

CITY PLANNING COMMISSION DISPOSITION SHEET

PUBLIC MEETING:
WEDNESDAY, FEBRUARY 2, 2005
10:00 A.M. SPECTOR HALL
22 READE STREET, NEW YORK 10007

Yvette V. Gruel, Calendar Officer
 22 Reade Street, Room 2E
 New York, New York 10007-1216
 (212) 720-3370

CAL NO.	ULURP NO.	CD NO	PROJECT NAME	C.P.C. ACTION
1	C 050132 PCK	7	ENGINE 201 FIRE HOUSE	Scheduled to be Heard 2/16/05
2	C 050095 ZSK	2	110 LIVINGSTON STREET GARAGE	“ ”
3	C 040163 ZSM	1	45 LISPENARD STREET	“ ”
4	C 050045 PQQ	13	CHARLES DREW DAY CARE CENTER	“ ”
5	C 050149 ZMQ	11	BAYSIDE REZONING/R2A TEXT	“ ”
6	N 050148 ZRY	cw	“ ”	“ ”
7	N 050148(A) ZRY	cw	“ ”	“ ”
8	C 050194 ZMQ	12	SPRINGFIELD GARDENS REZONING	“ ”
9	N 050268 PXX	1	DEPARTMENT OF FINANCE OFFICE SPACE	Withdrawn
10	C 050134 ZMK	10	BAY RIDGE REZONING	Hearing Closed
11	C 050134(A) ZMK	10	“ ”	“ ”
12	N 050133 ZRK	10	“ ”	“ ”
13	C 050072 HAM	11	PROJECT GREEN HOPE	“ ”
14	C 050073 ZSM	11	“ ”	“ ”
15	C 050096 ZSM	8	713 PARK AVENUE	“ ”
16	C 050017 PSQ	13	WARNERVILLE PUMPING STATION	“ ”
17	N 050231 HKQ	11	DOUGLASTON HILL HISTORIC DISTRICT	“ ”

COMMISSION ATTENDANCE:	Present (P) Absent (A)	COMMISSION VOTING RECORD:												
		In Favor - Y Oppose - N Abstain - AB Recuse - R												
Calendar Numbers:		19	20	21	22	23	24	25						
Amanda M. Burden, AICP, Chair	P	Y	Y	Y	Y	Y	Y	Y						
Kenneth J. Knuckles, Esq., Vice Chairman	P													
Angela M. Battaglia	P	Y	Y	Y	Y	Y	Y	Y						
Irwin Cantor, P.E.	P	Y	Y	Y	Y	Y	Y	Y						
Angela R. Cavaluzzi, R.A.	P	Y	Y	Y	Y	Y	Y	Y						
Alfred C. Cerullo, III	P	Y	Y	Y	Y	Y	Y	Y						
Richard W.Eaddy	P	Y	Y	Y	Y	Y	Y	Y						
Jane D. Gol	P	Y	Y	Y	Y	Y	Y	Y						
Lisa A. Gomez	P	Y	Y	Y	Y	Y	Y	Y						
Christopher Kui	P	Y	Y	Y	Y	Y	Y	Y						
John Merolo	P	Y	Y	Y	Y	Y	Y	Y						
Karen A. Phillips	P	Y	Y	N	N	Y	Y	Y						
Dolly Williams, Commissioners	P	Y	Y	Y	Y	Y	Y	Y						

MEETING ADJOURNED AT: 1:27 P.M.

NOTE: Vice Chair Knuckles was not present for the votes

**COMPREHENSIVE
CITY PLANNING CALENDAR
of
The City of New York**
—————
CITY PLANNING COMMISSION
—————
WEDNESDAY, FEBRUARY 2, 2005
—————
**MEETING AT 10:00 A.M. AT SPECTOR HALL
22 READE STREET
NEW YORK, NEW YORK**



Michael R. Bloomberg, Mayor

City of New York

[No. 3]

Prepared by Yvette V. Gruel, Calendar Officer

To view the Planning Commission Calendar and/or the Zoning Resolution on the World Wide Web, visit the Department of City Planning (DCP) home page at: nyc.gov/planning

A

CITY PLANNING COMMISSION

GENERAL RULES OF PROCEDURE AS PERTAINING TO
PUBLIC MEETINGS

1. A quorum shall consist of seven members.
2. Final action by the Commission shall be by the affirmative vote of not less than seven members.
3. Except by unanimous consent, matters upon which public hearing are required by law shall lie over until the next meeting following the public hearing.
4. Matters not on the calendar may be considered by unanimous consent.

NOTE - Matters scheduled for public hearing by the City Planning Commission usually appear in three calendars: first in Section I, (Scheduling Dates for Future Public Hearings), second in Section II, (Public Hearings), and third in Section III, (Reports). Matters scheduled for public hearing by Community Boards appear in a separate calendar available in the Calendar Information Office.

NOTICE--CALENDARS: City Planning Commission calendars and disposition sheets are now available on the Department of City Planning's web site (www.nyc.gov/planning). The availability of these documents on-line will occur earlier than the current printed documents.

If you wish to be notified of the web site availability of calendars and disposition sheets, please send your name, organization and E-mail address to the address listed below. Any individual or organization that would like to receive paper copies of the aforementioned documents will be able to do so at a fee of \$120.00 annually. Please have the certified check made out to the **City of New York -- Department of City Planning** to the attention of the Calendar Information Office, 22 Reade Street, Room 2E, New York, New York 10007-1216.

For Calendar Information: call (212) 720-3368, 3369, 3370.

Note to Subscribers: Notify us of change of address including E-mail by writing to:

City Planning Commission
Calendar Information Office
22 Reade Street - Room 2E
New York, New York 10007-1216

B
CITY PLANNING COMMISSION

22 Reade Street, New York, N.Y. 10007-1216

AMANDA M. BURDEN, *AICP, Chair*
KENNETH J. KNUCKLES, *Esq., Vice Chairman*
ANGELA M. BATTAGLIA
IRWIN G. CANTOR, *P.E.*
ANGELA R. CAVALUZZI, *R.A.*
ALFRED C. CERULLO, III
RICHARD W. EADDY
JANE D. GOL
LISA A. GOMEZ
CHRISTOPHER KUI
JOHN MEROLO
KAREN A. PHILLIPS
DOLLY WILLIAMS, *Commissioners*
YVETTE V. GRUEL, *Calendar Officer*

The regular public meetings of the Commission shall be held twice monthly on Wednesday at 10:00 a. m. in Spector Hall, 22 Reade Street, Manhattan, unless otherwise ordered.

ORDER OF BUSINESS AND INDEX

WEDNESDAY, FEBRUARY 2 , 2005

Roll Call; approval of minutes	1
I. Scheduling of February 16, 2005	1
II. Public Hearings	33
III. Reports93
IV. Schedule of Meetings: January 1, 2005 - June 30, 2005.....	113

**Community Board Public Hearing Notices are available in the
Calendar Information Office, Room 2E, 22 Reade Street,
New York, N.Y. 10007**

The next regular public meeting of the City Planning Commission is scheduled for February 16, 2005 at Spector Hall 22 Read Street, New York, at 10:00 a.m.

C

GENERAL INFORMATION

HOW TO PARTICIPATE:

Signing up to speak: Anyone wishing to speak on any of the items listed under "Public Hearing" in this Calendar, is requested to fill out a speaker's slip supplied at the staff desk outside the hearing chambers on the day of the hearing. Speakers on each item will be called in the order these slips are submitted, with the exception that public officials will be allowed to speak first. If a large number of people wish to speak on a particular item, statements will be taken alternating every 30 minutes between those speaking in support of the proposal and those speaking in opposition.

Length of Testimony: In order to give others an opportunity to speak, all speakers are asked to limit their remarks to three minutes.

Written Comments: If you intend to submit a written statement and/or other documents please submit 20 sets of each.

Anyone wishing to present facts or to inform the Commission of their view on an item in this calendar, but who cannot or does not wish to speak at the public hearing, may fill out the form below and return it to the desk outside the hearing chambers or mail their written comments to:

**CITY PLANNING COMMISSION
Calendar Information Office - Room 2E
22 Reade Street, New York, N.Y. 10007**

(Extra copies of this form may be obtained in the Calendar Information Office at the above address.)

Subject _____

Date of Hearing _____ Calendar No. _____

Borough _____ Identification No.: _____ CB No.: _____

Position: Opposed _____

In Favor _____

Comments: _____

Name: _____

Address: _____

Organization (if any) _____

Address _____ Title: _____

FEBRUARY 2, 2005

APPROVAL OF MINUTES OF Regular Meeting of January 19, 2005

**I. PUBLIC HEARINGS OF THE FOLLOWING MATTERS TO BE
SCHEDULED FOR WEDNESDAY, FEBRUARY 16, 2005
STARTING AT 10:00 A.M.
IN SPECTOR HALL, 22 READE STREET
NEW YORK, NEW YORK**

BOROUGH OF BROOKLYN

No. 1

ENGINE 201 FIRE HOUSE

CD 7

C 050132 PCK

IN THE MATTER OF an application submitted by the Fire Department and the Department of Citywide Administrative Services pursuant to Section 197-c of the New York City Charter for site selection and acquisition of property located at 5117 Fourth Avenue (Block 799, Lot 3); for use as a fire station.

Resolution for adoption scheduling February 16, 2005 for a public hearing.

No. 2

110 LIVINGSTON STREET GARAGE

CD 2

C 050095 ZSK

IN THE MATTER OF an application submitted by Two Trees Management Corporation and the Economic Development Corporation pursuant to Sections 197-c and 201 of the New York City Charter **for the grant of a special permit** pursuant to Section 74-52 of the Zoning Resolution **to allow an attended public parking garage with a maximum capacity of 333 spaces (including 42 accessory spaces) on a portion of the first floor, in the cellar and the sub-cellar of an existing 12-story mixed use building on property located at 110 Livingston**

Street (Block 269, Lot 1), in a C5-4 District, within the Special Downtown Brooklyn District.

Plans for this proposal are on file with the City Planning Commission and may be seen in Room 3N, 22 Reade Street, New York, N.Y. 10007.

Resolution for adoption scheduling February 16, 2005 for a public hearing.

BOROUGH OF MANHATTAN

No. 3

45 LISPENARD STREET

CD 1

C 040163 ZSM

IN THE MATTER OF an application submitted by Lispenard Studios Corp. pursuant to Sections 197-c and 201 of the New York City Charter **for the grant of a special permit** pursuant to Section 111-50 of the Zoning Resolution **to modify the use regulations of Sections 111-101 and 111-102(b) to allow two loft dwellings on the first floor and mezzanine and accessory uses in the cellar floor of an existing 9-story building located at 45 Lispenard Street** (Block 216, Lot 26), in an M1-5 District, within the Special Tribeca Mixed Use District (Area B1).

Plans for this proposal are on file with the City Planning Commission and may be seen in Room 3N, 22 Reade Street, New York, N.Y. 10007.

Resolution for adoption scheduling February 16, 2005 for a public hearing.

BOROUGH OF QUEENS

No. 4

CHARLES DREW DAY CARE CENTER

CD 13

C 050045 PQQ

IN THE MATTER OF an application submitted by the Administration for Children's Services and the Department of Citywide Administrative Services pursuant to Section 197-c of the New

York City Charter for acquisition of property located at 109-45 207th Street (Block 10917, Lot 29), for continued use as a day care center.

Resolution for adoption scheduling February 16, 2005 for a public hearing.

Nos. 5, 6 and 7

BAYSIDE REZONING/R2A TEXT

CD 11

C 050149 ZMQ

IN THE MATTER OF an application submitted by the Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter for **an amendment of the Zoning Map, Section Nos. 10c, 10d, 11a and 11b:**

1. eliminating from an existing R2 District a C1-2 District bounded by:
 - (a) a line 150 feet northerly of Horace Harding Expressway, 211th Street, a line 100 feet northerly of Horace Harding Expressway, and 210th street; and
 - (b) a line 150 feet northerly of Horace Harding Expressway, 217th Street, a line 100 feet northerly of Horace Harding Expressway, and 215th street;
2. eliminating from an existing R3-2 District a C1-2 District bounded by:
 - (a) a line 150 feet northerly of 35th Avenue, the westerly service road of Clearview Expressway, a line 100 feet northerly of 35th Avenue, and 205th street; and
 - (b) a line 150 feet northerly of 48th Avenue, a line 150 feet westerly of Bell Boulevard, 47th Avenue, a line 100 feet westerly of Bell Boulevard, a line 100 feet northerly of 48th Avenue, 212th Street, 48th Avenue, 212th Street, a line 100 feet southerly of 48th Avenue, Bell boulevard, a line 150 feet southerly of 48th Avenue, 211th Street, 48th Avenue, and 211th street;
3. changing from an R2 District to an R1-2 District property bounded by:
 - (a) 24th Avenue and its northeasterly centerline prolongation, Cross Island Parkway, 28th Avenue, and Bell Boulevard;

