENT OF CONCRETE TESTING AND OF THE TR3 FORM AND/OR TR3 FORM.

THERE WILL BE LESS THAN 50 CY. OF CONCRETE POURED AT THIS SITE.

FT6/COLUMN @ 3'5" X 3'5" X 129' = 1531 CU FT

1531 CU FT X 2 COLUMNS = 3063 CU FT

TOTAL = 3063 CU FT = 7.9 = 1021 CU FT

D.O.B. SET

SCALE DATE: 04-04-2013
REVISION: DOB SET
DATE: 04-04-2013

new york design
CONSULTANTS

ROUGE BAR
CLIENT

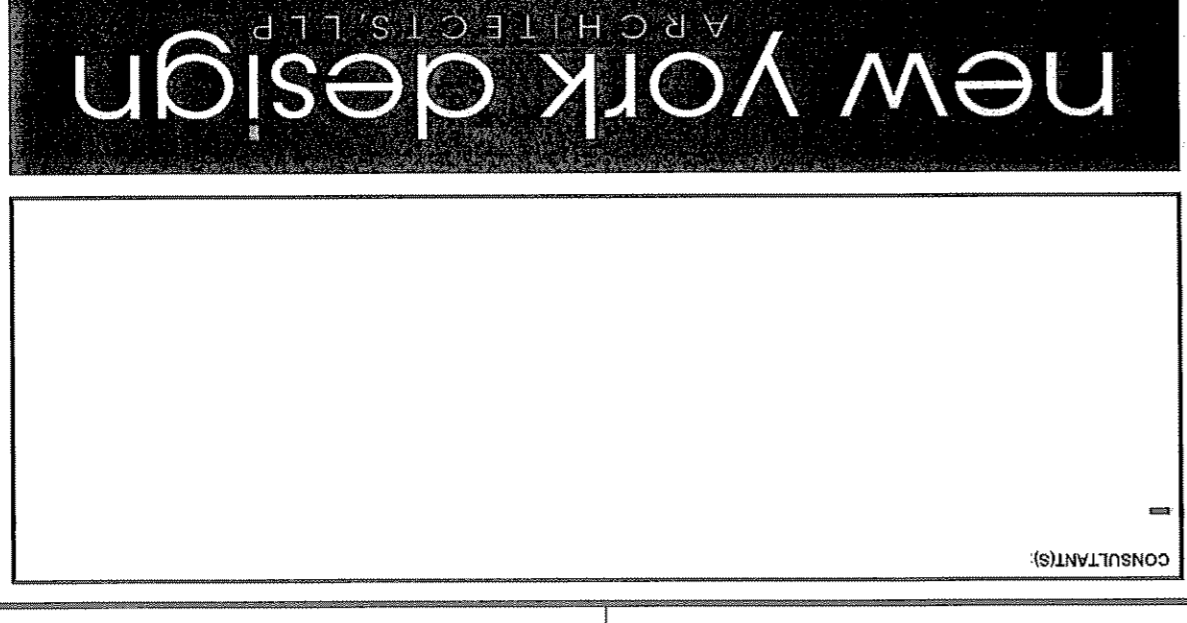
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AN ARCHITECT FIRM
REGISTERED ARCHITECT
GIUSEPPE R. ANZALONE, A.I.A.
JOSEPH J. ANZALONE, A.I.A.
175 West Broadway, New York, NY 10013
Tel: (212) 869-0440 Fax: (212) 868-6648
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94 RIVINGTON ST.
New York, NY 10002

DATE: 04.5.2013
PROJECT NUMBER: RD
DRAWN BY: JS
PARTNER IN CHARGE: RD
DRAWING NAME: GENERAL NOTES, PLOT PLAN & ZONING DATA
PAGE # 1 of 10
JOB NUMBER: T-010.00
DOB APPROVAL:

PROFESSIONAL CERTIFICATION
DEPARTMENT OF BUILDINGS
APR 23 2013
SC 170826328
DOB BAR CODE

DATE	04-04-2013
REVISION	
R.D.	DOB SET

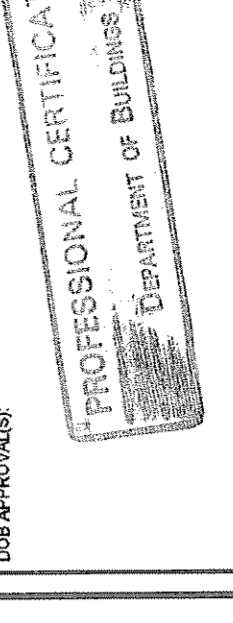


CLIENT:
ROUGE BAR

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ADDRESS:	94 RIVINGTON ST. New York, NY 10002
PROJECT #:	13054
DATE:	04.5.2013
DATE IN CHARGE:	PROJECT MANAGERS
DRAWN BY:	JS
RD:	RD
DRAWING NAME:	CELLAR & FIRST FLOOR DEMOLITION PLAN
PAGE #:	DM-010.00
DOB PAGE:	3 of 10



Accepted for OPFN #1/04
Professional Certification
MANHATTAN
Date: APR 2 2013

DOB BAR CODE: SCT03628028

DEMOLITION TAGS:

- 1 REMOVE BATHROOM FIXTURES & EXHAUST.
- 2 REMOVE NON-LOAD BEARING PARTITIONS AND DOORS, MILLWORK, FLOORING, CEILING AND FINISHES AS INDICATED THROUGHOUT.
- 3 REMOVE EXISTING FLOORING THROUGHOUT DOWN TO SLAB AND PREP FLOOR AS REQUIRED TO RECEIVE NEW FINISHES.
- 4 REMOVE STAIRS AND HATCH.
- 5 TO REMOVE ALL CORRESPONDING ELECTRICAL OUTLETS AND WIRING DOWN TO ELECTRICAL PANELS, COORDINATE IN FIELD.
- 6 EXISTING FURNITURE AND MILLWORK THROUGHOUT TO BE REMOVED, VERIFY WITH OWNER PRIOR TO REMOVAL.
- 7 REMOVE ACOUSTICAL LINING, CEILING, SYRBER, SOFFIT AND PARTITIONING, ALL DIFFUSERS, LIGHTING, WIRING, DEVICES AND ALL OTHER FINISHES THROUGHOUT.
- 8 EXISTING WINDOWS TO REMAIN, CLEAN AND REPAIR AS REQUIRED TO ENSURE THEY ARE PROPERLY MORNING.
- 9 TO REMOVE EXISTING TOILET EXHAUST AND ASSOCIATED DUCTWORK, FANS, ETC.

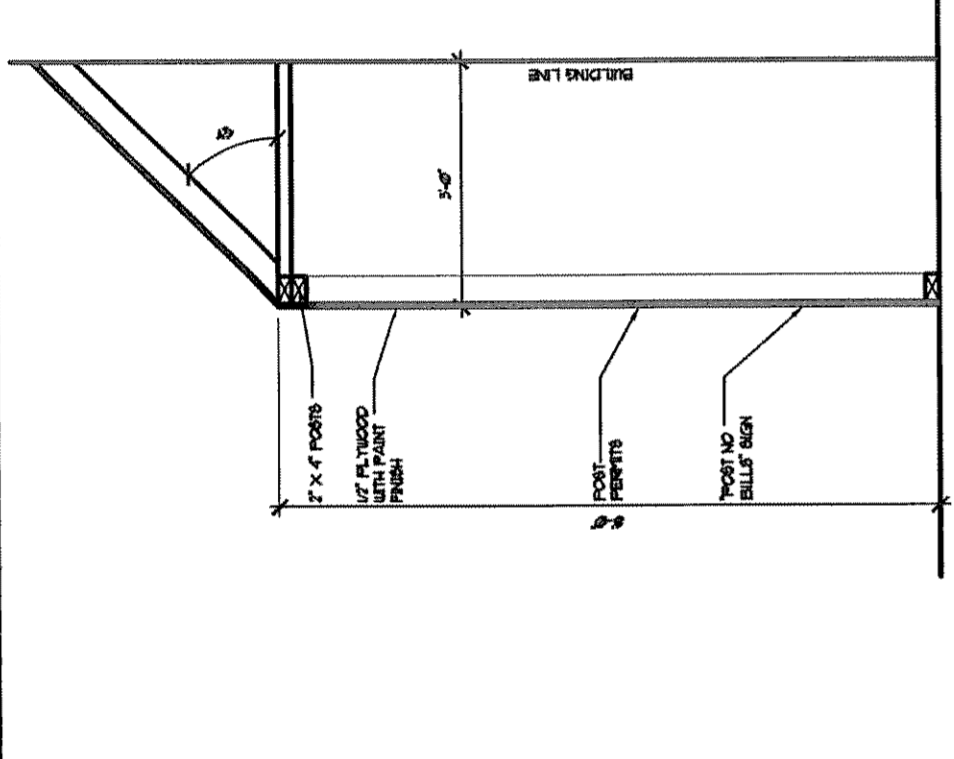
DOB NOTE:
THIS PLAN IS APPROVED FOR WORK INDICATED ON THE APPLICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE USED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODE.