- (b) a line 100 feet northerly of 29th Avenue, 216th Street, a line 130 feet northerly of 31st Road, a line 150 feet easterly of 216th Street, 31st Road, a line 250 feet easterly of 216th Street, 32nd Avenue, 215th place, 33rd Road, 214th Place, 33rd Avenue, 214th Street, a line 100 feet northerly of 33rd Avenue, Bell Boulevard, the easterly prolongation of the center line of 32nd Avenue, 214th Street, 29th Avenue, and Bell Boulevard; and
 - (c) 35th Avenue and its easterly centerline prolongation, Cross Island Parkway, a line 100 feet northerly of 41st Avenue (straight portion) and its easterly prolongation, 223rd Street, 38th Avenue, 222nd Street, 37th Avenue, and 221st Street and its northerly centerline prolongation;
4. changing from an R2 District to an R2A District property bounded by:
- (a) 26th Avenue, Bell Boulevard, 28th Avenue, Cross Island Parkway, 35th Avenue and its easterly centerline prolongation, 221st Street and its northerly centerline prolongation, 37th Avenue, 222nd Street, 38th Avenue, 223rd Street, a line 100 feet northerly of 41st Avenue (straight portion) and its easterly prolongation, Cross Island Parkway, the northerly boundary line of Long Island Rail Road (LIRR) right-of-way, 221st Street, 41st Avenue and its easterly centerline prolongation, 217th Street, Corbett Road, 35th Avenue, 214th Place, 34th Road and its westerly centerline prolongation, a line 100 feet westerly of Bell Boulevard and its southerly prolongation, a line midway between Bell Boulevard and 213th Street and its northerly prolongation, 36th Avenue, 213th Street, 38th Avenue, a line midway between 212th and 213th Streets, 39th Avenue, 208th Street, the center line of LIRR right-of-way, Francis Lewis Boulevard, 38th Avenue, 203rd Street, 36th Avenue, and the westerly service road of Clearview Expressway; except within the area as described in 3 b);
 - (b) a line 100 feet southerly of Northern Boulevard, a line 100 feet easterly of 220th Place, 46th Avenue, the westerly, northerly and easterly boundary of Alley Park, 46th Avenue, Springfield Boulevard, 47th Avenue, a line midway between 217th and 218th Streets, 46th Avenue, and 218th Street; and
 - (c) 47th Road, Springfield Boulevard, the southerly, westerly and northerly boundary of Alley Park, Springfield Boulevard, the southerly service road of Horace Harding Expressway, Oceania Street, the northerly service road of Horace Harding Expressway, a line midway between 207th and 208th Streets, 58th Avenue, 208th Street, 56th Avenue, 207th Street, 53rd Avenue, a line midway between 207th and 208th Streets, 48th Avenue, Oceania Street, a line 100 feet southerly of 48th Avenue, 211th Street, a line 150 feet southerly of 48th Avenue, Bell Boulevard, 48th Avenue, and 217th Street;

5. changing from an R3-1 District to an R3X District property bounded by:
 - (a) 35th Avenue, 214th Place, 39th Avenue, Corp. Stone Street, 36th Avenue, and a line 150 feet easterly of Bell Boulevard (straight portion);
 - (b) the northerly boundary line of LIRR right-of-way, 217th Street and its northerly centerline prolongation, a line 100 feet southerly of 43rd Avenue, 215th Place, 43rd Avenue, a line midway between 215th Street and 215th Place, 42nd Avenue, and 216th Street and its northerly centerline prolongation; and
6. changing from an R3-1 District to an R3A District property bounded by 45th Road, a line 150 feet westerly of Bell Boulevard, 46th Road, and 211th Street;
7. changing from an R3-2 District to an R2A District property bounded by:
 - (a) 34th Avenue, 205th Street, a line 100 feet southerly of 34th Avenue, the westerly service road of Clearview Expressway, a line 100 feet northwesterly of 35th Avenue, 201st Street, 35th Avenue, a line midway between 200th and 201st Streets, a line 100 feet southerly of 34th Avenue, and 202nd Street;
 - (b) a line 100 feet southerly of 36th Avenue, 203rd Street, 38th Avenue, Francis Lewis Boulevard, a line 100 feet northerly of 38th Avenue and its westerly prolongation, and a line midway between 202nd and 203rd Streets;
 - (c) 39th Avenue, Corp. Kennedy Street, a line 100 feet northerly of 41st Avenue, and 209th Street;
 - (d) the center line of LIRR right-of way, a line midway between 208th and 209th Streets and its northerly prolongation, a line 100 feet northerly of 42nd Avenue, and a line midway between 201st and 202nd Streets and its northerly prolongation;
 - (e) a line 100 feet southerly of 42nd Avenue, Corp. Kennedy Street, a line 100 feet northerly of Northern Boulevard, Clearview Rexpressway, a line 100 feet southerly of 43rd Avenue, 205th Street, 43rd Avenue, 203rd Street, a line 100 feet northerly of 43rd Avenue, and a line midway between 202nd and 203rd Streets;
 - (f) Corbett Road, 217th Street, 39th Avenue, and 216th Street;
 - (g) 41st Avenue and its center line prolongation, 221st Street, the northerly boundary line of LIRR right-of-way, Cross Island Parkway, the southerly

boundary line of LIRR right-of-way, 223rd Street, 43rd Avenue, and 217th Street and its northerly centerline prolongation; and

- (h) a line 100 feet southerly of 48th Avenue, Bell Boulevard, a line 150 feet southerly of 48th Avenue, and 211th Street;
8. changing from an R3-2 District to an R3A District property bounded by:
- (a) a line 100 feet southerly of 34th Avenue, a line midway between 200th and 201st Streets, 35th Avenue, and Jordan Street;
 - (b) a line 75 feet southeasterly of 35th Avenue, 203rd Street, a line 75 feet southerly of 35th Avenue, a line midway between 204th and 205th Streets, 36th Avenue, 203rd Street, a line 100 feet southerly of 36th Avenue, a line midway between 202nd and 203rd Streets, a line 100 feet northerly of 38th Avenue, a line midway between 200th and 201st Streets, a line 100 feet northerly of 36th Avenue, and 201st Street; and
 - (c) 45th Drive, 211th Street, 47th Avenue, and Oceania Street;
9. changing from an R3-2 District to an R3X District property bounded by:
- (a) 35th Avenue, Corbett Drive, 216th Street, 39th Avenue, 217th Street and its southerly centerline prolongation, the northerly boundary line of the LIRR right-of-way, the southerly prolongation of the center line of 215th Street, 41st Avenue, a line 100 feet easterly of the southerly prolongation of the easterly street line of 214th Place, the easterly prolongation of the center line of 41st Avenue, and 214th Place;
 - (b) 43rd Avenue, a line midway between 222nd and 223rd Streets, a line 100 feet northerly of Northern Boulevard, and 217th Street; and
 - (c) 45th Avenue, a line 100 feet easterly of 202nd Street, a line 100 feet southerly of 45th Avenue, a line 100 feet southerly of Northern Boulevard, 204th Street, 47th Avenue, 202nd Street, Rocky Hill Road, 47th Avenue, and Francis Lewis Boulevard;
10. changing from an R3-2 District to an R3-1 District property bounded by:
- (a) a line 100 feet southerly of Northern Boulevard, Clearview Expressway, 45th Road, 211th Street, 45th Drive, Oceania Street, 48th Avenue, Rocky Hill Road, 202nd Street, 47th Avenue, and 204th Street; and

- (b) 47th Avenue, a line 100 feet westerly of 213th Street, a line 100 feet northerly of 48th Avenue, and a line 100 feet easterly of 210th Street;
11. changing from an R3-2 District to an R4B District property bounded by 47th Avenue, a line 100 feet easterly of 210th Street, a line 100 feet northerly of 48th Avenue, a line 100 feet westerly of 213th Street, 47th Avenue, Bell Boulevard, a line 100 feet southerly of 48th Avenue, Oceania Street, 48th Avenue, and Oceania Street;
 12. changing from an R3-2 District to an R4-1 District property bounded by 34th Avenue, the westerly service road of Clearview Expressway, a line 100 feet southerly of 34th Avenue, and 205th Street;
 13. changing from an R4 District to an R3X District property bounded by 34th Road, 214th Place, 35th Avenue, and a line 100 feet westerly of 214th Place;
 14. changing from an R4 District to an R4B District property bounded by a line 100 feet southerly of Northern Boulevard, a line midway between 215th Place and 216th Street, 46th Avenue, 215th Place, a line 100 feet southerly of 46th Avenue, a line midway between 215th Street and 215th Place, 48th Avenue, Bell Boulevard, 47th Avenue, a line 150 feet westerly of Bell Boulevard, 45th Road, and a line 100 feet easterly of Bell Boulevard; and
 15. changing from an R4A District to an R2A District property bounded by 39th Avenue, 210th Street, a line 100 feet northerly of 41st Avenue, and Corp. Kennedy Street;

as shown in a diagram (for illustrative purposes only) dated November 1, 2004.

Resolution for adoption scheduling February 16, 2005 for a public hearing.

No. 6

Citywide

N 050148 ZRY

IN THE MATTER OF an application submitted by the Department of City Planning pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, relating to Article I, Chapter 1 (**Title, Establishment of Controls, and Interpretation of Regulations**) and Chapter 2 (**Construction of Language and Definitions**); Article II, Chapter 3 (**Bulk Regulations for Residential Buildings in Residential Districts**) and Chapter 5 (**Accessory Off-Street Parking and Loading Regulations**), establishing an R2A district.

Matter in underline is new, to be added;

matter in ~~strikeout~~ is old, to be deleted;

Matter within # # is defined in Section12-10;

* * * indicates where unchanged text appears in the Zoning Resolution

* * *

**ARTICLE 1
GENERAL PROVISIONS**

**Chapter 1
Title, Establishment of Controls, and Interpretation of Regulations**

* * *

**11-12
Establishment of Districts**

In order to carry out the purposes and provisions of this Resolution, the following districts are hereby established:

Residence Districts

R1-1 Single-Family Detached Residence District

R1-2 Single-Family Detached Residence District

R2 Single-Family Detached Residence District

R2A Single-Family Detached Residence District

R2X Single-Family Detached Residence District

* * *

**12-10
Definitions**

* * *

Floor area

"Floor area" is the sum of the gross areas of the several floors of a #building# or #buildings#, measured from the exterior faces of exterior walls or from the center lines of walls separating two

#buildings#. In particular, #floor area# includes:

* * *

- (d) attic space (wether or not a floor has been laid) providing structural headroom of five feet or more in R2A, R2X, R3, R4 or R5 Districts and eight feet or more in other districts;

* * *

- (i) floor space used for #accessory# off-street parking spaces provided in any #story# after June 30, 1989:

- (1) within #detached# or #semi-detached single-# or #two-family residences# in R2A, R2X, R3, R4 or R5 Districts, except that in R2A Districts, and in R3, R4A and R4-1 Districts in #lower density growth management areas#, #floor area# within such #residences# shall include only floor space in excess of 300 square feet for one such space and in excess of 500 square feet for two such spaces;

* * *

- (6) which is unenclosed and covered by a #residential building or other structure# for at least 50 percent of such #accessory# off-street parking space in R2A, R2X, R3, R4 and R5 Districts.....

* * *

- (m) floor space used for mechanical equipment that exceeds 50 square feet for the first #dwelling unit#, an additional 30 square feet for the second #dwelling unit# and an additional 10 square feet for each additional #dwelling unit# in R2A, R2X, R3, R4 and R5 Districts....

* * *

However, the #floor area# of a #building# shall not include:

* * *

- (4) attic space (whether or not a floor ~~actually~~ has been laid) providing structural

headroom of less than five feet in R2A, R2X, R3, R4 or R5 Districts and less than eight feet in other districts;

* * *

- (6) floor space used for #accessory# off-street parking spaces provided in any #story#:
 - (i) up to 200 square feet per required space existing on June 30, 1989 within #residential buildings# in R3, R4 or R5 Districts, except that in R2A Districts, and for #detached# or #semi-detached single-# or #two-family residences# in R3, R4A and R4-1 Districts within #lower density growth management areas#, #floor area# shall not include up to 300 square feet for one required space and up to 500 square feet for two required spaces;

* * *

- (8) floor space used for mechanical equipment, except that in R2A, R2X, R3, R4, or R5 Districts, such exclusion shall be limited to 50 square feet for the first #dwelling unit#, an additional 30 square feet for the second #dwelling unit#, ...

* * *

- (9) except in R2A, R2X, R3, R4 and R5 Districts, the lowest #story# (whether a #basement# or otherwise) of a #residential building#, provided that:
 - (i) such #building# contains not more than two #stories# above such #story#;

* * *

Chapter 3
Bulk Regulations for Residential Buildings in Residence Districts

* * *

23-00
APPLICABILITY AND GENERAL PURPOSES

* * *

23-10

OPEN SPACE AND FLOOR AREA REGULATIONS

* * *

23-141

In R1, R2, R3, R4 or R5 Districts

R1 R2 R3 R4 R5

Except as otherwise provided in Section 23-144 (For non-profit residences for the elderly in R3, R4, R5, R6 and R7 Districts), in the districts indicated, the minimum required #open space# or #open space ratio#, the maximum #lot coverage# and the maximum #floor area ratio# for any #building# on a #zoning lot# shall be as set forth in the following tables:

(a)

District	Minimum Required #Open Space Ratio#	Maximum #Floor Area Ratio#
R1 R2*	150.0	0.50

* R2A and R2X ~~is~~ are subject to the provisions of paragraph (b).

(b)

District	Maximum #Lot Coverage# (in percent)	Minimum Required #Open Space# (in percent)	Maximum #Floor Area Ratio#
R3A R3X	governed by #yard# requirements		.50
R4A R4-1	governed by #yard# requirements		.75
R2X	governed by #yard# requirements		.85
<u>R2A</u>	<u>35</u>	<u>65</u>	<u>.50</u>
R3-1	35	65	.50
R3-2	35	65	.50
R4	45	55	.75

R4B	55	45	.90
R5	55	45	1.25
R5B	55	45	1.35

In addition, the following rules shall apply:

- (1) In R2X, R3, R4, R4A and R4-1 Districts, except R3, R4A and R4-1 Districts within #lower density growth management areas#, the #floor area ratio# in this table may be increased by up to 20 percent provided that any such increase in #floor area# is located under a sloping roof which rises at least 3 and 1/2 inches in vertical distance for each foot of horizontal distance and the structural headroom of such #floor area# is between 5 and 8 feet.
- (2) In R2A Districts, and in R3, R4A and R4-1 Districts in #lower density growth management areas#, the #floor area ratio# in this table may be increased by up to 20 percent provided that any such increase in #floor area# is located in a portion of a #building# covered by a sloping roof that rises at least seven inches in vertical distance for each foot of horizontal distance.
- (3) In R3-2, R4 and R5 Districts, except R4A, R4B, R4-1 and R5B Districts, the permitted #floor area# of a #single-# or #two-family detached# or #semi-detached residence developed# after June 30, 1989 may be increased by 100 square feet if at least one enclosed #accessory# off-street parking space is provided in a garage located in the #side lot ribbon# pursuant to Section 23-12 (f) (Permitted Obstructions in Open Space), 23-441 (Location of garages in side yards of corner lots) or 23-442 (Location of garages in side yards of other zoning lots).
- (4) In R3, R4A and R4-1 Districts within #lower density growth management areas#, the permitted #floor area# of a #single-# or #two-family detached# or #semi-detached residence# may be increased by up to 300 square feet for one parking space and up to 500 square feet for two parking spaces provided such spaces are in a garage located in the #side lot ribbon# pursuant to Section 23-12 (f) (Permitted Obstructions in Open Space), 23-441 (Location of garages in side yards of corner lots) or 23-442 (Location of garages in side yards of other zoning lots). The provisions of this paragraph (4) shall also apply in R2A Districts, except where parking spaces are located within a #residential building#.

* * *

23-22

Maximum Number of Dwelling Units or Rooming Units

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, the maximum number of #dwelling units# or #rooming units# shall equal the maximum #residential floor area# permitted on the #zoning lot# divided by the applicable factor in the following table. In R1 through R5 Districts, no #rooming units# shall be permitted and any #dwelling unit# shall be occupied by only one #family#. Fractions equal to or greater than three-quarters resulting from this calculation shall be considered to be one #dwelling unit# or #rooming unit#.

* * *

**FACTOR FOR DETERMINING MAXIMUM NUMBER
OF DWELLING UNITS OR ROOMING UNITS**

District	Factor for #Dwelling Units#	Factor for #Rooming Units#
R1-1	4,750	
R1-2	2,850	
R2	1,900	
<u>R2A</u>	<u>2,280</u>	
R2X	2,900	

* * *

23-30

LOT AREA AND LOT WIDTH REGULATIONS

* * *

23-32

Minimum Lot Area or Lot Width for Residences

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, except as provided in Section 23-33 (Special Provisions for Existing

Small Lots), no #residence# is permitted on a #zoning lot# with a total #lot area# or #lot width# less than as set forth in the following table:

REQUIRED MINIMUM LOT AREA AND LOT WIDTH

Type of #Resi- dence#	Minimum #Lot Area# (in sq. ft.)	Minimum #Lot Width# (in feet)	District
#Single-family detached#	9,500	100	R1-1
	5,700	60	R1-2
	3,800	40	R2 <u>R2A</u>
	2,850	30	R2X

* * *

**23-40
YARD REGULATIONS**

* * *

**23-461
Side yards for single- or two-family residences**

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

- (a) In all districts, as indicated, for #single-family detached residences# or, where permitted, for #two-family detached residences#, #side yards# shall be provided as set forth in the following table, except that on #corner lots# in #lower density growth management areas#, and on #corner lots# in R2A Districts, one #side yard# shall be at least 20 feet in width:

MINIMUM REQUIRED SIDE YARDS

Number Required	Required Total Width (in feet)	Required Minimum Width of any #Side Yard# (in feet)	District
2	35	15	R1-1

2	20	8	R1-2
2	13	5	R2 <u>R2A</u> R3-1 R3-2 R4-R10
2	10	2*	R2X R3X R4A
1	8	0*	R3A R4-1 R4B R5B

* * *

23-541

Within one hundred feet of corners

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, except within #lower density growth management areas#, and except R2A Districts, no #rear yard# shall be required within 100 feet of the point of intersection of two #street lines# intersecting at an angle of 135 degrees or less.

23-542

Along short dimension of block

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, except within #lower density growth management areas#, and except R2A Districts, whenever a #front lot line# of a #zoning lot# coincides with all or part of a #street line# measuring less than 230 feet in length between two intersecting #streets#, no #rear yard# shall be required within 100 feet of such #front lot line#.

23-60

HEIGHT AND SETBACK REGULATIONS

* * *

23-621

Permitted obstructions in certain districts

* * *

R2A R2X

- (b) In the districts indicated, permitted obstructions are limited to those listed in paragraphs (b), (e) and (g) of Section 23-62. Dormers may be considered permitted obstructions if:
 - (1) the aggregate width of dormers facing the #street line# is equal to not more than 50 percent of the width of the #street wall line#;
 - (2) the aggregate width of dormers facing the #rear lot line# is equal to not more than 50 percent of the #rear wall line#;
 - (3) the aggregate width of dormers facing a #side lot line# is equal to not more than 50 percent of the width of a straight line connecting and perpendicular to the #street wall line# and the #rear wall line#, and
 - (4) on a #corner lot#, the aggregate width of dormers facing a #side lot line# is equal to not more than 50 percent of the width of the #rear wall line# facing such #side lot line#.

* * *

23-631
Height and setback in R1, R2, R3, R4 and R5 Districts

R1 R2

- (a) In the districts indicated, except R2A and R2X Districts, the front wall or any other portion of a #building or other structure# shall not penetrate the #sky exposure plane# set forth in the following table:

* * *

R2A R2X R3 R4 R4A R4-1

- (b) In the districts indicated, the height and setback of a #building or other structure# shall be as set forth herein except where modified pursuant to paragraphs (g) and (h) of this Section.

For the purposes of this Section, where #base planes# of different elevations apply to different portions of a #building or other structure#, each such portion of the

#building# may be considered to be a separate #building#. Furthermore, for the purposes of this Section, #building segments# may be considered to be separate #buildings# and abutting #semi-detached buildings# may be considered to be one #building#.

The perimeter walls of a #building or other structure# are those portions of the outermost walls enclosing the #floor area# within a #building or other structure# at any level and height is measured from the #base plane#. Perimeter walls are subject to setback regulations at a maximum height above the #base plane# of:

21 feet	<u>R2A</u> R2X R3 R4A
25 feet	R4 R4-1
26 feet*	R3 R4A R4-1 within #lower density growth management areas#

* * *

(6) Special Situations

* * *

~~R2X~~

(ii) ~~In the district indicated, at the 21-foot maximum permitted height of a perimeter wall, sloping planes are projected inwards and upwards. From a permitted front perimeter wall, and from 21 feet above the #base plane# and 20 feet from and parallel to a #rear lot line#, such sloping planes shall not exceed a pitch of 45 degrees in relation to a plane drawn parallel to the base plane at a height of 21 feet. (See Figure H). Other sloping planes slope toward a ridge line at 35 feet and may not exceed a pitch of 80 degrees in relation to a plane drawn parallel to the #base plane# at a height of 21 feet.~~

FIGURE H

R2A R2X

(iii) In the districts indicated, at the 21 foot maximum permitted height of a perimeter wall, sloping planes are projected inwards and upwards toward a ridge line 35 feet above the #base plane#. Such sloping planes shall not

exceed a pitch of 45 degrees where they project from front and rear perimeter walls. All other sloping planes shall not exceed a pitch of 80 degrees. All pitches are in relation to a plane drawn parallel to the #base plane# at a height of 21 feet. The perimeter walls of the #building# and such intersecting sloping planes define the building envelope, as shown in Figure H below. On #corner lots#, one #street wall# shall be designated as the front perimeter wall, and the building wall opposite such wall shall be designated the rear perimeter wall.

FIGURE H

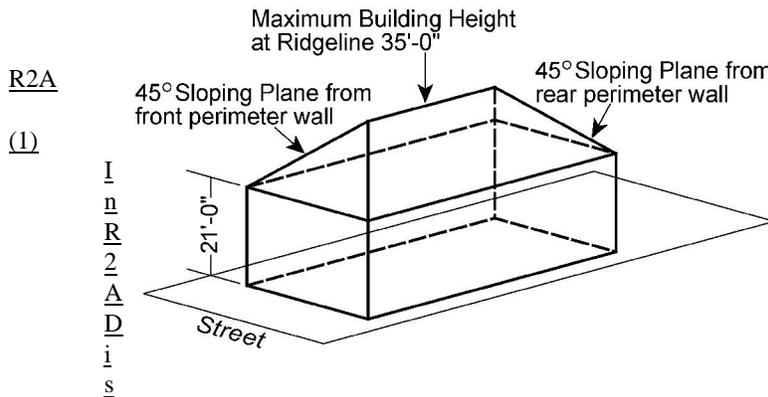
* * *

25-631

Location and width of curb cuts in certain districts

All curb cuts shall comply with the provisions of this Section, except that in #lower density growth management areas#, the provisions of Section 25-632 shall apply.

- (a) For #zoning lots# with #residential buildings# where not more than two #accessory# parking spaces are required:



tricts, the maximum width of a curb cut shall be 18 feet, and the maximum width of a driveway within a #front yard# shall be 20 feet. All #zoning lots# shall maintain at least 18 feet of uninterrupted curb space along each #street# frontage.

R2X R3 R4 R5

(+)(2) In the districts indicated, except R4B and R5B Districts, and except as otherwise provided in Section 25-632 (Prohibition of curb cuts in certain districts), curb cuts shall comply with the following provisions:

* * *

R6 R7 R8

(2)(3) In the districts indicated without a letter suffix, for #zoning lots# comprised of #single-#, #two-#, or three-#family residences# or #building segments#, the width and location of curb cuts shall be in accordance with the provisions of paragraph (a)(1), inclusive, of this Section.

R4B R5B R6B R7B R8B

(3)(4) In the districts indicated, for #attached residential buildings# and rowhouses, and for multiple dwellings in R5B, R6B, R7B and R8B Districts, new #residential developments# shall provide a minimum distance of 34 feet of uninterrupted curb space between all curb cuts constructed after June 30, 1989.

Resolution for adoption scheduling February 16, 2005, for a public hearing.

No. 7

Citywide

N 050148(A) ZRY

IN THE MATTER OF an application submitted by the Department of City Planning pursuant to Section 201 of the New York City Charter, for an amendment of the Zoning Resolution of the City of New York, relating to Article I, Chapter 1 (**Title, Establishment of Controls, and Interpretation of Regulations**) and Chapter 2 (**Construction of Language and Definitions**); Article II, Chapter 3 (**Bulk Regulations for Residential Buildings in Residential Districts**) and Chapter 5 (**Accessory Off-Street Parking and Loading Regulations**), establishing an R2A district.

Matter in underline is new, to be added;

matter in ~~strikeout~~ is old, to be deleted;

Matter within # # is defined in Section 12-10;

* * * indicates where unchanged text appears in the Zoning Resolution

* * *

**ARTICLE 1
GENERAL PROVISIONS**

**Chapter 1
Title, Establishment of Controls, and Interpretation of Regulations**

* * *

**11-12
Establishment of Districts**

In order to carry out the purposes and provisions of this Resolution, the following districts are hereby established:

Residence Districts

- R1-1 Single-Family Detached Residence District
- R1-2 Single-Family Detached Residence District

- R2 Single-Family Detached Residence District
- R2A Single-Family Detached Residence District
- R2X Single-Family Detached Residence District

* * *

**12-10
Definitions**

* * *

Floor area

"Floor area" is the sum of the gross areas of the several floors of a #building# or #buildings#, measured from the exterior faces of exterior walls or from the center lines of walls separating two #buildings#. In particular, #floor area# includes:

* * *

- (a) attic space (whether or not a floor has been laid) providing structural headroom of five feet or more in R2A, R2X, R3, R4 or R5 Districts and eight feet or more in other districts;

* * *

(b) floor space used for #accessory# off-street parking spaces provided in any #story# after June 30, 1989:

(1) within #detached# or #semi-detached single-# or #two-family residences# in R2A, R2X, R3, R4 or R5 Districts, except that

(a) in R2A Districts, #floor area# within such #residences# shall include only floor space in excess of 300 square feet for one such space, and

(b) in R3, R4A and R4-1 Districts in #lower density growth management areas#, #floor area# within such #residences# shall include only floor space in excess of 300 square feet for one such space and in excess of 500 square feet for two such spaces.;

* * *

(2) which is unenclosed and covered by a #residential building or other structure# for at least 50 percent of such #accessory# off-street parking space in R2A, R2X, R3, R4 and R5 Districts.....

* * *

However, the #floor area# of a #building# shall not include:

* * *

(3) elevator or stair bulkheads, #accessory# water tanks, or cooling towers, except that such exclusions shall not apply in R2A Districts

* * *

(4) attic space (whether or not a floor ~~actually~~ has been laid) providing structural headroom of less than five feet in R2A, R2X, R3, R4 or R5 Districts and less than eight feet in other districts;

* * *

(5) floor space used for #accessory# off-street parking spaces provided in any #story#:

(i) up to 200 square feet per required space existing on June 30, 1989 within

#residential buildings# in R3, R4 or R5 Districts, except that:

(a) in R2A Districts, #floor area# shall not include up to 300 square feet for one required space, and

(b) for #detached# or #semi-detached single-# or #two-family residences# in R3, R4A and R4-1 Districts within #lower density growth management areas#, #floor area# shall not include up to 300 square feet for one required space and up to 500 square feet for two required spaces,

* * *

(6) floor space used for mechanical equipment, except that such exclusion shall not apply in R2A Districts, and in R2X, R3, R4 and R5 Districts such exclusion shall be limited to ...

* * *

(7) except in R2A, R2X, R3, R4 and R5 Districts, the lowest #story# (whether a #basement# or otherwise) of a #residential building#, provided that:

(i) such #building# contains not more than two #stories# above such #story#;

* * *

**Chapter 3
Bulk Regulations for Residential Buildings in Residence Districts**

* * *

**23-00
APPLICABILITY AND GENERAL PURPOSES**

* * *

**23-10
OPEN SPACE AND FLOOR AREA REGULATIONS**

* * *

23-141

In R1, R2, R3, R4 or R5 Districts

R1 R2 R3 R4 R5

Except as otherwise provided in Section 23-144 (For non-profit residences for the elderly in R3, R4, R5, R6 and R7 Districts), in the districts indicated, the minimum required #open space# or #open space ratio#, the maximum #lot coverage# and the maximum #floor area ratio# for any #building# on a #zoning lot# shall be as set forth in the following tables:

(a)

District	Minimum Required #Open Space Ratio#	Maximum #Floor Area Ratio#
R1 R2*	150.0	0.50

* R2A and R2X is are subject to the provisions of paragraph (b).(6)

(b)

District	Maximum #Lot Coverage# (in percent)	Minimum Required #Open Space# (in percent)	Maximum #Floor Area Ratio#
R3A R3X	governed by #yard# requirements		.50
R4A R4-1	governed by #yard# requirements		.75
R2X	governed by #yard# requirements		.85
<u>R2A</u>	<u>30</u>	<u>70</u>	<u>.50</u>
R3-1			
R3-2	35	65	.50
R4	45	55	.75
R4B	55	45	.90
R5	55	45	1.25
R5B	55	45	1.35

* * *

- (5) In R2A Districts, the permitted #floor area# for a #residential building# may be increased by up to 300 square feet if a detached garage is located in a #rear yard#, except where a parking space is provided within the #residential building#.