DEMOLITION NOTES:

1. THE GENERAL CONTRACTOR SHALL CONSTRUCT A TEMPORARY STRENGTHENING BARRICADE INDICATED ON DRAWING. BARRICADE SHALL REMAIN IN PLACE UNTIL COMPLETION OF CONSTRUCTION.
2. THE CONTRACTOR SHALL FURNISH ALL LABOR AND MATERIALS AS REQUIRED TO COMPLETE DEMOLITION AND REMOVAL OF ALL ITEMS AS INDICATED IN THE DRAWINGS OR AS OTHERWISE DIRECTED BY THE ARCHITECT.
3. THE CONTRACTOR SHALL EXECUTE ALL WORK WITHIN THE REGULATIONS OF THE BUILDING FOR DEMOLITION AND REMOVAL OF DEBRIS, INCLUDING OVERTIME WORK REQUIRED.
4. THE CONTRACTOR SHALL ERECT ALL NECESSARY PLASTIC DROP CLOTH BARRICADES TO PROTECT ADJACENT BUILDING PROPERTY, THE PUBLIC CORRIDOR AND ADJACENT TENANT SPACE WHICH WILL NOT UNDERGO NEW CONSTRUCTION FROM DUST AND DEBRIS WHILE DEMOLITION AND CONSTRUCTION ARE IN PROGRESS.
5. THE CONTRACTOR SHALL AT ALL TIMES PROTECT THE PROPERTY OF THE BUILDING INCLUDING BUT NOT LIMITED TO WINDOWS, FLOOR AND CEILING TILE PUBLIC TOILETS, ELEVATORS, DOORS, BLOCKS, ELECTRICAL AND AIR CONDITIONING EQUIPMENT, CONVEYOR ENCLOSURES, ETC.
6. ALL WORK DEMOLISHED SHALL BE REMOVED FROM THE PREMISES EXCEPT ITEMS TO BE REUSED OR RETURNED TO THE LANDLORD OR AS OTHERWISE DIRECTED.
7. TEMPORARY LIGHTS THROUGHOUT THE SPACE AS REQUIRED.
8. THE CONTRACTOR SHALL CAREFULLY REMOVE STORE FOR FUTURE RE-INSTALLATION ALL BUILDINGS AND BELONGS CEILING TILE, LIGHT FIXTURES, DOORS AND/OR OTHER ITEMS TO BE REUSED.
9. UPON COMPLETION OF DEMOLITION AND CONSTRUCTION, THE G.C. SHALL PROVIDE THAT ALL AREAS BE LEFT BROOM CLEAN AT THE END OF EACH DAY; THIS ALSO APPLIES TO WORK FOR TRADES NOT UNDER HIS CONTRACT.
10. ALL EXISTING GYPSUM BOARD CEILING AND SOFFITS, SUSPENDED CEILING TILE SHALL BE REMOVED THROUGHOUT. BLACK IRON AND HUNG RODS SHALL BE REUSED IF DEEMED AS PROPERLY INSTALLED AND SAFE.
11. ALL EXISTING EXPOSED LIGHT FIXTURES (REGRESSED, PENDANT HANG OR SURFACE MOUNTED) WIRING AND SWITCHES SHALL BE REMOVED & EITHER STORED OR CARRIED AWAY BY THE G.C. THE CONTRACTOR SHALL PROVIDE ALL ELECTRICAL DISCONNECTS AS REQUIRED.
12. ALL EXISTING A/C UNITS (FREE STANDING AND/OR SLAB-HUNG) & ASSOCIATED CONTROLS, ELECTRICAL, PLUMBING, DUCTWORK, DIFFUSERS, GRILLERS, REGISTER, LOWERS, ETC. SHALL BE REMOVED (U.O.N). REFER TO MECHANICAL ENGINEERING DRAWING.
13. THE EXISTING GLASS "J" SYSTEM (SPEAKERS, STORAGE, FIRE ALARMS, ETC.) SHALL REMAIN, REFER TO ENGINEERING DRAWINGS.
14. ANY EXISTING EXIT SIGNS SHALL BE REMOVED.
15. THE EXISTING TOILET ROOMS SHALL BE DEMOLISHED IN THEIR ENTIRETY, BUT NOT LIMITED TO ALL PLUMBING FIXTURES, WALL AND FLOOR TILE, STALL PARTITIONS, EXHAUST FANS, LIGHT FIXTURES ETC.
16. WHERE AIR-COOLED A/C UNITS ARE LOCATED, THE CONTRACTOR SHALL REMOVE ALL ASSOCIATED WINDOW LOWERS AND GRILLERS. THE CONTRACTOR SHALL REMOVE EXISTING WINDOW FRAME AND OPERATOR SHALL FURNISH AND INSTALL NEW BUILDING STANDARD REPLACEMENT WINDOW.
17. THE G.C. SHALL REMOVE ALL EXISTING WINDOW TREATMENT AND HARDWARE.
18. ALL EXISTING WINDOW CASINGS, STOOLS, HOLDINGS, SILLS ETC SHALL BE REMOVED.
19. ALL EXISTING WOOD/METAL RADIATOR ENCLOSURES SHALL BE REMOVED.
20. ALL EXISTING CAST IRON RADIATORS SHALL BE REMOVED AND REUSED (U.O.N). ALL ASSOCIATED PIPES AND RETURNS SHALL REMAIN (U.O.N) REFER TO ENGINEERING DRAWING.
21. ALL EXISTING SURFACE MOUNTED ELECTRICAL OUTLETS AND/OR TELEPHONE/DATA JACKS, CONDUIT, ETC. SHALL BE REMOVED THROUGHOUT TENANT SPACE.
22. ALL EXISTING ELECTRICAL OUTLETS SHALL BE REMOVED, WIRING SHALL BE TERMINATED AS REQUIRED.
23. THE G.C. SHALL INSPECT CONSTRUCTION OF ALL PARTITIONS TO BE REMOVED, SOME PARTITIONS ARE OF BLOCK CONSTRUCTION.
24. PRIOR TO DEMOLITION THE G.C. SHALL CUT (HOLE) AS REQUIRED, AND PROBE CONDITIONS & CONTENTS BEHIND WALL. REMOVAL OF WALL SHALL BE DETERMINED BY THE G.C. AND ARCHITECT IN THE FIELD.
25. ANY EXISTING SURFACE MOUNTED ELECTRICAL OUTLETS AND/OR TELEPHONE/DATA JACKS, CONDUIT, ETC. SHALL BE REMOVED THROUGHOUT TENANT SPACE.
26. ALL EXISTING ELECTRICAL PARTITIONS SHALL BE REMOVED, WIRING SHALL BE TERMINATED AS REQUIRED.
27. ALL EXISTING (ABANDONED) ELECTRICAL RECEPTACLES, TELEPHONE JACKS INCLUDING ALL WIRING, DATA CABLES AND WITHIN DEMOLITION SCOPE SHALL BE REMOVED AND WIRING SHALL BE TERMINATED AS REQUIRED, REFER TO ENGINEERING DRAWINGS.
28. THE CONTRACTOR SHALL REMOVE ALL WALL CONDUITS LEFT AFTER WALL DEMOLITION INCLUDING GEM BOXES, PLATES, BRIDGES OR ANY OTHER TELEPHONE DATA OR ELECTRICAL WIRING AND EQUIPMENT THROUGHOUT.
29. ALL EXISTING ELECTRICAL PANELS SHALL BE REMOVED, ALL DISCONNECTS SHALL BE PERFORMED BY OWNER PRIOR TO DEMOLITION.
30. ANY EXISTING ABANDONED PIPES (IE GAS, WATER, HEATING, DRAIN, VENT, ETC.) SHALL BE REMOVED THROUGHOUT. THE G.C. SHALL CUT, EXISTING PIPING BACK TO RISERS AND CAP REFER TO ENGINEERING DRAWINGS.
31. PRIOR TO REMOVAL OF ANY PIPES CONDUIT, ELECTRICAL, ETC. G.C. TO CONSULT WITH BUILDING ENGINEER AND MANAGEMENT.
32. ALL EXISTING CARPET FLOORING, CARPET TILE, TACKLESS STRIPS, CARPET UNDERLAYMENT, LOOSE VINYL COMPOSITE TILE, VINYL AGGESTOS TILE AND/OR CERAMIC TILE AND DRY ROTTED WOOD FLOORING SHALL BE REMOVED (U.O.N)
33. ALL EXISTING FLOOR FINISHES, AND ANY EXISTING WALL BASE SHALL BE REMOVED THROUGHOUT.
34. ALL PROJECTIONS ITEMS BEING ABANDONED SHALL BE CAPPED AND FLUSHED OFF BEHIND SURFACES, UNLESS OTHERWISE NOTED.
35. GENERAL CONTRACTOR IS RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO DEMOLITION TO REVEAL FULL SCOPE OF WORK.
36. IF DURING DEMOLITION CONDITIONS ARE REVEALED THAT MAY JEOPARDIZE INTEGRITY OF STRUCTURE OR PRECLUDE FOLLOWING DESIGN INTENT, GENERAL CONTRACTOR TO NOTIFY NEW YORK DESIGN ARCHITECTS IMMEDIATELY.
37. DEMOLITION TO REAR REMOVAL AND OFF-SITE DISPOSAL OF DEMOLISHED MATERIALS. REMAINING SURFACES TO BE RESTORED TO ACCEPTABLE CONDITIONS.
38. GENERAL CONTRACTOR SHALL PROVIDE ALL TEMPORARY CONSTRUCTION BARRICADES AS REQUIRED.
39. ALL DEMOLITION WORK SHALL COMPLY WITH OSHA STANDARDS.
40. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER SHORING AND BRACING AS REQUIRED TO SAFELY EXECUTE DEMOLITION WORK.

LEGEND:

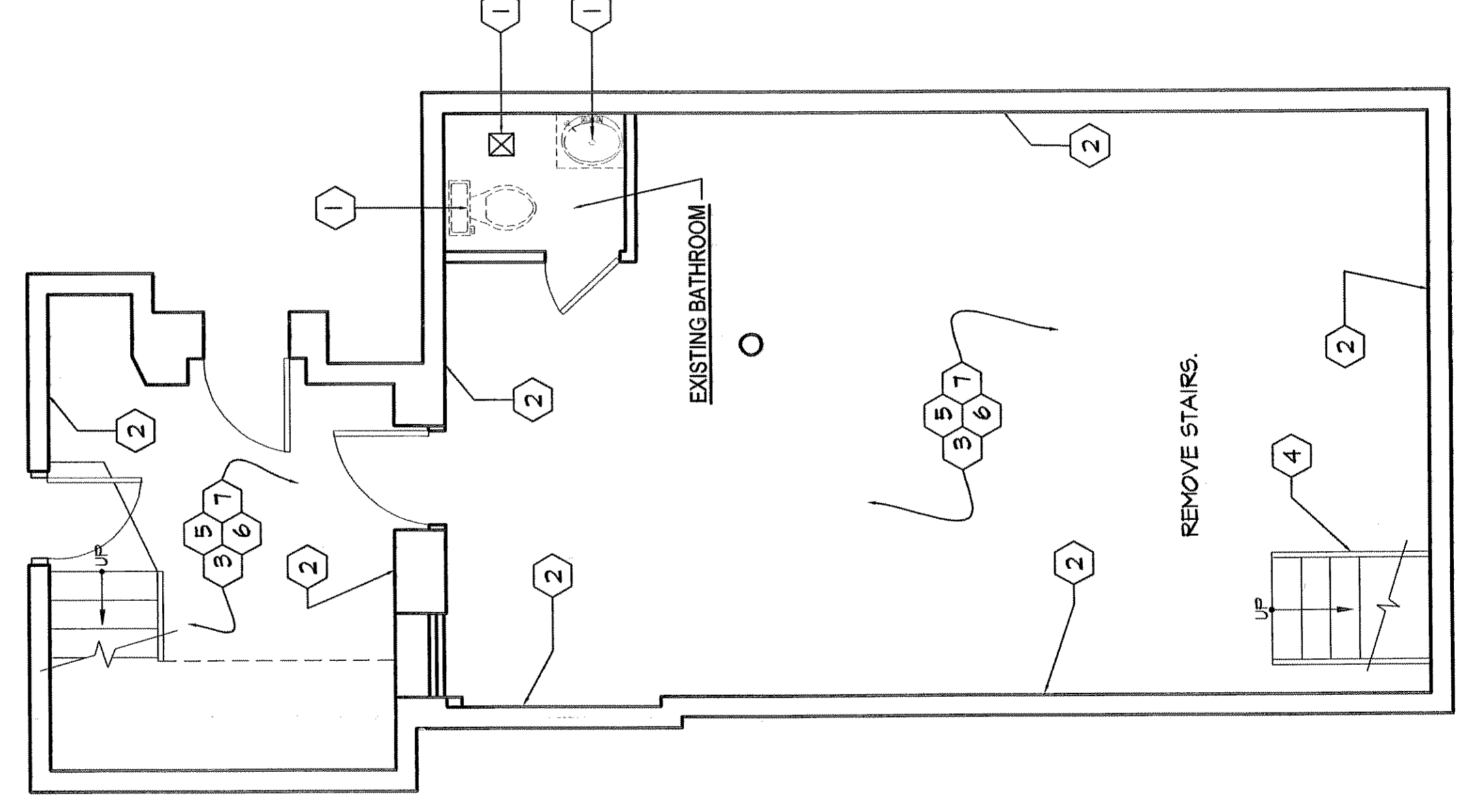
---	EXISTING WALL OR PARTITION TO BE REMOVED.
---	EXISTING WALL OR PARTITION TO REMAIN.
---	EXISTING DOOR AND FRAME TO BE REMOVED
(X)	REMOVAL NOTE TAG.



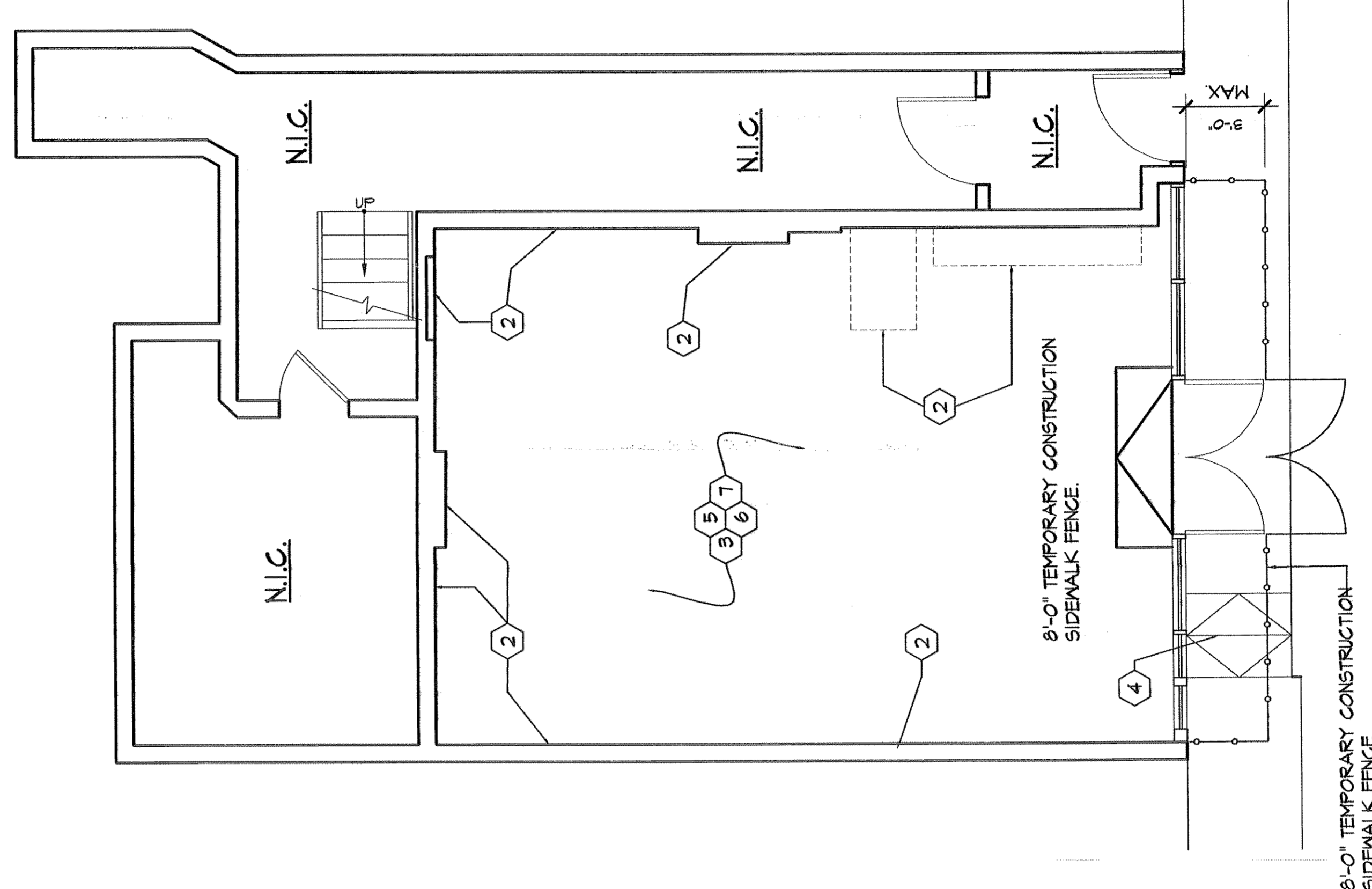
SIDEWALK FENCE NOTES:

UNLESS THE STREET IS OFFICIALLY CLOSED TO THE PUBLIC DURING HOURS OF CONSTRUCTION, THE FOLLOWING SAFEGUARDS SHALL BE PROVIDED AS PER B.C. 27-1021:

1. A SIDEWALK FENCE SHALL BE ERECTED WHEN ANY WORK IS PERFORMED ON ANY STREET OR SIDEWALK SURFACES AND SIDEWALK SIDES.
2. NO SIDEWALK FENCE SHALL BE ERECTED UNLESS A PERMIT IS OBTAINED FROM THE DEPARTMENT OF BUILDINGS.
3. AFTER RECEIPT OF PERMIT, THE PERMIT HOLDER SHALL OBTAIN A SIGNATURE FROM THE PERMITTING OFFICER, NUMBER & PERMIT NUMBER OF THE PERMIT HOLDER.
4. FENCES SHALL BE AT LEAST 8' HIGH, AND CONSTRUCTED OF WOOD OR OTHER SUITABLE MATERIAL. NET SHALL BE 1/2" GRID FOR THEIR ENTIRE LENGTH, EXCEPT FOR OPENINGS.
5. OPENINGS IN SIDEWALK SHEDS, FENCES AND RAILINGS FOR LOADING SHALL BE KEPT CLOSED AT ALL TIMES EXCEPT DURING ACTUAL LOADING.
6. SIDEWALK FENCE SHALL BE KEPT UP APPROXIMATELY 3' OFF BUILDING CONTINUOUSLY AND SHALL REMAIN UP DURING ENTIRE CONSTRUCTION OPERATION. IT SHALL NOT BE PROPER TO REMOVE A SIDEWALK FENCE OR RAILING UNLESS THE PERMIT HOLDER SHALL BEAR FULL LIABILITY FOR INQUIRIES, VIOLATIONS, FINES, AND COSTS ARISING AS SUCH.



1 DEMOLITION CELLAR PLAN
SCALE: 1/4" = 1'-0"



2 DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

D.O.B. SET

PLUMBING SPECIFICATION

SCORE THE INTENT OF THE SPECIFICATION AND THE DRAWINGS IS TO... THE PLUMBING CONTRACTOR SHALL FURNISH AND INSTALL ALL LABOR, MATERIAL, AND EQUIPMENT NECESSARY TO COMPLETE THE PLUMBING WORK.

SITE EXAMINATION THE PLUMBING CONTRACTOR SHALL THOROUGHLY EXAMINE ALL AREAS WHERE FIXTURES, EQUIPMENT, AND PIPING WILL BE INSTALLED AND WILL REPORT ANY CONDITION THAT IN HIS OPINION PREVENTS THE PROPER INSTALLATION OF THE STANDARDS.

EQUIPMENT AND MATERIALS SHALL CONFORM WITH APPROPRIATE PROVISIONS OF ASME, ASTM, UL, NEMA, ANSI, ASHRAE, NFPA, AS APPLICABLE TO EACH INDIVIDUAL UNIT OR ASSEMBLY.

ALL WORK SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES IN CASE OF CONFLICT BETWEEN THE ORDINANCES, THE HIGHEST STANDARD SHALL APPLY. THE MECHANICAL CONTRACTOR SHALL SATISFY CODE REQUIREMENTS AS A MINIMUM STANDARD WITHOUT ANY EXTRA COST TO LIFETIME BRANDS INC.

PERMITS AND FEES THE PLUMBING CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS, FEES AND INSPECTIONS NECESSARY TO COMPLETE THE PLUMBING WORK.

WARRANTY THE PLUMBING CONTRACTOR SHALL UNCONDITIONALLY WARRANT ALL WORK TO BE FREE OF DEFECTS IN MATERIAL AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF FINAL ACCEPTANCE BY THE OWNER.

SOIL WASTE AND VENT PIPING 10 AND SMALLER SHALL BE SOIL WASTE AND VENT PIPING 10 AND SMALLER SHALL BE SERVICE WEIGHT, HUBLESS, CAST IRON PIPE AND FITTINGS WITH NEOPRENE GASKET AND STAINLESS STEEL SHIELD AND CLAMP.

CONDENSATE DRAINAGE PIPING THE PLUMBING CONTRACTOR SHALL PROVIDE CONDENSATE DRAINS FOR AIR HANDLING UNITS AND ROOMS WITH SPLIT SYSTEMS. CONDENSATE DRAIN PIPING SHALL BE 1/2" DIA. COPPER TUBING WITH WROUGHT COPPER SWEAT FITTINGS JOINED WITH 50/50 SOLDER.

NATURAL GAS PIPING GAS PIPING SHALL BE SCHEDULE 40SEAMLESS BLACK STEEL PIPE WITH WROUGHT COPPER SWEAT FITTINGS JOINED WITH 50/50 SOLDER.

HANGERS & SUPPORTS THE PLUMBING CONTRACTOR SHALL FURNISH ALL PIPE SUPPORTS REQUIRED FOR HIS EQUIPMENT. ALL SUPPORTS SHALL BE WROUGHT COPPER SWEAT FITTINGS JOINED WITH 50/50 SOLDER.

CONNECTIONS INSTALL UNIONS ADJACENT TO EACH VALVE AND AT FINAL CONNECTION TO EACH PIECE OF EQUIPMENT. INSTALL DIELECTRIC COUPLINGS TO CONNECT PIPING MATERIALS OF DISSIMILAR METALS. SCREEN JOINT STEEL PIPING UP TO AND INCLUDING 1-1/2" NIP PIPING USE LEAD FREE SOLDER FOR SOLDERING DOMESTIC WATER COPPER PIPE.

CLEANOUTS PROVIDE J.R. SMITH OR EQUIVALENT FLOOR AND WALL CLEANOUTS AS INDICATED ON THE DRAWINGS OR WHERE REQUIRED IN ALL SOIL WASTE AND DRAIN LINES. IN AREAS WITH CERAMIC TILE OR CARPETED FLOORS PROVIDE TOP IN CLEANOUTS. RESULTANT FLOORING PROVIDE CLEANOUTS TOP IN SQUARE ADJUSTABLE NICKEL BRONZE TOP WITH TILE RECESS. CLEANOUTS SHALL BE SAME SIZE AS PIPE EXCEPT THAT CLEANOUTS LARGER THAN 4" WILL NOT BE REQUIRED. WHERE CLEANOUTS OCCUR IN WALLS OF FINISHED AREAS, THEY SHALL BE CONCEALED BEHIND CHROME PLATED ACCESS COVERS.

INSTALLATION INSTALL PIPING FREE OF SAGS AND BENDS. INSTALL FITTINGS FOR CHANGES IN DIRECTION AND BRANCH CONNECTIONS. INSTALL SLEEVES FOR PIPES PASSING THROUGH CONCRETE AND MASONRY WALLS, GYPSUM-BOARD PARTITIONS, CONCRETE FLOOR AND ROOF SLABS. SEAL PIPE PENETRATIONS THROUGH RATED CONCRETE WALLS AND CEILING WITH FIRE RESISTANT RATED JOINTS. WATER AND SEWER LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SPACING AS REQUIRED BY CODE. EXCAVATED TO THE PROPER DEPTH AND GRADED TO PRODUCE THE REQUIRED FALL.

TESTING TESTING ALL PIPES SHALL BE TESTED BY AN APPROVED METHOD BEFORE THEY ARE BACKFILLED OR CONCEALED. AFTER TESTING IS COMPLETE, THE PLUMBING CONTRACTOR SHALL DISINFECT THE POTABLE WATER SYSTEM AS REQUIRED BY LOCAL AUTHORITY. TEST WATER PURITY ACCORDING TO LOCAL REQUIREMENTS AND SUBMIT CERTIFIED TEST RESULTS TO LOCAL ENGINEER FOR REVIEW AND APPROVAL.

PLUMBING GENERAL NOTES

1. PLUMBER SHALL SNAKEOUT AND VERIFY FLOW ON EXISTING LINES PRIOR TO TYING IN AND NOTIFY ARCHITECT OF RECORD IF DISCREPANCIES ARE FOUND.

2. S.C. SHALL SNAKE OUT, CLEAN AND REPLACE IF NECESSARY ALL EXIST. TOILET WASTE LINES. OPERATION OF EACH FIXTURE SHALL BE AS IF NEW.

3. S.C. SHALL VERIFY IN FIELD ALL EQUIPMENT THAT SHALL BE REUSED. S.C. SHALL NOTIFY ARCHITECT OF RECORD OF ALL CONDITIONS.

4. S.C. SHALL ASSUME FULL RESPONSIBILITY FOR EQUIPMENT NOT VERIFIED.

5. SEE ARCHITECTURAL DRAWINGS FOR PLUMBING SCHEDULE AND ADDITIONAL REQUIREMENTS.

6. FITCH ALL WASTE/VENT PIPING 1/8" FT. MIN. BEFORE FULL SCHEDULES & COMPLETE LISTING SEE SHEET A.000.

7. PLUMBING CONTRACTOR RESPONSIBLE FOR SITE INVESTIGATION PRIOR TO START OF WORK TO REVEAL FULL SCOPE OF WORK.

8. INVESTIGATION PRIOR TO START OF WORK TO REVEAL FULL SCOPE OF WORK.

9. COORDINATE WITH ELECTRICAL CONTRACTOR FOR POWER CONNECTIONS TO ALL PLUMBING EQUIPMENT.

10. DIMENSIONS ARE TO FINISH FACE U.O.N.

11. REFER TO ARCHITECTURAL CASEWORK DETAILS.

12. JACOUL WATER SUPPLY LINES INSIDE CASEWORK TO BE COVERED WITH 1/2" THICK SELF SEALING SECTIONAL CLOSED-CELL FOAM INSULATION.