* * *

23-22

Maximum Number of Dwelling Units or Rooming Units

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, the maximum number of #dwelling units# or #rooming units# shall equal the maximum #residential floor area# permitted on the #zoning lot# divided by the applicable factor in the following table. In R1 through R5 Districts, no #rooming units# shall be permitted and any #dwelling unit# shall be occupied by only one #family#. Fractions equal to or greater than three-quarters resulting from this calculation shall be considered to be one #dwelling unit# or #rooming unit#.

* * *

FACTOR FOR DETERMINING MAXIMUM NUMBER OF DWELLING UNITS OR ROOMING UNITS

District	Factor for #Dwelling Units#	Factor for #Rooming Units#
R1-1	4,750	
R1-2	2,850	
R2, <u>R2A</u>	1,900	
R2X	2,900	

* * *

23-30

LOT AREA AND LOT WIDTH REGULATIONS

* * *

**23-32
Minimum Lot Area or Lot Width for Residences**

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, except as provided in Section 23-33 (Special Provisions for Existing Small Lots), no #residence# is permitted on a #zoning lot# with a total #lot area# or #lot width# less than as set forth in the following table:

REQUIRED MINIMUM LOT AREA AND LOT WIDTH

Type of #Residence#	Minimum #Lot Area# (in sq. ft.)	Minimum #Lot Width# (in feet)	District
#Single-family detached#	9,500	100	R1-1
	5,700	60	R1-2
	3,800	40	R2 <u>R2A</u>
	2,850	30	R2X

* * *

**23-40
YARD REGULATIONS**

* * *

**23-44
Permitted Obstructions in Required Yards or Rear Yard Equivalents**

* * *

(b) In any #rear yard# or #rear yard equivalent#:

Parking spaces, off-street, #accessory#, provided that:

- (1) the height of a #building# used for such purposes, if accessory to a #single#- or #two-family residence#, shall not exceed one #story#, and if located in an R1 or R2A District, such #building# may not be nearer than five feet to a #rear lot line# or #side lot line#. In R2A Districts, detached garages shall be

included in #lot coverage#;

* * *

23-441

Location of garages in side yards of corner lots

In all #Residence Districts#, on #corner lots#, enclosed #accessory# off-street parking spaces shall not be considered obstructions in any portion of a #side yard# which is within 30 feet of both #side lot lines#, provided that in an R1 or R2A District, on a #corner lot# whose mean width is 45 feet or more, no structure used for such purposes shall be less than five feet from any #side lot line#. In R2A Districts, detached garages shall be included in #lot coverage#.

* * *

23-461

Side yards for single- or two-family residences

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

- (a) In all districts, as indicated, for #single-family detached residences# or, where permitted, for #two-family detached residences#, #side yards# shall be provided as set forth in the following table, except that on #corner lots# in #lower density growth management areas#, and on #corner lots# in R2A Districts, one #side yard# shall be at least 20 feet in width:

MINIMUM REQUIRED SIDE YARDS

Number Required	Required Total Width (in feet)	Required Minimum Width of any #Side Yard# (in feet)	District
2	35	15	R1-1
2	20	8	R1-2
2	13	5	R2 <u>R2A</u> R3-1 R3-2 R4-R10
2	10	2*	R2X R3X R4A

1 8 0* R3A R4-1 R4B
R5B

* * *

23-541

Within one hundred feet of corners

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, except within #lower density growth management areas#, and except R2A Districts, no #rear yard# shall be required within 100 feet of the point of intersection of two #street lines# intersecting at an angle of 135 degrees or less.

23-542

Along short dimension of block

R1 R2 R3 R4 R5 R6 R7 R8 R9 R10

In all districts, as indicated, except within #lower density growth management areas#, and except R2A Districts, whenever a #front lot line# of a #zoning lot# coincides with all or part of a #street line# measuring less than 230 feet in length between two intersecting #streets#, no #rear yard# shall be required within 100 feet of such #front lot line#.

* * *

23-60

HEIGHT AND SETBACK REGULATIONS

* * *

23-621

Permitted obstructions in certain districts

* * *

R2A R2X

(b) In the districts indicated, permitted obstructions are limited to those listed in

paragraphs (b), (e) and (g) of Section 23-62. Dormers may be considered permitted obstructions if:

- (1) the aggregate width of dormers facing the #street line# is equal to not more than 50 percent of the width of the #street wall line#;
- (2) the aggregate width of dormers facing the #rear lot line# is equal to not more than 50 percent of the #rear wall line#;
- (3) the aggregate width of dormers facing a #side lot line# is equal to not more than 50 percent of the width of a straight line connecting and perpendicular to the #street wall line# and the #rear wall line#, and
- (4) on a #corner lot#, the aggregate width of dormers facing a #side lot line# is equal to not more than 50 percent of the width of the #rear wall line# facing such #side lot line#.

* * *

**23-631
Height and setback in R1, R2, R3, R4 and R5 Districts**

R1 R2

- (a) In the districts indicated, except R2A and R2X Districts, the front wall or any other portion of a #building or other structure# shall not penetrate the #sky exposure plane# set forth in the following table:

* * *

R2A R2X R3 R4 R4A R4-1

- (b) In the districts indicated, the height and setback of a #building or other structure# shall be as set forth herein except where modified pursuant to paragraphs (g) and (h) of this Section.

For the purposes of this Section, where #base planes# of different elevations apply to different portions of a #building or other structure#, each such portion of the #building# may be considered to be a separate #building#. Furthermore, for the purposes of this Section, #building segments# may be considered to be separate #buildings# and abutting #semi-detached buildings# may be considered to be one #building#.

The perimeter walls of a #building or other structure# are those portions of the outermost walls enclosing the #floor area# within a #building or other structure# at any level and height is measured from the #base plane#. Perimeter walls are subject to setback regulations at a maximum height above the #base plane# of:

21 feet	<u>R2A</u> R2X R3 R4A
25 feet	R4 R4-1
26 feet*	R3 R4A R4-1 within #lower density growth management areas#

* * *

(6) Special Situations

* * *

~~R2X~~

- (ii) ~~In the district indicated, at the 21 foot maximum permitted height of a perimeter wall, sloping planes are projected inwards and upwards. From a permitted front perimeter wall, and from 21 feet above the #base plane# and 20 feet from and parallel to a #rear lot line#, such sloping planes shall not exceed a pitch of 45 degrees in relation to a plane drawn parallel to the base plane at a height of 21 feet. (See Figure H). Other sloping planes slope toward a ridge line at 35 feet and may not exceed a pitch of 80 degrees in relation to a plane drawn parallel to the #base plane# at a height of 21 feet.~~

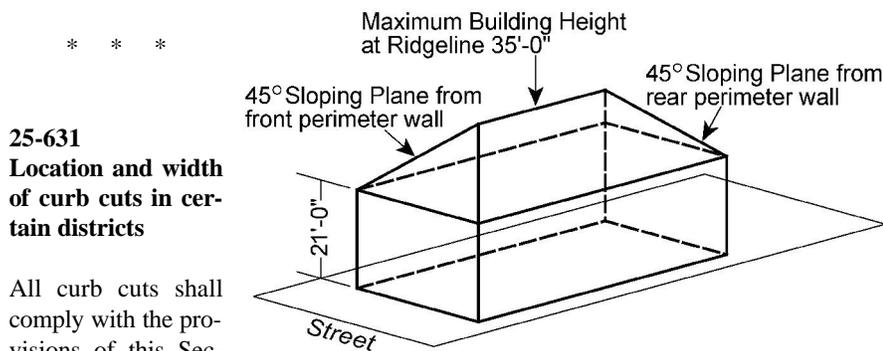
FIGURE H

R2A R2X

- (iii) In the districts indicated, at the 21 foot maximum permitted height of a perimeter wall, sloping planes are projected inwards and upwards toward a ridge line 35 feet above the #base plane#. Such sloping planes shall not exceed a pitch of 45 degrees where they project from front and rear perimeter walls. All other sloping planes shall not exceed a pitch of 80 degrees. All pitches are in relation to a plane drawn parallel to the #base plane# at a height of 21 feet. The perimeter walls of the #building# and such intersecting sloping planes define the building envelope, as shown in Figure H below. On

#corner lots#, one #street wall# shall be designated as the front perimeter wall, and the building wall opposite such wall shall be designated the rear perimeter wall.

FIGURE H



**25-631
Location and width of curb cuts in certain districts**

All curb cuts shall comply with the provisions of this Section, except that in #lower density growth management areas#, the provisions of Section 25-632 shall apply.

- (a) For #zoning lots# with #residential buildings# where not more than two #accessory# parking spaces are required:

R2A

- (1) In R2A Districts, the maximum width of a curb cut shall be 18 feet, and the maximum width of a driveway within a #front yard# shall be 20 feet. All #zoning lots# shall maintain at least 18 feet of uninterrupted curb space along each #street# frontage.

R2X R3 R4 R5

- ~~(2)~~ In the districts indicated, except R4B and R5B Districts, and except as otherwise provided in Section 25-632 (Prohibition of curb cuts in certain districts), curb cuts shall comply with the following provisions:

* * *

R6 R7 R8

~~(2)~~(3) In the districts indicated without a letter suffix, for #zoning lots# comprised of #single-#, #two-#, or three-#family residences# or #building segments#, the width and location of curb cuts shall be in accordance with the provisions of paragraph (a)(1), inclusive, of this Section.

R4B R5B R6B R7B R8B

~~(3)~~(4) In the districts indicated, for #attached residential buildings# and rowhouses, and for multiple dwellings in R5B, R6B, R7B and R8B Districts, new #residential developments# shall provide a minimum distance of 34 feet of uninterrupted curb space between all curb cuts constructed after June 30, 1989.

Resolution for adoption scheduling February 16, 2005, for a public hearing.

No. 8

SPRINGFIELD GARDENS REZONING

CD 12

C 050194 ZMQ

IN THE MATTER OF an application submitted by the Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter **for an amendment of the Zoning Map, Section Nos. 18c, 18d, 19a, and 19b:**

- 1. changing from an R3-2 District to an R3X District property bounded by** Guy R. Brewer Boulevard, 134th Avenue, a line midway between Guy R. Brewer Boulevard and 161st Street, a line 110 feet southeasterly of 134th Avenue, a line 100 feet northeasterly of Rockaway Boulevard, a line 140 feet southwesterly of 154th Street, 132nd Avenue, 153rd Street, and Baisley Boulevard; and
- 2. changing from an R3-2 District to an R3-1 District property bounded by** Guy R. Brewer Boulevard, North Conduit Avenue, Baisley Boulevard South, 133rd Avenue, Grannatt Place, 132nd Street, Baisley Boulevard South, Baisley Boulevard, 153rd Street, 132nd Street, a line 140 feet southwesterly of 154th Street, a line 100 feet northeasterly of Rockaway Boulevard, a line 110 feet southeasterly of 134th Avenue, a line midway between Guy R. Brewer Boulevard and 161st Street, and 134th Street;

as shown on a diagram (for illustrative purposes only) dated December 6, 2004.

Resolution for adoption scheduling February 16, 2005, for a public hearing.

II. PUBLIC HEARINGS

BOROUGH OF THE BRONX

No. 9

DEPARTMENT OF FINANCE OFFICE SPACE

CD 1

N 050268 PXX

PUBLIC HEARING:

IN THE MATTER OF a Notice of Intent to Acquire Office Space submitted by the Department of Citywide Administrative Services, pursuant to Section 195 of the New York City Charter for use of property located at 3000 - 3002 3rd Avenue (Block 2363, Lots 16 and 23). (Department of Finance)

(On January 20, 2005, the Commission duly advertised February 2, 2005 for a public hearing.)

Close the hearing.