13. SEE FOOD SERVICE ROUGHING FOR PLUMBING ITEM LOCATIONS.

14. ALL WATER LINES TO BE RUN WITH CEILING ABOVE.

15. T. TENANT'S METER AND BACK FLOW PREVENTOR ASSEMBLY TO BE ABOVE HUNG CEILING. S.C. TO PROVIDE REMOTE SUB-METER IN CELLAR. FINAL LOCATION TO BE COORDINATED WITH LIFETIME BRANDS INC. PROJECT MANAGER.

16. S.C. RESPONSIBLE TO CHECK ALL EXISTING LINES FOR LEAKS AND OPERATING CONDITION.

17. S.C. TO REPLACE ALL CRACKED, BROKEN PLUMBING LINES.

18. S.C. RESPONSIBLE TO CLEAN OUT ALL LINES AND TO ENSURE PROPER FLOW OF ALL SUPPLY AND WASTE LINES.

19. ALL FLOOR PENETRATIONS AND CHASING SHALL BE COORDINATED WITH THE BUILDING MANAGER AND STRUCTURAL ENGINEER. S.C. TO PROVIDE SHOP DRAWING TO LANDLORD OF ALL FLOOR PENETRATIONS PRIOR TO CONSTRUCTION.

20. CONTRACTOR SHALL REPAIR ALL FLOOR/WALL PENETRATIONS & FIRESTOP AS REQUIRED.

CONTRACTOR NOTES

1. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND LOCATIONS OF THE INS AND NOTIFY ARCHITECT OF RECORD IF ANY DISCREPANCIES ARE FOUND.

2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF PIPE ROUTINGS AND CATALOGUE CUTS OF ALL MATERIALS USED TO NYDA FOR APPROVAL.

3. ALL PENETRATIONS THRU RATED ASSEMBLIES SHALL BE FIRESTOPPED AS REQUIRED BY NYC CODE.

4. FLOOR PENETRATIONS SHALL NOT EXCEED 5%, ANY CUTTING BEYOND SUCH SIZE SHALL BE PROPERLY REINFORCED, AND NOTICE SHALL BE GIVEN TO NYDA FOR APPROVAL OF METHOD OF REPAIRS.

5. ANY UNUSED WASTE LINES TO BE REMOVED AND CAPPED AS CLOSE TO MAIN LINE OR STACK AS POSSIBLE.

6. NO NOTCHING OR CUTTING INTO BEAMS, JOISTS OR STRUCTURAL ASSEMBLIES PERMITTED.

7. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES LOCATIONS OF ANY DISCREPANCIES IMMEDIATELY.

8. ALL WASTE LINES SHALL BE CLEAN AND FREE OF ANY OBSTRUCTIONS, SNAKE OUT, REPAIR OR REPLACE AS REQUIRED.

9. CONTRACTOR SHALL VERIFY WATER HEATER DIMENSIONS AND LOCATION ABOVE THE HOT SINK IN THE WORKROOM.

10. PLUMBER SHALL SNAKEOUT AND VERIFY FLOW ON EXISTING LINES PRIOR TO TYING IN AND NOTIFY ARCHITECT OF RECORD IF DISCREPANCIES ARE FOUND.

11. CONTRACTOR SHALL VERIFY WATER HEATER DIMENSIONS AND LOCATION ABOVE THE HOT SINK IN THE WORKROOM.

12. S.C. SHALL SNAKE OUT, CLEAN AND REPLACE IF NECESSARY ALL EXIST. TOILET WASTE LINES. OPERATION OF EACH FIXTURE SHALL BE AS IF NEW.

13. S.C. SHALL VERIFY IN FIELD ALL EQUIPMENT THAT SHALL BE REUSED. S.C. SHALL NOTIFY ARCHITECT OF RECORD OF ALL CONDITIONS.

14. S.C. SHALL ASSUME FULL RESPONSIBILITY FOR EQUIPMENT NOT VERIFIED.

15. S.C. RESPONSIBLE TO CHECK ALL EXISTING LINES FOR LEAKS AND OPERATING CONDITION.

16. S.C. TO REPLACE ALL CRACKED, BROKEN PLUMBING LINES.

17. S.C. RESPONSIBLE TO CLEAN OUT ALL LINES AND TO ENSURE PROPER FLOW OF ALL SUPPLY AND WASTE LINES.

18. ALL FLOOR PENETRATIONS AND CHASING SHALL BE COORDINATED WITH THE BUILDING MANAGER AND STRUCTURAL ENGINEER. S.C. TO PROVIDE SHOP DRAWING TO LANDLORD OF ALL FLOOR PENETRATIONS PRIOR TO CONSTRUCTION.

19. CONTRACTOR SHALL REPAIR ALL FLOOR/WALL PENETRATIONS & FIRESTOP AS REQUIRED.

PLUMBING NOTES

1. THIS PLAN SHOWS PLUMBING REQUIREMENTS FOR FOOD SERVICE EQUIPMENT ONLY. FOR OTHER REQUIREMENTS, SUCH AS TOILET FACILITIES, AREA FLOOR DRAINS, ETC. SEE ARCHITECTS DRAWINGS.

2. PLUMBER TO DO ALL ROUGH-IN AND MAKE ALL FINAL CONNECTIONS TO EQUIPMENT. PLUMBER TO FURNISH ALL TRIM, ACCESSORIES, VALVES, PRESSURE REGULATORS, PREVENTION SYSTEM DEVICES, ETC.

3. ALL PREVAILING LOCAL PLUMBING CODES TO BE ACCOMMODATED. PROVIDE GREASE RECEPTORS AS CODE REQUIRES. PLUMBER TO SIZE AND FINISH GREASE TRAPS PER SPECIFICATION.

4. PLUMBER TO EXTEND ALL INDIRECT WASTE LINES FROM STEAM TABLES, COOLERS, COMPRESSORS, ICE MACHINES, EVAPORATOR COILS, CONDENSERS, ICE MACHINES, DRAINS AS REQUIRED.

5. PLUMBER TO RUN LINES FOR DISH-MACHINE TIGHT TO EQUIPMENT TO INSURE MAXIMUM FLOOR TO EQUIPMENT CLEARANCE.

6. PLUMBER TO FURNISH AND INSTALL ALL NECESSARY REFRIGERATION LINES FROM THE COMPRESSORS TO THE EVAPORATOR COILS IN THE WALK-IN BOXES. PROVIDE APPROVED LAYOUT DRAWINGS.

7. ALL WALK-IN BOX COMPRESSORS TO BE DAIR (WATER/AIR) COOLED.

8. KITCHEN EQUIPMENT CONTRACTORS TO FINISH AND INSULATE ALL REFRIGERATION COMPRESSORS FOR ALL GASKETS TOP CUT CUTS MADE FOR MECHANICAL CONNECTIONS AS REQUIRED.

9. CONVENIENCE OUTLETS AND AREA FLOOR DRAINS TO BE LOCATED AND PROVIDED BY THE RESPECTIVE TRADES AND IN ACCORDANCE WITH LOCAL CODES.

10. S.C. AND MECHANICAL CONTRACTORS TO INSURE ALL EQUIPMENT RUNS ABOVE FINISHED CEILING DO NOT INTERFERE WITH ANY CEILING HUNG EQUIPMENT SPECIFIED AND SHOWN ON THESE DRAWINGS.

NOTE ALL FLOOR PENETRATIONS AND CHASING SHALL BE COORDINATED WITH THE BUILDING MANAGER AND STRUCTURAL ENGINEER. S.C. TO PROVIDE SHOP DRAWING TO LANDLORD OF ALL FLOOR PENETRATIONS PRIOR TO CONSTRUCTION.

PLUMBING LEGEND

NEW PIPES

EXISTING PIPES

EXISTING PIPES TO BE REMOVED

EXISTING PIPES AT THE CEILING

NEW CONNECTION TO EXISTING

OS & Y GATE VALVE

GATE VALVE

CHECK VALVE

BALL VALVE

AUTOMATIC SHUT OFF VALVE

REDUCED PRESSURE ZONE BACKFLOW PREVENTER

THREE WAY MIXING VALVE

DOUBLE DETECTOR CHECK VALVE

HOSE BIBB W/VACUUM BREAKER

FIRE DEPARTMENT CONNECTION (SI/AN/EE)

CLEAN OUT CO

CAP OR PLUG

FLOOR DRAIN ; FD

ROOF DRAIN ; RD

INDIRECT WASTE/AIR BREAKER

ZIPPER DRAIN ; ZD

ABBREVIATIONS

HW HOT WATER 140

CM COLD WATER

M WASTE

IM INDIRECT WASTE

FD FLOOR DRAIN

SI STEAM INLET

CR CONDENSATE RETURN

HP HORSE POWER

KN KILOWATT

AMP AMPERES

DC DIRECT CONNECTION

PI PLUS IN

EOF ELECT. OUTLET IN FLOOR

EOA ELECT. OUTLET IN WALL

SR SIMPLEX RECEPTACLE

DR DUPLEX RECEPTACLE

ABOVE FLOOR

BTC BRANCH TO CONNECTION

DFC DOWN FROM CEILING

HA HOT WATER LINE

TM TEMPERED WATER LINE

FM FILTER WATER LINE

DATE 04-04-2013 REVISION DOB SET

new york design

ROUGE BAR

new york design ARCHITECTS P.C.

GIUSEPPE R. NERANO, AIA, LICENSE NO. 10013

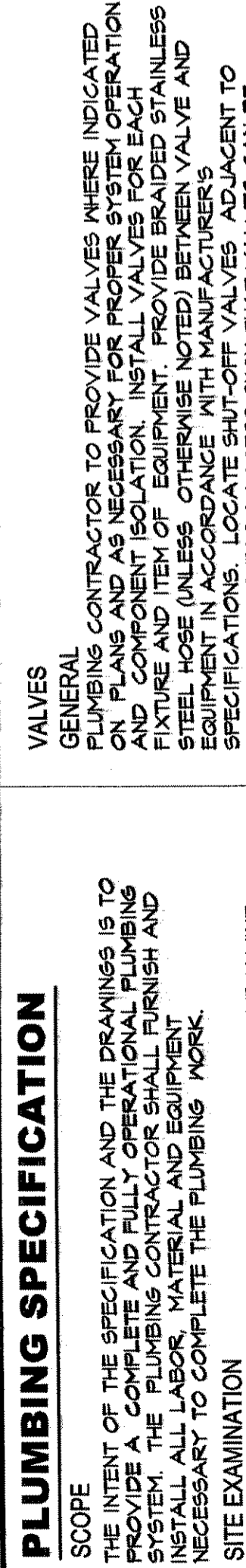
94 RIVINGTON ST. New York, NY 10002

PROJECT # 13054 DATE 04.5.2013

PLUMBING NOTES

PROFESSIONAL CERTIFICATION

D.O.B. SET



AIR BREAKER DETAIL SECTION

INDIRECT WASTE LINE FROM FIXT REF PLAN

SET SCREW

NO-HUB OUTLET AIR BREAKER SIZE WARES TO MATCHING LINE SIZE

NO-HUB CONNECTION OR SHOOT OUTLET AS ALLOWED

WASTE LINE TO RISER OR GREASE INTERCEPTOR AS REQD

Ø DIA. INLET MIN

1 AIR BREAKER DETAIL SECTION

N.T.S.

ALL FLOOR PENETRATIONS AND CHASING SHALL BE COORDINATED WITH THE BUILDING MANAGER AND STRUCTURAL ENGINEER. S.C. TO PROVIDE SHOP DRAWING TO LANDLORD OF ALL FLOOR PENETRATIONS PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL REPAIR ALL FLOOR/WALL PENETRATIONS & FIRESTOP AS REQUIRED.

NOTE

Table with 2 columns: FLUID, NOMINAL PIPE DIAMETER. Rows include Steam (1.5, 2.125), Hot Water (1.0, 2.0), Chilled Water, Brine, or Refrigerant (1.0, 1.5).

TABLE 609.2.1 INSULATION (THICKNESS IN INCHES)

GENERAL PLUMBING CONTRACTOR TO PROVIDE VALVES WHERE INDICATED ON PLANS AND AS NECESSARY FOR PROPER SYSTEM OPERATION AND COMPONENT ISOLATION. INSTALL VALVES FOR EACH FIXTURE AND ITEM OF EQUIPMENT. TOILET WASTE VALVES AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. LOCATE SHUT-OFF VALVES ADJACENT TO EQUIPMENT FOR EASY ACCESS SUCH THAT VALVES CAN BE REACHED WITHOUT MOVING EQUIPMENT.

PROVIDE VALVES FOR WORKING PRESSURE IN WATER PIPING OF 125 PSI OR GREATER UNLESS NOTED OTHERWISE VALVES SHALL BE AS FOLLOWS:

VALVE TYPE CHECK MANUFACTURER & MODEL NO. CRANE OR EQUIVALENT CRANE OR EQUIVALENT APOLLO OR 3" GATE VALVE UP TO 5" TEMP. & PRESSURE RELIEF SHOCKSTOP BACKFLOW PREVENTOR EQUIVALENT MADE OR EQUIVALENT VACUUM RELIEF VALVE EQUIVALENT J.R. SMITH PRESSURE REDUCING VALVE TRAP SEAL PRIMER

S.C. TO PROVIDE TEMPERING VALVE, MATTS OR APPROVED EQUAL AT ANY FIXTURE UTILIZED BY THE GENERAL PUBLIC, I.E. LAVATORY, HAND SINKS.

SUPPLY PRESSURE SUPPLIED TO STORE IS NOT BETWEEN 60 PSI MIN AND 65 PSI MAX. THEN PROVIDE A PRESSURE REGULATOR TO MAINTAIN SUPPLY TO MAINTAIN WATER PRESSURE. PROVIDE BACKFLOW PREVENTION ON WATER SERVICE IF REQUIRED BY LOCAL CODES.

INSULATION INSULATION ON ALL HOT & COLD WATER, AND HORIZONTAL PIPING IN CASEWORK AND BASE AREAS, USE SELF-SEALING CLOSED CELL FOAM OR JACKETED FIBERGLASS INSULATION WITH MANUFACTURE APPROVED ADHESIVES, SEALERS, AND COATINGS. ALL MATERIALS USED SHALL NOT EXCEED 25 FOR FLOOR SLOPE, 50 FOR RUEL CONTRIBUED, OR 50 FOR SHOE DEVELOPED. USES OTHER ENERGY EFFICIENT INSULATION WITH MINIMUM R VALUE SHALL BE AS FOLLOWS:

ICE BIN DRAIN INSULATE ICE BIN COPPER DRAIN LINES WITH 1/2" THICK, SELF-SEALING, SECTIONAL, CLOSED CELL FOAM.

PIPE SIZE 1" DIA. OR GREATER 1" DIA. OR GREATER 1" DIA. OR GREATER (INSULATION VALUE = 4 TO 4.6 / INCH)

SAFETY COVERS INSTALL SPECIFIED NO-SCAID SAFETY COVERS WITH INSULATED FOAM LINER AND TAMPER PROOF STRAP AS FURNISHED BY PLUMBER AT ALL EXPOSED PIPING.

WATER HEATER PROVIDE AN A.O. SMITH OR EQUIVALENT GLASS-LINED, CAPACITY AS INDICATED IN THE WATER HEATER. GAS IS NOT AVAILABLE PROVIDE AN A.O. SMITH OR EQUIVALENT ENERGY EFFICIENT GLASS LINED ELECTRIC WATER HEATER WITH SIMILAR CAPACITY AND RECOVERY RATES. PROVIDE INSTALLATION COMPLETE WITH FITTINGS AS SHOWN IN THE DRAWINGS.

RAIN COLLECTORS RAIN COLLECTORS WHICH PASS THROUGH OCCUPIED AREAS WITH 1/2" THICK FIBERGLASS MISC PLUMBING FIXTURES

WATER HEATER PROVIDE AN A.O. SMITH OR EQUIVALENT GLASS-LINED, CAPACITY AS INDICATED IN THE WATER HEATER. GAS IS NOT AVAILABLE PROVIDE AN A.O. SMITH OR EQUIVALENT ENERGY EFFICIENT GLASS LINED ELECTRIC WATER HEATER WITH SIMILAR CAPACITY AND RECOVERY RATES. PROVIDE INSTALLATION COMPLETE WITH FITTINGS AS SHOWN IN THE DRAWINGS.