THIS APPLICATION HAS BEEN WITHDRAWN

BOROUGH OF BROOKLYN

BAY RIDGE REZONING

Nos. 10, 11 and 12

No. 10

CD 10

C 050134 ZMK

PUBLIC HEARING:

IN THE MATTER OF an application submitted by the Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter **for an amendment of the Zoning Map, Section Nos. 22a and 22b**

1. **eliminating a C1-2 District within an existing R6 District bounded by:**
 - a. Bay Ridge Parkway, a line 100 feet southeasterly of 3rd Avenue, 78th Street, 3rd Avenue, 82nd Street, and a line 100 feet northwesterly of 3rd Avenue;
 - b. Bay Ridge Parkway, a line 100 feet southeasterly of 5th Avenue, 85th Street, 5th Avenue, a line midway between 85th Street and 86th Street, and a line 100 feet northwesterly of 5th Avenue;
 - c. 86th Street, 3rd Avenue, 87th Street, a line 100 feet southeasterly of 3rd Avenue, 95th Street, 3rd Avenue, 97th Street, a line 100 feet southeasterly of 3rd Avenue, Marine Avenue, and a line 100 feet northwesterly of 3rd Avenue;
 - d. a line midway between 85th Street and 86th Street, the northwesterly boundary line of a Park and its southwesterly prolongation, 86th Street, Gatling Place, a line 100 feet southwesterly of 86th Street, and Hamilton Parkway;
 - e. 92nd Street, a line 100 feet southeasterly of 5th Avenue, 95th Street, 4th Avenue, 96th Street, a line 100 feet northwesterly of 4th Avenue, 95th Street, and 5th Avenue;
 - f. a line midway between 97th Street and Marine Avenue, a line 100 feet southeasterly of 4th Avenue, a line midway between Marine Avenue and 99th Street, 4th Avenue, 100th Street, and a line 100 feet northwesterly of 4th Avenue; and
 - g. 100th Street, a line 100 feet southeasterly of 4th Avenue, 101st Street, and 4th Avenue;
2. **eliminating a C2-2 District within an existing R6 District bounded by:**
 - a. 82nd Street, a line 100 feet southeasterly of 3rd Avenue, 87th Street, 3rd Avenue, 86th Street, and a line 100 feet northwesterly of 3rd Avenue;
 - b. 89th Street, 4th Avenue, 95th Street, and a line 100 feet northwesterly of 4th Avenue; and
 - c. a line 100 feet southwesterly of 86th Street, a line midway between 5th Avenue and Gelston Avenue, the southeasterly centerline

prolongation of 91st Street, and 5th Avenue;

3. **eliminating a C2-3 District within an existing R6 District bounded by** Bay Ridge Avenue, Narrows Avenue, a line midway between Bay Ridge Avenue and 70th Street, and the easterly boundary line of Shore Road Park;
4. **changing from an R3-1 District to an R2 District property bounded by** 85th Street, a line 100 feet northwesterly of Ridge Boulevard, 86th Street, and Colonial Road;
5. **changing from an R3-2 District to an R2 District property bounded by:**
 - a. 85th Street, Ridge Boulevard, 86th Street, and a line 100 feet northwesterly of Ridge Boulevard; and
 - b. 85th Street, a line 100 feet northwesterly of 3rd Avenue, a line midway between 85th Street and 86th Street, and a line 260 feet southeasterly of Ridge Boulevard;
6. **changing from an R3-2 District to an R3-1 District property bounded by** a line midway between 74th Street and Bay Ridge Parkway, a line 100 feet northwesterly of Colonial Road, a line midway between Bay Ridge Parkway and 76th Street, and a line 100 feet southeasterly of Narrows Avenue;
7. **changing from an R6 District to an R3-1 District property bounded by** a line midway between 74th Street and Bay Ridge Parkway, Colonial Road, a line midway between Bay Ridge Parkway and 76th Street, and a line 100 feet northwesterly of Colonial Road;
8. **changing from an R6 District to an R3-2 District property bounded by** 71st Street, Colonial Road, 73rd Street and a line 100 feet northwesterly of Colonial Road;
9. **changing from an R6 District to an R3A District property bounded by** 92nd Street, a line 340 feet northwesterly of Ridge Boulevard, a line midway between 92nd Street and 93rd Street, a line 420 feet northwesterly of Ridge Boulevard, 93rd Street, Ridge Boulevard, Marine Avenue, a line midway between 93rd Street and 94th Street, a line 210 feet northeasterly of the easterly boundary line of Shore Road Park, 93rd Street, a line 255 feet northeasterly of the easterly boundary line of Shore Road Park, Oliver Street, and Marine Avenue;
10. **changing from an R6 District to an R3X District property bounded by:**

- a. a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet northwesterly of 5th Avenue, a line 100 feet northeasterly of 72nd Street, a line perpendicular to the southwesterly street line of Ovington Avenue distant 200 feet southwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of Ovington Avenue and the southeasterly street line of 4th Avenue, Ovington Avenue, and a line 100 feet southeasterly of 4th Avenue; and
- b. 79th Street, a line 100 feet northwesterly of 5th Avenue, a line midway between 80th Street and 81st street, and a line 100 feet southeasterly of 4th Avenue;

11. changing from an R3-2 District to an R4-1 District property bounded by the northeasterly boundary line of Shore Road Park, a line 100 feet northwesterly of Ridge Boulevard, the southerly service road of Shore Road Drive, and the northeasterly centerline prolongation of Colonial Road;

12. changing from an R6 District to an R4-1 District property bounded by:

- a. the northerly boundary line of a Shore Road Park and its southeasterly prolongation, 4th Avenue, 66th Street, 5th Avenue, 67th Street, 4th Avenue, 67th Street, a line perpendicular to the southwesterly street line of 67th Street distant 295 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 67th Street and the northwesterly street line of 4th Avenue, a line midway between 67th Street and Senator Street, a line 40 feet southeasterly of 3rd Avenue, 67th Street, a line 100 feet northwesterly of 3rd Avenue, the northeasterly prolongation at Senator Street of a line 100 feet northwesterly of 3rd Avenue, a line 100 feet southwesterly of 67th Street, Ridge Boulevard, 67th Street, and a line 100 feet northwesterly of Ridge Boulevard;
- b. 66th Street and its southeasterly centerline prolongation, Gowanus Expressway, a line midway between 74th Street and Bay Ridge Parkway and its southeasterly prolongation, a line 100 feet southeasterly of 6th Avenue, 78th Street, 6th Avenue, a line midway between 80th Street and 81st Street and its southeasterly prolongation, Gowanus

Expressway, a line 100 feet northeasterly of 86th Street, a line 130 feet southeasterly of 5th Avenue, 85th Street, a line 100 feet southeasterly of 5th Avenue, a line midway between 83rd Street and 84th Street, a line perpendicular to the southwesterly street line of 83rd Street distant 310 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of 5th Avenue and the southwesterly street line of 83rd Street, 83rd Street, a line perpendicular to the northeasterly street line of 83rd Street distant 255 feet northwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of 6th Avenue and the northeasterly street line of 83rd Street, a line midway between 82nd Street and 83rd Street, a line 100 feet northwesterly of 6th Avenue, a line midway between 81st Street and 82nd Street, a line 100 feet southeasterly of 5th Avenue, a line midway between 77th Street and 78th Street, a line 100 feet northwesterly of 6th Avenue, 76th Street, a line perpendicular to the northeasterly street line of 76th Street distant 245 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 76th Street and the southeasterly street line of 5th Avenue, a line midway between Bay Ridge Parkway and 76th Street, 6th Avenue, a line 100 feet northeasterly of Bay Ridge Parkway, a line 100 feet northwesterly of 6th Avenue, a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet southeasterly of 5th Avenue, 67th Street, and 6th Avenue;

- c. 73rd Street, Ridge Boulevard, 74th Street, a line 220 feet northwesterly of Ridge Boulevard, a line midway between 74th Street and Bay Ridge parkway, a line 180 feet southeasterly of Colonial Road, 74th Street, a line 170 feet southeasterly of Colonial Road, a line midway between 73rd Street and 74th Street, and a line 100 feet northwesterly of Ridge Boulevard;
- d. 77th Street, a line 100 feet northwesterly of 5th Avenue, 79th Street, a line 100 feet southeasterly of 4th Avenue, a line midway between 77th Street and 78th Street, and a line perpendicular to the southwesterly street line of 77th Street, distant 265 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 77th Street and the northwesterly street line of 5th Avenue;

- e. a line midway between 80th Street and 81st Street, a line 100 feet northwesterly of 5th Avenue, a line midway between 85th Street and 86th Street, and a line 100 feet southeasterly of 4th Avenue;
- f. 82nd Street, a line 100 feet northwesterly of 4th Avenue, 85th Street, a line 370 feet southeasterly of 3rd Avenue, a line 100 feet southwesterly of 85th Street, and a line 100 feet southeasterly of 3rd Avenue;
- g. a line midway between 87th Street and 88th Street, a line 100 feet northwesterly of 4th Avenue, 91st Street, and a line 100 feet southeasterly of 3rd Avenue;
- h. a line 100 feet southwesterly of 86th Street, Fort Hamilton Parkway, 88th Street, and a line 100 feet southeasterly of 5th Avenue;
- i. 89th Street, a line 100 feet northwesterly of 3rd Avenue, Marine Avenue, a line perpendicular to the northeasterly street line of Marine Avenue, distant 220 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 96th Street and the northeasterly street line of Marine Avenue, a line perpendicular to the southwesterly street line of 96th Street, distant 240 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 96th Street and the northwesterly street line of 3rd Avenue, 96th Street, a line perpendicular to the northeasterly street line of 96th Street, distant 60 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, a line 100 feet northeasterly of Marine Avenue, a line perpendicular to the northeasterly street line of Marine Avenue distant 50 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, Marine Avenue, a line perpendicular to the northeasterly street line of Marine Avenue distant 170 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, 95th Street, and Ridge Boulevard;
- j. 92nd Street, a line 100 feet northwesterly of 4th Avenue, a line midway between 93rd Street and 94th Street, and a line 100 feet southeasterly of 3rd Avenue;

- k. a line midway between 93rd Street and 94th Street, Marine Avenue, a line midway between 94th Street and Ridge Boulevard, a line 100 feet southwesterly of Marine Avenue, a line midway between Ridge Boulevard and 95th Street, a line 300 feet southwesterly of Marine Avenue, 95th Street, a line 200 feet southwesterly of Marine Avenue, a line midway between 95th street and 96th Street, a line 100 feet southwesterly of Marine Avenue, a line midway between 96th Street and 97th Street, a line 340 feet northeasterly of Shore Road Park, 96th Street, a line 300 feet northeasterly of Shore Road Park, a line midway between 95th street and 96th Street, a line 165 feet northeasterly of Shore Road Park, 95th Street, a line 150 feet northeasterly of Shore Road Park, Ridge Boulevard, a line 260 feet northeasterly of Shore Road Park, a line midway between 94th Street and Ridge Boulevard, and a line 210 feet northeasterly of Shore Road Park; and
 - l. a line midway between 95th Street and 96th Street, a line 100 feet northwesterly of 4th Avenue, a line midway between 97th Street and Marine Avenue, a line 215 feet northwesterly of 4th Avenue, Marine Avenue, a line 100 feet northwesterly of 4th Avenue, 101st Street, and a line 100 feet southeasterly of 3rd Avenue;
- 13. **changing from a C4-2 District to an R4-1 District property bounded by** 85th Street, a line 130 feet southeasterly of 5th Avenue, a line 100 feet northeasterly of 86th Street, and a line 100 feet southeasterly of 5th Avenue;
- 14. **changing from an R3-1 District to an R4A District property bounded by:**
 - a. a line midway between Bay Ridge Parkway and 76th Street and its northwesterly prolongation, a line 100 feet southeasterly of Narrows Avenue, 78th Street, a line 100 feet northwesterly of Ridge Boulevard, a line midway between 79th Street and 80th Street, Colonial Road, 79th Street, Narrows Avenue, a line 100 feet southwesterly of 79th Street, and the easterly boundary line of Shore Road Park; and
 - b. a line midway between Bay Ridge Parkway and 76th Street, a line 100 feet northwesterly of Ridge Boulevard, 77th Street, and Colonial Road;
- 15. **changing from an R3-2 District to an R4A District property bounded by:**

- a. the southerly service road of Shore Road Drive, Sedgwick Place, a line 60 feet southwesterly of the southerly service road of Shore Road Drive, Bergen Place, 67th Street, and a line midway between Colonial Road and Sedgwick Place;
- b. 70th Street, a line 60 feet northwesterly of Louise Terrace and its southwesterly prolongation, a line midway between Mackay Place and 71st Street, and Narrows Avenue;
- c. 73rd Street, a line 100 feet northwesterly of Colonial Road, a line midway between 74th Street and Bay Ridge Parkway, a line 100 feet southeasterly of Narrows Avenue, a line midway between Bay Ridge Parkway and 76th Street and its northwesterly prolongation, the easterly boundary line of Shore Road Park, a line 60 feet northeasterly of Bay Ridge Parkway, Narrows Avenue, a line midway between 73rd Street and 74th Street, and a line 200 feet southeasterly of Narrows Avenue; and
- d. a line midway between Bay Ridge Parkway and 76th Street, a line 100 feet northwesterly of 3rd Avenue, 82nd Street, Ridge Boulevard, 81st Street, and a line 100 feet northwesterly of Ridge Boulevard;

16. changing from an R6 District to an R4A District property bounded by:

- a. 67th Street, a line 100 feet northwesterly of 5th Avenue, a line 100 feet northeasterly of 68th Street, and a line 100 feet southeasterly of 4th Avenue;
- b. 72nd Street, Narrows Avenue, a line 60 feet northeasterly of Bay Ridge Parkway, a line 100 feet northwesterly of Narrows Avenue, a line 120 feet southwesterly of 72nd Street, a line perpendicular to the easterly boundary line of Shore Road Park at its intersection with the southwesterly centerline prolongation of 72nd Court, and a line 280 feet northwesterly of Narrows Avenue;
- c. 73rd Street, Colonial Road, a line midway between 74th Street and Bay Ridge Parkway, and a line 100 feet northwesterly of Colonial Road;
- d. Bay Ridge Parkway, a line 180 feet southeasterly of Colonial Road, a line midway between Bay Ridge Parkway and 76th Street, and Colonial Road;

- e. a line 110 feet northeasterly of 76th Street, a line 100 feet northwesterly of 4th Avenue, 78th Street, a line 100 feet southeasterly of 3rd Avenue, a line midway between 76th Street and 77th Street, and a line 350 feet southeasterly of 3rd Avenue; and
- f. Marine Avenue, 3rd Avenue, 99th Street, a line passing through two points: one on the northwesterly street line of 99th Street distant 165 feet northeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of the northwesterly street line of 99th Street and the easterly boundary line of Shore Road Park, and the other on the southeasterly street line of 97th Street distant 120 feet northeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of southeasterly street line of 97th Street and the easterly boundary line of Shore Road Park, 97th Street, a line 100 feet northeasterly of Shore Road Park, and a line midway between 96th Street and 97th Street;

17. changing from an R6 District to an R4B District property bounded by:

- a. 68th Street, a line perpendicular to the southwesterly street line of 68th Street distant 355 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 68th Street and the southeasterly street line of Ridge Boulevard, Bay Ridge Avenue, a line 95 feet southeasterly of Ridge Boulevard, a line 60 feet northeasterly of Bay Ridge Avenue, and Ridge Boulevard;
- b. 73rd Street, a line 100 feet northwesterly of Ridge Boulevard, a line midway between 73rd Street and 74th Street, a line 170 feet southeasterly of Colonial Road, 74th Street, a line 180 feet southeasterly of Colonial Road, Bay Ridge Parkway, and Colonial Road;
- c. 78th Street, a line 100 feet northwesterly of 4th Avenue, 82nd Street, and a line 100 feet southeasterly of 3rd Avenue; and
- d. a line 140 feet southwesterly of 97th Street, Fort Hamilton Parkway and its southwesterly centerline prolongation, the northeasterly boundary line of John Paul Jones Park and its southeasterly prolongation, and a line 100 feet southeasterly of 4th Avenue;

18. changing from an R6 District to an R5B District property bounded by:

- a. 64th Street, Gowanus Expressway, 4th Avenue, 65th Street, and the northeasterly centerline prolongation of 3rd Avenue;
- b. 66th Street, 6th Avenue, 67th Street, and 5th Avenue;
- c. 68th Street, Narrows Avenue, 72nd Street, a line 280 feet northwesterly of Narrows Avenue, a line perpendicular to the easterly boundary line of Shore Road Park at its intersection with the southwesterly centerline prolongation of 72nd Court, the easterly boundary line of Shore Road Park, 72nd Street, a line 380 feet northwesterly of Narrows Avenue, a line midway between 71st Street and 72nd Street, a line 360 feet northwesterly of Narrows Avenue, 71st Street, a line 100 feet southeasterly of the easterly boundary line of Shore Road Park, Mackay Place, a line 315 feet northwesterly of Narrows Avenue, 70th Street, a line perpendicular to the northeasterly street line of 70th Street distant 155 feet southeasterly (as measured along the street) from the point of intersection of the northeasterly street line of 70th Street and the easterly boundary line of Shore Road Park, a line midway between Bay Ridge Avenue and 70th Street, a line perpendicular to the southwesterly street line of Bay Ridge Avenue distant 105 feet southeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of southwesterly street line of Bay Ridge Avenue and the easterly boundary line of Shore Road Park, Bay Ridge Avenue, and a line 150 feet northwesterly of Owls Head Court;
- d. 67th Street, Ridge Boulevard, a line 100 feet southwesterly of 67th Street, a line 100 feet northwesterly of 3rd Avenue and its northeasterly prolongation at Senator Street, a line 125 feet southwesterly of Bay Ridge Avenue, a line 75 feet southeasterly of Bay Ridge Place, Ovington Avenue, a line 100 feet northwesterly of 3rd Avenue, a line midway between Bay Ridge Parkway and 76th Street, a line 120 feet southeasterly of Ridge Boulevard, a line midway between 74th Street and Bay Ridge Parkway, a line 200 feet southeasterly of Ridge Boulevard, a line midway between 73rd Street and 74th Street, a line 300 feet southeasterly of Ridge Boulevard, 73rd Street, a line 100 feet southeasterly of Ridge Boulevard, Ovington Avenue, Ridge Boulevard, Bay Ridge Avenue, a line perpendicular to the southwesterly street line of 68th Street distant 355 feet southeasterly (as measured along the street line) from the point of intersection of

the southwesterly street line of 68th Street and the southeasterly street line of Ridge Boulevard, 68th Street, and a line 100 feet northwesterly of Ridge Boulevard;

- e. a line midway between 74th Street and Bay Ridge Parkway, a line 220 feet northwesterly of Ridge Boulevard, Bay Ridge Parkway, a line 120 feet northwesterly of Ridge Boulevard, a line 100 feet southwesterly of Bay Ridge Parkway, and a line 180 feet south easterly of Colonial Road;
- f. 67th Street, a line 100 feet northwesterly of 4th Avenue, a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet southeasterly of 3rd Avenue, a line midway between 67th Street and Senator Street, and a line perpendicular to the southwesterly street line of 67th Street distant 295 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 67th Street and the northwesterly street line of 4th Avenue;
- g. a line 100 feet northeasterly of 68th Street, a line 100 feet northwesterly of 5th Avenue, a line 100 feet southwesterly of Bay Ridge Avenue, and a line 100 feet southeasterly of 4th Avenue;
- h. Ovington Avenue, a line 100 feet northwesterly of 4th Avenue, a line 110 feet northeasterly of 76th Street, a line 350 feet southeasterly of 3rd Avenue, a line midway between 76th Street and 77th Street, and a line 100 feet southeasterly of 3rd Avenue;
- i. a line 100 feet northeasterly of 72nd Street, a line 100 feet northwesterly of 5th Avenue, 77th Street, a line perpendicular to the southwesterly street line of 77th Street, distant 265 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 77th Street and the northwesterly street line of 5th Avenue, a line midway between 77th Street and 78th Street, and a line 100 feet southeasterly of 4th Avenue;
- j. a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet northwesterly of 6th Avenue, a line 100 feet northeasterly of Bay Ridge Parkway, 6th Avenue, a line midway between Bay Ridge Parkway and 76th Street, a line perpendicular to the northeasterly street line of 76th Street distant 245 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 76th Street and the southeasterly street line of 5th Avenue, 76th Street, a line 100 feet northwesterly of 6th Avenue, a

line midway between 77th Street and 78th Street, and a line 100 feet southeasterly of 5th Avenue;

- k.** a line midway between 74th Street and Bay Ridge Parkway and its southeasterly prolongation, Gowanus Expressway, a line 100 feet southwesterly of 80th Street and its southeasterly prolongation, 6th Avenue, 78th Street, and a line 100 feet southeasterly of 6th Avenue;
- l.** a line midway between 81st Street and 82nd Street, a line 100 feet northwesterly of 6th Avenue, a line midway between 82nd Street and 83rd Street, a line perpendicular to the northeasterly street line of 83rd Street distant 255 feet northwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of 6th Avenue and the northeasterly street line of 83rd Street, 83rd Street, a line perpendicular to the southwesterly street line of 83rd Street distant 310 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of 5th Avenue and the southwesterly street line of 83rd Street, a line midway between 83rd Street and 84th Street, and a line 100 feet southeasterly of 5th Avenue;
- m.** 85th Street, a line 100 feet northwesterly of 4th Avenue, a line midway between 87th Street and 88th Street, a line 100 feet southeasterly of 3rd Avenue, a line 100 feet southwesterly of 85th Street, and a line 370 feet southeasterly of 3rd Avenue;
- n.** a line midway between 91st Street and 92nd Street, Ridge Boulevard, 93rd Street, a line 420 feet northwesterly of Ridge Boulevard, a line midway between 92nd Street and 93rd Street, a line 340 feet northwesterly of Ridge Boulevard, 92nd Street, Marine Avenue, and Colonial Road;
- o.** 91st Street, a line 100 feet northwesterly of 4th Avenue, 92nd Street, and a line 100 feet southeasterly of 3rd Avenue;
- p.** a line midway between 93rd Street and 94th Street, a line 100 feet northwesterly of 4th Avenue, a line midway between 95th Street and 96th Street, and a line 100 feet southeasterly of 3rd Avenue; and
- q.** a line 100 feet southwesterly of 86th Street, Gowanus Expressway, the northeasterly boundary line of John J. Carty Park and its southeasterly and northwesterly prolongations, Hamilton Parkway,

a line 140 feet southwesterly of 97th Street, a line 200 feet southeasterly of 4th Avenue, 97th Street, 4th Avenue, 95th Street, a line 100 feet southeasterly of 5th Avenue, 88th Street, and Hamilton Parkway;

- 19. changing from an M1-1 District to an R5B District property bounded by**
a line 90 feet northeasterly of 66th Street, a line 90 feet northwesterly of 6th Avenue, 66th Street, and a line 100 feet southeasterly of 5th Avenue;
- 20. changing from an R6 District to an R6A District property bounded by:**
- a.** 68th Street, a line 150 feet northwesterly of Owls Head Court, Bay Ridge Avenue, a line perpendicular to the southwesterly street line of Bay Ridge Avenue distant 105 feet southeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of southwesterly street line of Bay Ridge Avenue and the easterly boundary line of Shore Road Park, a line midway between Bay Ridge Avenue and 70th Street, a line perpendicular to the northeasterly street line of 70th Street distant 155 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 70th Street and the easterly boundary line of Shore Road Park, 70th Street, a line 315 feet northwesterly of Narrows Avenue, Mackay Place, a line 100 feet southeasterly of the easterly boundary line of Shore Road Park, 71st Street, a line 360 feet northwesterly of Narrows Avenue, a line midway between 71st Street and 72nd Street, a line 380 feet northwesterly of Narrows Avenue, and 72nd Street;
 - b.** a line 120 feet southwesterly of 72nd Street, a line 100 feet northwesterly of Narrows Avenue, a line 60 feet northeasterly of Bay Ridge Parkway, the easterly boundary line of Shore Road Park, and a line perpendicular to the easterly boundary line of Shore Road Park at its intersection with the southwesterly centerline prolongation of 72nd Court,
 - c.** 68th Street, Ridge Boulevard, a line 60 feet northeasterly of Bay Ridge Avenue, a line 95 feet southeasterly of Ridge Boulevard, Bay Ridge Avenue, Ridge Boulevard, Ovington Avenue, a line 100 feet southeasterly of Ridge Boulevard, 73rd Street, a line 300 feet southeasterly of Ridge Boulevard, a line midway between 73rd Street and 74th Street, a line 200 feet southeasterly of Ridge Boulevard, a line midway between 74th Street and Bay Ridge

Parkway, a line 120 feet southeasterly of Ridge Boulevard, a line 100 feet southwesterly of Bay Ridge Parkway, a line 120 feet northwesterly of Ridge Boulevard, Bay Ridge Parkway, a line 220 feet northwesterly of Ridge Boulevard, 74th Street, Ridge Boulevard, 73rd Street, Colonial Road, 71st Street, a line 300 feet northwesterly of Ridge Boulevard, 72nd Street, and a line 100 feet northwesterly of Ridge Boulevard;

- d. 89th Street, a line 100 feet southeasterly of 3rd Avenue, 101st Street, a line 100 feet northwesterly of 4th Avenue, Marine Avenue, a line 215 feet northwesterly of 4th Avenue, a line midway between 97th Street and Marine Avenue, a line 100 feet northwesterly of 4th Avenue, 89th Street, 4th Avenue, the southeasterly prolongation of the northeasterly street line of 95th Street, 5th Avenue, 94th Street, a line 100 feet southeasterly of 5th Avenue, 95th Street, 4th Avenue, 97th Street, a line 200 feet southeasterly of 4th Avenue, a line 140 feet southwesterly of 97th Street, a line 100 feet southeasterly of 4th Avenue, the northeasterly and northwesterly boundary line of John Paul Jones Park, the easterly boundary line of Shore Road Park, 3rd Avenue, Marine Avenue, and a line 100 feet northwesterly of 3rd Avenue; and
- e. a line midway between 94th Street and Ridge Boulevard, Marine Avenue, 95th Street, a line perpendicular to the northeasterly street line of Marine Avenue distant 170 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, Marine Avenue, a line perpendicular to the northeasterly street line of Marine Avenue distant 50 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, a line 100 feet northeasterly of Marine Avenue, a line perpendicular to the northeasterly street line of 96th Street, distant 60 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, 96th Street, a line 240 feet northwesterly of 3rd Avenue, a line perpendicular to the northeasterly street line of Marine Avenue, distant 220 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 96th Street and the northeasterly street line of Marine Avenue, Marine Avenue, a line midway between 96th Street and 97th Street, a line 100 feet southwesterly of Marine Avenue, a line

midway between 95th Street and 96th Street, a line 200 feet southwesterly of Marine Avenue, 95th Street, a line 300 feet southwest-erly of Marine Avenue, a line midway between Ridge Boulevard and 95th Street, and a line 100 feet southwesterly of Marine Avenue;

21. changing from an R6 District to an R6B District property bounded by:

- a. 67th Street, a line 40 feet southeasterly of 3rd Avenue, a line midway between 67th Street and Senator Street, a line 100 feet southeasterly of 3rd Avenue, a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet northwesterly of 4th Avenue, Ovington Avenue, a line 100 feet southeasterly of 3rd Avenue, 89th Street, a line 100 feet northwesterly of 3rd Avenue, Ovington Avenue, a line 75 feet southeasterly of Bay Ridge Place, a line 125 feet southwesterly of Bay Ridge Avenue, a line 100 feet northwesterly of 3rd Avenue and its northeasterly prolongation at Senator Street, and a line 100 feet northwesterly of 3rd Avenue;
- b. 67th Street, a line 100 feet southeasterly of 5th Avenue, 85th Street, 5th Avenue, a line midway between 85th Street and 86th Street, and a line 100 feet northwesterly of 5th Avenue; and
- c. a line 100 feet southwesterly of 86th Street, a line 100 feet south-easterly of 5th Avenue, 94th Street, and 5th Avenue;

22. changing from an R3-1 District to an R7A District property bounded by 89th Street, a line 200 feet southeasterly of Narrows Avenue, a line 120 feet southwesterly of 89th Street, and a line 120 southeasterly of Narrows Avenue;

23. changing from an R7-1 District to an R7A District property bounded by:

- a. 87th Street and its northwesterly centerline prolongation, Narrows Avenue, 89th Street, a line 120 feet southeasterly of Narrows Avenue, a line 120 feet southwesterly of 89th Street, the south easterly street line of Narrows Avenue, and the easterly boundary line of Shore Road Park; and
- b. Colonial Road, a line 200 feet northeasterly of 91st Street, a line 200 feet northwesterly of Colonial Road, 91st Street, a line 460 feet northwesterly of Colonial Road, a line midway between 91st Street and 92nd Street and its northwesterly prolongation, a line 100 feet northwesterly of Colonial Road, 91st Street, Colonial Road, Marine

Avenue, Oliver Street, a line 255 feet northeasterly of Shore Road Park, 93rd Street, a line 210 feet northeasterly of Shore Road Park, a line midway between 94th Street and Ridge Boulevard, a line 260 feet northeasterly of Shore Road Park, Ridge Boulevard, a line 150 feet northeasterly of Shore Road Park, 95th Street, a line 165 feet northeasterly of Shore Road Park, a line midway between 95th Street and 96th Street, a line 300 feet northeasterly of Shore Road Park, 96th Street, a line 340 feet northeasterly of Shore Road Park, a line midway between 96th Street and 97th Street, a line 100 feet northeasterly of Shore Road Park, 97th Street, a line passing through two points: one on the southeasterly street line of 97th Street distant 120 feet northeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of southeasterly street line of 97th Street and the easterly boundary line of Shore Road Park, and the other on the northwesterly street line of 99th Street distant 165 feet southwesterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of northwesterly street line of 99th Street and the easterly boundary line of Shore Road Park, 99th Street, 3rd Avenue, the easterly boundary line of Shore Road Park, and a line passing through two points: one on the northwesterly street line of Colonial Road distant 100 feet southwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of Colonial Road and the southwesterly street line of 89th Street, and the other on the easterly boundary line of Shore Road Park distant 375 feet southerly (as measured along the street line and the park boundary line) from the point of intersection of the southeasterly street line of Narrows Avenue and the southwesterly street line of 89th Street;

24. **changing from an R6 District to an R7B District property bounded by** Ovington Avenue, a line perpendicular to the southwesterly street line of Ovington Avenue distant 200 feet southwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of Ovington Avenue and the southeasterly street line of 4th Avenue, a line 100 feet northeasterly of 72nd Street, and a line 100 feet southeasterly of 4th Avenue;
25. **changing from an R7-1 District to an R7B District property bounded by** 67th Street, 4th Avenue, 67th Street, a line 100 feet southeasterly of 4th Avenue, a line midway between 85th Street and 86th Street, a line 100 feet northeasterly of 86th Street, and a line 100 feet northwesterly of 4th Avenue;

26. **changing from an R6 District to a C4-2A District property bounded by** a line 100 feet northeasterly of 86th Street, Gowanus Expressway, a line 100 feet southwesterly of 86th Street, and Fort Hamilton Parkway;
27. **changing from a C4-2 District to a C4-2A District property bounded by** a line 100 feet northeasterly of 86th Street, a line midway between 85th Street and 86th Street, 5th Avenue, 85th Street, a line 100 feet southeasterly of 5th Avenue, a line 100 feet northeasterly of 86th Street, Fort Hamilton Parkway, a line 100 feet southwesterly of 86th Street, 5th Avenue, 87th Street, a line 200 feet southeasterly of 4th Avenue, 89th Street, 4th Avenue, 89th Street, and a line 100 feet northwesterly of 4th Avenue;
28. **changing from a C8-1 District to a C8-2 District property bounded by** 87th Street, 5th Avenue, the southeasterly prolongation of the northeasterly street line of 95th Street, 4th Avenue, 89th Street, and a line 200 feet southeasterly of 4th Avenue;
29. **establishing within a proposed R6A District a C1-3 District bounded by:**
- a. 89th Street, a line 100 feet southeasterly of 3rd Avenue, 95th Street, 3rd Avenue, 97th Street, a line 100 feet southeasterly of 3rd Avenue, Marine Avenue, and a line 100 feet northwesterly of 3rd Avenue; and
 - b. a line midway between 97th Street and Marine Avenue, 4th Avenue, a line 140 feet southwesterly of 97th Street, a line 100 feet southeasterly of 4th Avenue, a line midway between Marine Avenue and 99th Street, 4th Avenue, 100th Street, a line 100 feet southeasterly of 4th Avenue, 101st Street, 4th Avenue, 101st Street, and a line 100 feet northwesterly of 4th Avenue;
30. **establishing within a proposed R6B District a C1-3 District bounded by:**
- a. Bay Ridge Parkway, a line 100 feet southeasterly of 3rd Avenue, 81st Street, 3rd Avenue, 82nd Street, and a line 100 feet northwesterly of 3rd Avenue;
 - b. 86th Street, a line 100 feet southeasterly of 3rd Avenue, 89th Street, and a line 100 feet northwesterly of 3rd Avenue; and
 - c. Bay Ridge Parkway, a line 100 feet southeasterly of 5th Avenue, 85th Street, 5th Avenue, a line midway between 85th Street and 86th Street, and a line 100 feet northwesterly of 5th Avenue;

31. **establishing within a proposed R5B District a C1-4 District bounded by** a line 100 feet northeasterly of Bay Ridge Avenue, a line 100 feet northwesterly of 3rd Avenue, a line 125 feet southwesterly of Bay Ridge Avenue, a line 75 feet southeasterly of Bay Ridge Place, Bay Ridge Avenue, and a line perpendicular to the southwesterly street line of 68th Street distant 355 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 68th Street and the southeasterly street line of Ridge Boulevard;
32. **establishing within a proposed R6A District a C2-3 District bounded by** 89th Street, 4th Avenue, the southeasterly prolongation of the northeasterly street line of 95th Street, 5th Avenue, 94th Street, a line 100 feet southeasterly of 5th Avenue, 95th Street, 4th Avenue, 96th Street, and a line 100 feet northwesterly of 4th Avenue;
33. **establishing within a proposed R6B District a C2-3 District bounded by:**
 - a. 81st Street, a line 100 feet southeasterly of 3rd Avenue, 86th Street, a line 100 feet northwesterly of 3rd Avenue, 82nd Street, and 3rd Avenue; and
 - b. a line 100 feet southwesterly of 86th Street, a line 100 feet southeasterly of 5th Avenue, 94th Street, and 5th Avenue;

as shown on a diagram (for illustrative purposes only) dated October 18, 2004, and subject to the conditions of CEQR Declaration E-139.

(On January 19, 2005, Cal. No. 1, the Commission scheduled February 2, 2005 for a public hearing which has been duly advertised.)

Close the hearing.

No. 11

CD 10

C 050134(A) ZMK

IN THE MATTER OF an application submitted by the Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter and proposed for modification pursuant to Section 2-06(c)(1) of the Uniform Land Use Review Procedure **for an amendment of the Zoning Map, Section Nos. 22a and 22b**

1. **eliminating a C1-2 District within an existing R6 District bounded by:**
 - a. Bay Ridge Parkway, a line 100 feet southeasterly of 3rd Avenue, 78th Street, 3rd Avenue, 82nd Street, and a line 100 feet northwesterly of 3rd Avenue;
 - b. Bay Ridge Parkway, a line 100 feet southeasterly of 5th Avenue, 85th Street, 5th Avenue, a line midway between 85th Street and 86th Street, and a line 100 feet northwesterly of 5th Avenue;
 - c. 86th Street, 3rd Avenue, 87th Street, a line 100 feet southeasterly of 3rd Avenue, 95th Street, 3rd Avenue, 97th Street, a line 100 feet southeasterly of 3rd Avenue, Marine Avenue, and a line 100 feet northwesterly of 3rd Avenue;
 - d. a line midway between 85th Street and 86th Street, the northwesterly boundary line of a Park and its southwesterly prolongation, 86th Street, Gatling Place, a line 100 feet southwesterly of 86th Street, and Hamilton Parkway;
 - e. 92nd Street, a line 100 feet southeasterly of 5th Avenue, 95th Street, 4th Avenue, 96th Street, a line 100 feet northwesterly of 4th Avenue, 95th Street, and 5th Avenue;
 - f. a line midway between 97th Street and Marine Avenue, a line 100 feet southeasterly of 4th Avenue, a line midway between Marine Avenue and 99th Street, 4th Avenue, 100th Street, and a line 100 feet northwesterly of 4th Avenue; and
 - g. 100th Street, a line 100 feet southeasterly of 4th Avenue, 101st Street, and 4th Avenue;

2. **eliminating a C2-2 District within an existing R6 District bounded by:**
 - a. 82nd Street, a line 100 feet southeasterly of 3rd Avenue, 87th Street, 3rd Avenue, 86th Street, and a line 100 feet northwesterly of 3rd Avenue;
 - b. 89th Street, 4th Avenue, 95th Street, and a line 100 feet northwesterly of 4th Avenue; and
 - c. a line 100 feet southwesterly of 86th Street, a line midway between 5th Avenue and Gelston Avenue, the southeasterly centerline

prolongation of 91st Street, and 5th Avenue;

3. **eliminating a C2-3 District within an existing R6 District bounded by** Bay Ridge Avenue, Narrows Avenue, a line midway between Bay Ridge Avenue and 70th Street, and the easterly boundary line of Shore Road Park;
4. **changing from an R3-1 District to an R2 District property bounded by:**
 - a. a line midway between Bay Ridge Parkway and 76th Street, a line 120 feet northwesterly of Ridge Boulevard, 76th Street, a line 100 feet northwesterly of Ridge Boulevard, 77th Street, and a line 100 feet southeasterly of Colonial Road; and
 - b. 85th Street, a line 100 feet northwesterly of Ridge Boulevard, 86th Street, and Colonial Road;
5. **changing from an R3-2 District to an R2 District property bounded by:**
 - a. 76th Street, Ridge Boulevard, 77th Street, and a line 100 feet northwesterly of Ridge Boulevard;
 - b. 85th Street, Ridge Boulevard, 86th Street, and a line 100 feet northwesterly of Ridge Boulevard; and
 - c. 85th Street, a line 100 feet northwesterly of 3rd Avenue, a line midway between 85th Street and 86th Street, and a line 260 feet southeasterly of Ridge Boulevard;
6. **changing from an R3-2 District to an R3-1 District property bounded by** a line midway between 74th Street and Bay Ridge Parkway, a line 100 feet northwesterly of Colonial Road, a line midway between Bay Ridge Parkway and 76th Street, and a line 100 feet southeasterly of Narrows Avenue;
7. **changing from an R6 District to an R3-1 District property bounded by** a line midway between 74th Street and Bay Ridge Parkway, Colonial Road, Bay Ridge Parkway, a line 180 feet southeasterly of Colonial Road, a line midway between Bay Ridge Parkway and 76th Street, and a line 100 feet northwesterly of Colonial Road;
8. **changing from an R6 District to an R3-2 District property bounded by** 71st Street, Colonial Road, 73rd Street and a line 100 feet northwesterly of Colonial Road;

9. **changing from an R6 District to an R3A District property bounded by** 92nd Street, a line 340 feet northwesterly of Ridge Boulevard, a line midway between 92nd Street and 93rd Street, a line 420 feet northwesterly of Ridge Boulevard, 93rd Street, Ridge Boulevard, Marine Avenue, a line midway between 93rd Street and 94th Street, a line 210 feet northeasterly of the easterly boundary line of Shore Road Park, 93rd Street, a line 255 feet northeasterly of the easterly boundary line of Shore Road Park, Oliver Street, and Marine Avenue;
10. **changing from an R6 District to an R3X District property bounded by:**
- a. a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet northwesterly of 5th Avenue, a line 100 feet northeasterly of 72nd Street, a line perpendicular to the southwesterly street line of Ovington Avenue distant 200 feet southwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of Ovington Avenue and the southeasterly street line of 4th Avenue, Ovington Avenue, and a line 100 feet southeasterly of 4th Avenue; and
 - b. 79th Street, a line 100 feet northwesterly of 5th Avenue, a line midway between 80th Street and 81st street, and a line 100 feet southeasterly of 4th Avenue;
11. **changing from an R3-2 District to an R4-1 District property bounded by** the northeasterly boundary line of Shore Road Park, a line 100 feet northwesterly of Ridge Boulevard, the southerly service road of Shore Road Drive, and the northeasterly centerline prolongation of Colonial Road;
12. **changing from an R6 District to an R4-1 District property bounded by:**
- a. the northerly boundary line of a Shore Road Park and its southeasterly prolongation, 4th Avenue, 66th Street, 5th Avenue, 67th Street, 4th Avenue, 67th Street, a line perpendicular to the southwesterly street line of 67th Street distant 295 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 67th Street and the northwesterly street line of 4th Avenue, a line midway between 67th Street and Senator Street, a line 40 feet southeasterly of 3rd Avenue, 67th Street, a line 100 feet northwesterly of 3rd Avenue, the northeasterly prolongation at Senator Street of a line 100 feet northwesterly of 3rd Avenue, a line 100 feet southwesterly of 67th Street, Ridge Boulevard, 67th Street, and a line 100 feet northwesterly of Ridge Boulevard;

- b.** 66th Street and its southeasterly centerline prolongation, Gowanus Expressway, a line midway between 74th Street and Bay Ridge Parkway and its southeasterly prolongation, a line 100 feet southeasterly of 6th Avenue, 78th Street, 6th Avenue, a line midway between 80th Street and 81st Street and its southeasterly prolongation, Gowanus Expressway, a line 100 feet northeasterly of 86th Street, a line 130 feet southeasterly of 5th Avenue, 85th Street, a line 100 feet southeasterly of 5th Avenue, a line midway between 83rd Street and 84th Street, a line perpendicular to the southwesterly street line of 83rd Street distant 310 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of 5th Avenue and the southwesterly street line of 83rd Street, 83rd Street, a line perpendicular to the northeasterly street line of 83rd Street distant 255 feet northwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of 6th Avenue and the northeasterly street line of 83rd Street, a line midway between 82nd Street and 83rd Street, a line 100 feet northwesterly of 6th Avenue, a line midway between 81st Street and 82nd Street, a line 100 feet southeasterly of 5th Avenue, a line midway between 77th Street and 78th Street, a line 100 feet northwesterly of 6th Avenue, 76th Street, a line perpendicular to the northeasterly street line of 76th Street distant 245 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 76th Street and the southeasterly street line of 5th Avenue, a line midway between Bay Ridge Parkway and 76th Street, 6th Avenue, a line 100 feet northeasterly of Bay Ridge Parkway, a line 100 feet northwesterly of 6th Avenue, a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet southeasterly of 5th Avenue, 67th Street, and 6th Avenue;
- c.** 73rd Street, Ridge Boulevard, 74th Street, a line 220 feet northwesterly of Ridge Boulevard, a line midway between 74th Street and Bay Ridge parkway, a line 180 feet southeasterly of Colonial Road, 74th Street, a line 170 feet southeasterly of Colonial Road, a line midway between 73rd Street and 74th Street, and a line 100 feet northwesterly of Ridge Boulevard;
- d.** 77th Street, a line 100 feet northwesterly of 5th Avenue, 79th Street, a line 100 feet southeasterly of 4th Avenue, a line midway between 77th Street and 78th Street, and a line perpendicular to the southwesterly street line of 77th Street, distant 265 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 77th Street and the northwesterly street

line of 5th Avenue;