WATER FILTRATION WATER FILTRATION TO INSTALL WATER FILTRATION EQUIPMENT AS INDICATED ON THE PLANS. PROVIDE GREASE INTERCEPTOR

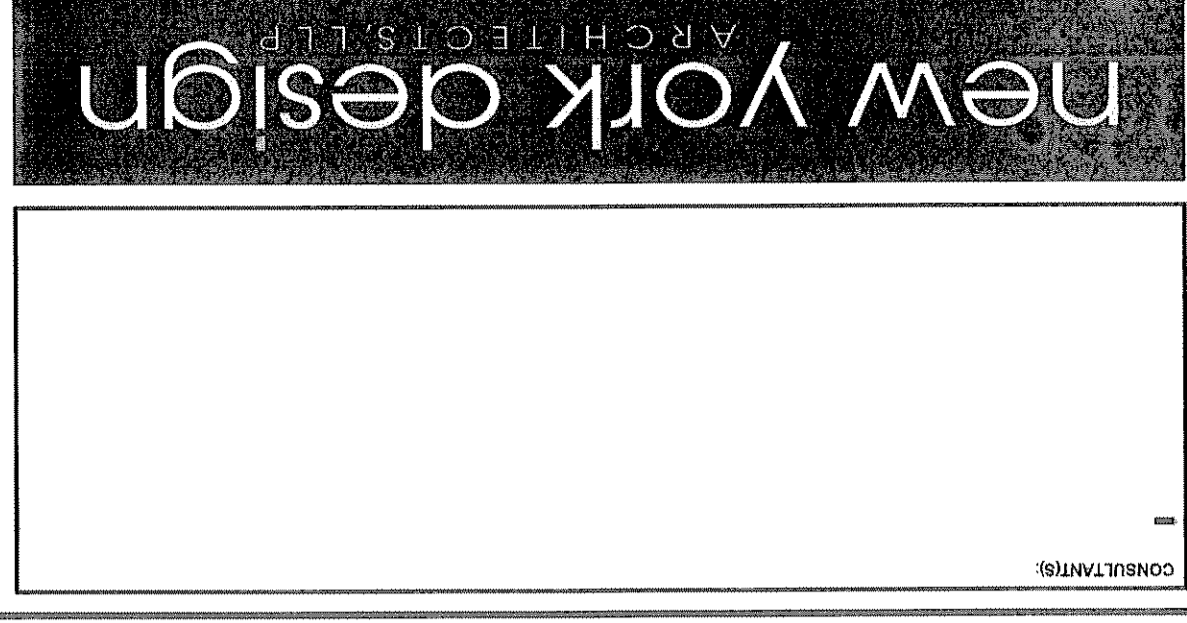
REGULATIONS PROVIDE FLOOR MOUNTED SEMI-RECESSED OR FULLY RECESSED UNITS TO FIT IN LOCATIONS AS INDICATED ON THE DRAWINGS.

CLEANOUTS PROVIDE J.R. SMITH OR EQUIVALENT FLOOR AND WALL CLEANOUTS AS INDICATED ON THE DRAWINGS OR WHERE REQUIRED IN ALL SOIL WASTE, AND DRAIN LINES. IN AREAS WITH CERAMIC TILE OR CARPETED FLOORS PROVIDE TOP IN CLEANOUTS. RESULTANT FLOORING PROVIDE CLEANOUTS TOP IN SQUARE ADJUSTABLE NICKEL BRONZE TOP WITH TILE RECESS. CLEANOUTS SHALL BE SAME SIZE AS PIPE EXCEPT THAT CLEANOUTS LARGER THAN 4" WILL NOT BE REQUIRED. WHERE CLEANOUTS OCCUR IN WALLS OF FINISHED AREAS, THEY SHALL BE CONCEALED BEHIND CHROME PLATED ACCESS COVERS.

INSTALLATION INSTALL PIPING FREE OF SAGS AND BENDS. INSTALL FITTINGS FOR CHANGES IN DIRECTION AND BRANCH CONNECTIONS. INSTALL SLEEVES FOR PIPES PASSING THROUGH CONCRETE AND MASONRY WALLS, GYPSUM-BOARD PARTITIONS, CONCRETE FLOOR AND ROOF SLABS. SEAL PIPE PENETRATIONS THROUGH RATED CONCRETE WALLS AND CEILING WITH FIRE RESISTANT RATED JOINTS. WATER AND SEWER LINES SHALL BE LAID IN SEPARATE TRENCHES WITH A MINIMUM HORIZONTAL SPACING AS REQUIRED BY CODE. EXCAVATED TO THE PROPER DEPTH AND GRADED TO PRODUCE THE REQUIRED FALL.

TESTING TESTING ALL PIPES SHALL BE TESTED BY AN APPROVED METHOD BEFORE THEY ARE BACKFILLED OR CONCEALED. AFTER TESTING IS COMPLETE, THE PLUMBING CONTRACTOR SHALL DISINFECT THE POTABLE WATER SYSTEM AS REQUIRED BY LOCAL AUTHORITY. TEST WATER PURITY ACCORDING TO LOCAL REQUIREMENTS AND SUBMIT CERTIFIED TEST RESULTS TO LOCAL ENGINEER FOR REVIEW AND APPROVAL.

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 REVISION: R.D. DOB SET

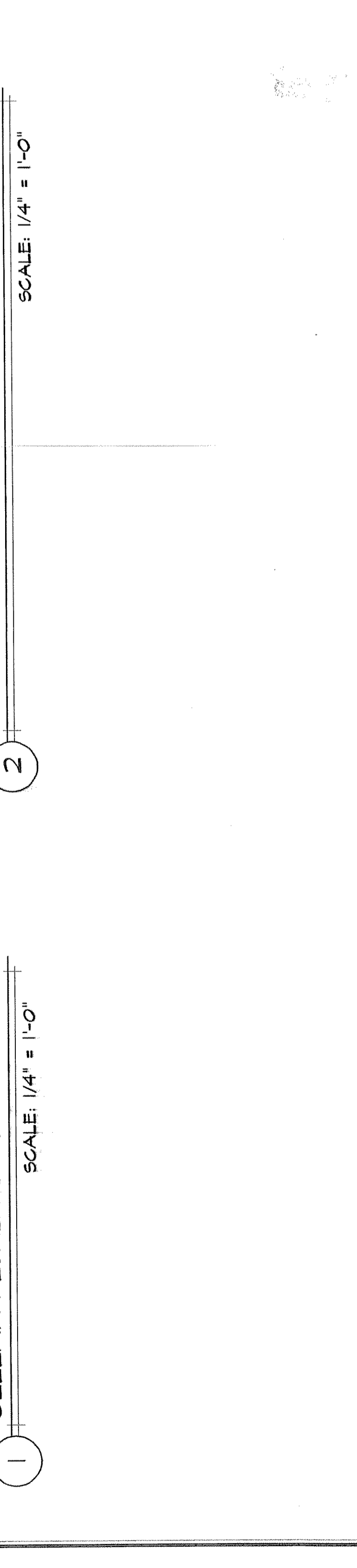
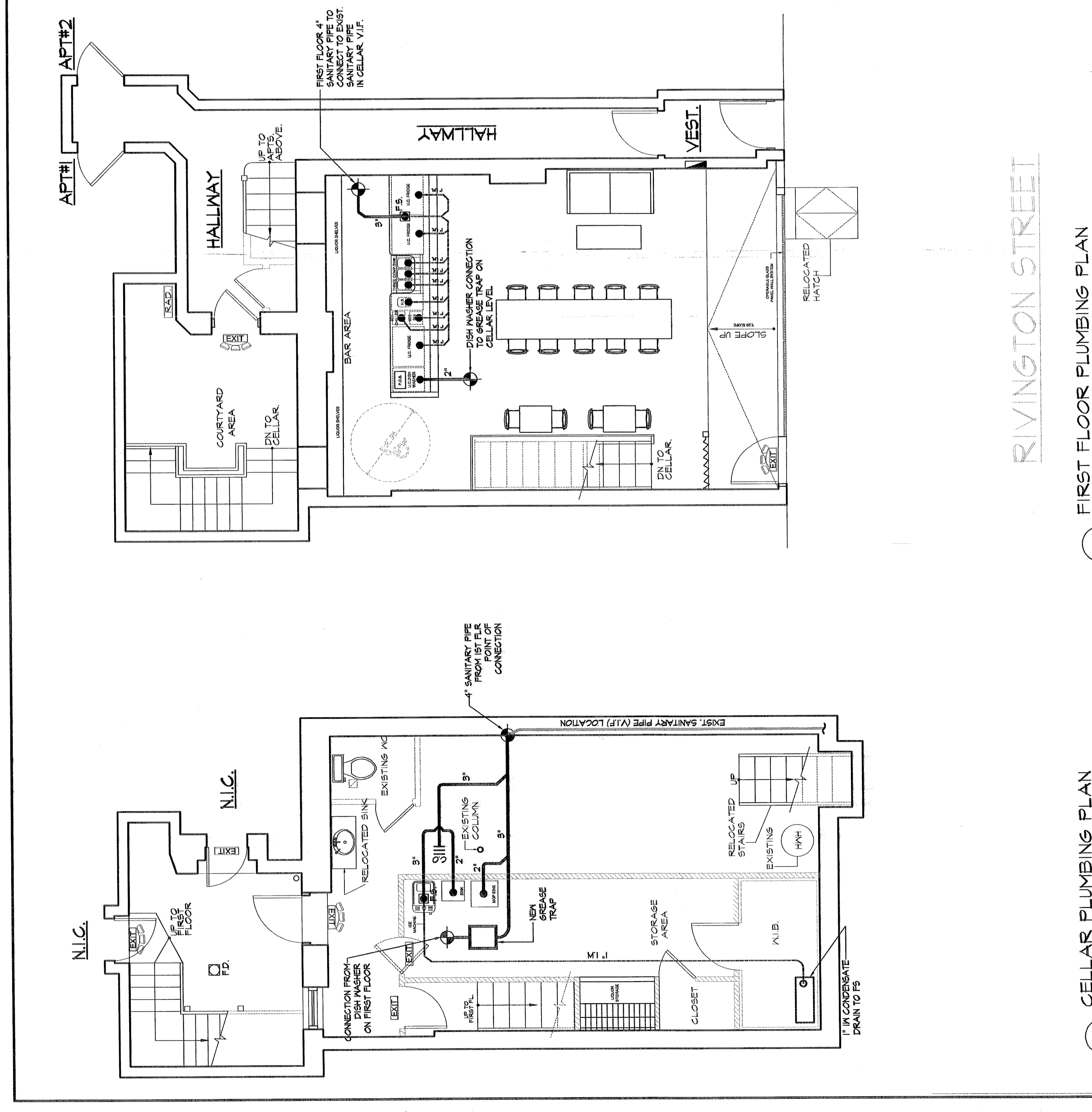
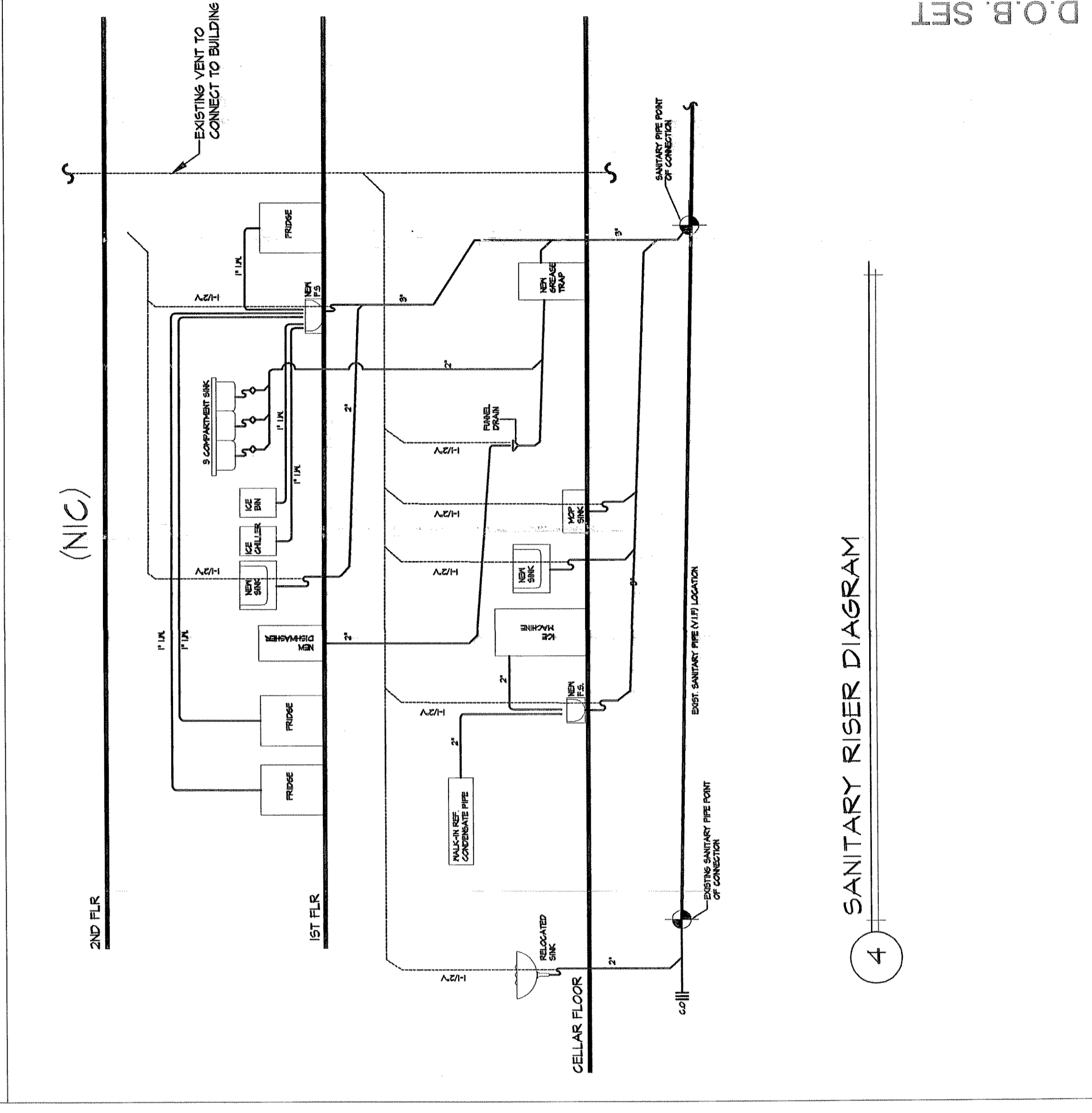
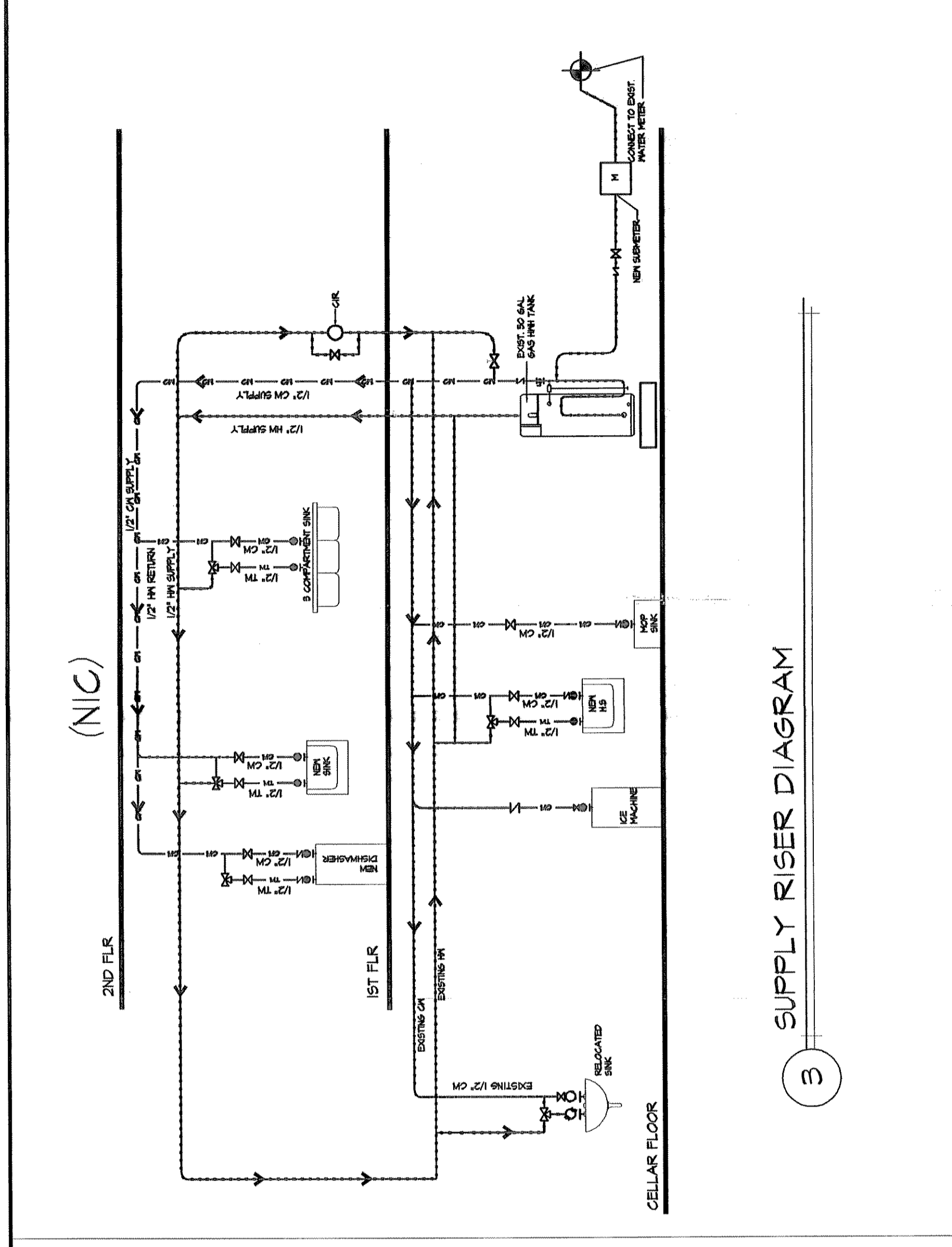


CLIENT: ROUGE BAR

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ADDRESS: 94 RIVINGTON ST., New York, NY 10002
 PROJECT #: 13054 DATE: 04.5.2013
 DRAWING NAME: CELLAR, FIRST FLOOR PLUMBING PLAN AND RISER DIAGRAMS
 DRAWN BY: JS RD RD
 PROJECT MANAGER: JS RD RD
 SHEET NO.: P-020.00 OF 10

DOB APPROVAL: PROFESSIONAL CERTIFICATION
 DEPARTMENT OF BUILDINGS
 Accepted for OPEN REVIEW
 PROFESSIONAL CERTIFICATION
 MANHATTAN
 Date: APR 23 2013



2 FIRST FLOOR PLUMBING PLAN
 SCALE: 1/4" = 1'-0"