- e. a line midway between 80th Street and 81st Street, a line 100 feet northwesterly of 5th Avenue, a line midway between 85th Street and 86th Street, and a line 100 feet southeasterly of 4th Avenue;
- f. 82nd Street, a line 100 feet northwesterly of 4th Avenue, 85th Street, a line 370 feet southeasterly of 3rd Avenue, a line 100 feet southwesterly of 85th Street, and a line 100 feet southeasterly of 3rd Avenue;
- g. a line midway between 87th Street and 88th Street, a line 100 feet northwesterly of 4th Avenue, 91st Street, and a line 100 feet southeasterly of 3rd Avenue;
- h. a line 100 feet southwesterly of 86th Street, Fort Hamilton Parkway, 88th Street, and a line 100 feet southeasterly of 5th Avenue;
- i. 89th Street, a line 100 feet northwesterly of 3rd Avenue, Marine Avenue, a line perpendicular to the northeasterly street line of Marine Avenue, distant 220 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 96th Street and the northeasterly street line of Marine Avenue, a line perpendicular to the southwesterly street line of 96th Street, distant 240 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 96th Street and the northwesterly street line of 3rd Avenue, 96th Street, a line perpendicular to the northeasterly street line of 96th Street, distant 60 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, a line 100 feet northeasterly of Marine Avenue, a line perpendicular to the northeasterly street line of Marine Avenue distant 50 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, Marine Avenue, a line perpendicular to the northeasterly street line of Marine Avenue distant 170 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, 95th Street, and Ridge Boulevard;
- j. 92nd Street, a line 100 feet northwesterly of 4th Avenue, a line

midway between 93rd Street and 94th Street, and a line 100 feet southeasterly of 3rd Avenue;

- k. a line midway between 93rd Street and 94th Street, Marine Avenue, a line midway between 94th Street and Ridge Boulevard, a line 100 feet southwesterly of Marine Avenue, a line midway between Ridge Boulevard and 95th Street, a line 300 feet southwesterly of Marine Avenue, 95th Street, a line 200 feet southwesterly of Marine Avenue, a line midway between 95th street and 96th Street, a line 100 feet southwesterly of Marine Avenue, a line midway between 96th Street and 97th Street, a line 340 feet northeasterly of Shore Road Park, 96th Street, a line 300 feet northeasterly of Shore Road Park, a line midway between 95th street and 96th Street, a line 165 feet northeasterly of Shore Road Park, 95th Street, a line 150 feet northeasterly of Shore Road Park, Ridge Boulevard, a line 260 feet northeasterly of Shore Road Park, a line midway between 94th Street and Ridge Boulevard, and a line 210 feet northeasterly of Shore Road Park; and
 - l. a line midway between 95th Street and 96th Street, a line 100 feet northwesterly of 4th Avenue, a line midway between 97th Street and Marine Avenue, a line 215 feet northwesterly of 4th Avenue, Marine Avenue, a line 100 feet northwesterly of 4th Avenue, 101st Street, and a line 100 feet southeasterly of 3rd Avenue;
13. **changing from a C4-2 District to an R4-1 District property bounded by** 85th Street, a line 130 feet southeasterly of 5th Avenue, a line 100 feet northeasterly of 86th Street, and a line 100 feet southeasterly of 5th Avenue;
14. **changing from an R3-1 District to an R4A District property bounded by:**
- a. a line midway between Bay Ridge Parkway and 76th Street and its northwesterly prolongation, a line 100 feet southeasterly of Narrows Avenue, 78th Street, a line 100 feet northwesterly of Ridge Boulevard, a line midway between 79th Street and 80th Street, Colonial Road, 79th Street, Narrows Avenue, a line 100 feet southwesterly of 79th Street, and the easterly boundary line of Shore Road Park; and
 - b. a line midway between Bay Ridge Parkway and 76th Street, a line 100 feet northwesterly of Ridge Boulevard, 76th Street, and a line 120 feet northwesterly of Ridge Boulevard;

15. changing from an R3-2 District to an R4A District property bounded by:

- a. the southerly service road of Shore Road Drive, Sedgwick Place, a line 60 feet southwesterly of the southerly service road of Shore Road Drive, Bergen Place, 67th Street, and a line midway between Colonial Road and Sedgwick Place;
- b. 70th Street, a line 60 feet northwesterly of Louise Terrace and its southwesterly prolongation, a line midway between Mackay Place and 71st Street, and Narrows Avenue;
- c. 73rd Street, a line 100 feet northwesterly of Colonial Road, a line midway between 74th Street and Bay Ridge Parkway, a line 100 feet southeasterly of Narrows Avenue, a line midway between Bay Ridge Parkway and 76th Street and its northwesterly prolongation, the easterly boundary line of Shore Road Park, a line 60 feet northeasterly of Bay Ridge Parkway, Narrows Avenue, a line midway between 73rd Street and 74th Street, and a line 200 feet southeasterly of Narrows Avenue; and
- d. a line midway between Bay Ridge Parkway and 76th Street, a line 100 feet northwesterly of 3rd Avenue, 82nd Street, Ridge Boulevard, 81st Street, a line 100 feet northwesterly of Ridge Boulevard, 77th Street, Ridge Boulevard, 76th Street, and a line 100 feet northwesterly of Ridge Boulevard;

16. changing from an R6 District to an R4A District property bounded by:

- a. 67th Street, a line 100 feet northwesterly of 5th Avenue, a line 100 feet northeasterly of 68th Street, and a line 100 feet southeasterly of 4th Avenue;
- b. 72nd Street, Narrows Avenue, a line 60 feet northeasterly of Bay Ridge Parkway, a line 100 feet northwesterly of Narrows Avenue, a line 120 feet southwesterly of 72nd Street, a line perpendicular to the easterly boundary line of Shore Road Park at its intersection with the southwesterly centerline prolongation of 72nd Court, and a line 280 feet northwesterly of Narrows Avenue;
- c. 73rd Street, Colonial Road, a line midway between 74th Street and Bay Ridge Parkway, and a line 100 feet northwesterly of Colonial Road;

- d. a line 110 feet northeasterly of 76th Street, a line 100 feet northwesterly of 4th Avenue, 78th Street, a line 100 feet southeasterly of 3rd Avenue, a line midway between 76th Street and 77th Street, and a line 350 feet southeasterly of 3rd Avenue; and
- e. Marine Avenue, 3rd Avenue, 99th Street, a line passing through two points: one on the northwesterly street line of 99th Street distant 165 feet northeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of the northwesterly street line of 99th Street and the easterly boundary line of Shore Road Park, and the other on the southeasterly street line of 97th Street distant 120 feet northeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of southeasterly street line of 97th Street and the easterly boundary line of Shore Road Park, 97th Street, a line 100 feet northeasterly of Shore Road Park, and a line midway between 96th Street and 97th Street;

17. changing from an R6 District to an R4B District property bounded by:

- a. 68th Street, a line perpendicular to the southwesterly street line of 68th Street distant 355 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 68th Street and the southeasterly street line of Ridge Boulevard, Bay Ridge Avenue, a line 95 feet southeasterly of Ridge Boulevard, a line 60 feet northeasterly of Bay Ridge Avenue, and Ridge Boulevard;
- b. 73rd Street, a line 100 feet northwesterly of Ridge Boulevard, a line midway between 73rd Street and 74th Street, a line 170 feet southeasterly of Colonial Road, 74th Street, a line 180 feet southeasterly of Colonial Road, Bay Ridge Parkway, and Colonial Road;
- c. 78th Street, a line 100 feet northwesterly of 4th Avenue, 82nd Street, and a line 100 feet southeasterly of 3rd Avenue; and
- d. a line 140 feet southwesterly of 97th Street, Fort Hamilton Parkway and its southwesterly centerline prolongation, the northeasterly boundary line of John Paul Jones Park and its southeasterly prolongation, and a line 100 feet southeasterly of 4th Avenue;

- 18. changing from an R3-1 District to an R5B District property bounded by** 91st Street, Ridge Boulevard, a line midway between 91st Street and 92nd Street, and a line 120 feet northwesterly of Ridge Boulevard;
- 19. changing from an R6 District to an R5B District property bounded by:**
- a.** 64th Street, Gowanus Expressway, 4th Avenue, 65th Street, and the northeasterly centerline prolongation of 3rd Avenue;
 - b.** 66th Street, 6th Avenue, 67th Street, and 5th Avenue;
 - c.** 68th Street, Narrows Avenue, 72nd Street, a line 280 feet northwesterly of Narrows Avenue, a line perpendicular to the easterly boundary line of Shore Road Park at its intersection with the southwesterly centerline prolongation of 72nd Court, the easterly boundary line of Shore Road Park, 72nd Street, a line 380 feet northwesterly of Narrows Avenue, a line midway between 71st Street and 72nd Street, a line 360 feet northwesterly of Narrows Avenue, 71st Street, a line 100 feet southeasterly of the easterly boundary line of Shore Road Park, Mackay Place, a line 315 feet northwesterly of Narrows Avenue, 70th Street, a line perpendicular to the northeasterly street line of 70th Street distant 155 feet southeasterly (as measured along the street) from the point of intersection of the northeasterly street line of 70th Street and the easterly boundary line of Shore Road Park, a line midway between Bay Ridge Avenue and 70th Street, a line perpendicular to the southwesterly street line of Bay Ridge Avenue distant 105 feet southeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of southwesterly street line of Bay Ridge Avenue and the easterly boundary line of Shore Road Park, Bay Ridge Avenue, and a line 150 feet northwesterly of Owls Head Court;
 - d.** 67th Street, Ridge Boulevard, a line 100 feet southwesterly of 67th Street, a line 100 feet northwesterly of 3rd Avenue and its northeasterly prolongation at Senator Street, a line 125 feet southwesterly of Bay Ridge Avenue, a line 75 feet southeasterly of Bay Ridge Place, Ovington Avenue, a line 100 feet northwesterly of 3rd Avenue, a line midway between Bay Ridge Parkway and 76th Street, a line 120 feet southeasterly of Ridge Boulevard, a line midway between 74th Street and Bay Ridge Parkway, a line 200 feet southeasterly of Ridge Boulevard, a line midway between 73rd Street and 74th Street, a line 300 feet southeasterly of Ridge Boulevard, 73rd Street,

- a line 100 feet southeasterly of Ridge Boulevard, Ovington Avenue, Ridge Boulevard, Bay Ridge Avenue, a line perpendicular to the southwesterly street line of 68th Street distant 355 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 68th Street and the southeasterly street line of Ridge Boulevard, 68th Street, and a line 100 feet northwesterly of Ridge Boulevard;
- e.** a line midway between 74th Street and Bay Ridge Parkway, a line 220 feet northwesterly of Ridge Boulevard, Bay Ridge Parkway, a line 120 feet northwesterly of Ridge Boulevard, a line 100 feet southwesterly of Bay Ridge Parkway, and a line 180 feet southeasterly of Colonial Road;
- f.** 67th Street, a line 100 feet northwesterly of 4th Avenue, a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet southeasterly of 3rd Avenue, a line midway between 67th Street and Senator Street, and a line perpendicular to the southwesterly street line of 67th Street distant 295 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 67th Street and the northwesterly street line of 4th Avenue;
- g.** a line 100 feet northeasterly of 68th Street, a line 100 feet northwesterly of 5th Avenue, a line 100 feet southwesterly of Bay Ridge Avenue, and a line 100 feet southeasterly of 4th Avenue;
- h.** Ovington Avenue, a line 100 feet northwesterly of 4th Avenue, a line 110 feet northeasterly of 76th Street, a line 350 feet southeasterly of 3rd Avenue, a line midway between 76th Street and 77th Street, and a line 100 feet southeasterly of 3rd Avenue;
- i.** a line 100 feet northeasterly of 72nd Street, a line 100 feet northwesterly of 5th Avenue, 77th Street, a line perpendicular to the southwesterly street line of 77th Street, distant 265 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 77th Street and the northwesterly street line of 5th Avenue, a line midway between 77th Street and 78th Street, and a line 100 feet southeasterly of 4th Avenue;
- j.** a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet northwesterly of 6th Avenue, a line 100 feet northeasterly of Bay Ridge Parkway, 6th Avenue, a line midway between Bay Ridge Parkway and 76th Street, a line perpendicular to the northeasterly

street line of 76th Street distant 245 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 76th Street and the southeasterly street line of 5th Avenue, 76th Street, a line 100 feet northwesterly of 6th Avenue, a line midway between 77th Street and 78th Street, and a line 100 feet southeasterly of 5th Avenue;

- k.** a line midway between 74th Street and Bay Ridge Parkway and its southeasterly prolongation, Gowanus Expressway, a line 100 feet southwesterly of 80th Street and its southeasterly prolongation, 6th Avenue, 78th Street, and a line 100 feet southeasterly of 6th Avenue;
- l.** a line midway between 81st Street and 82nd Street, a line 100 feet northwesterly of 6th Avenue, a line midway between 82nd Street and 83rd Street, a line perpendicular to the northeasterly street line of 83rd Street distant 255 feet northwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of 6th Avenue and the northeasterly street line of 83rd Street, 83rd Street, a line perpendicular to the southwesterly street line of 83rd Street distant 310 feet southeasterly (as measured along the street line) from the point of intersection of the southeasterly street line of 5th Avenue and the southwesterly street line of 83rd Street, a line midway between 83rd Street and 84th Street, and a line 100 feet southeasterly of 5th Avenue;
- m.** 85th Street, a line 100 feet northwesterly of 4th Avenue, a line midway between 87th Street and 88th Street, a line 100 feet southeasterly of 3rd Avenue, a line 100 feet southwesterly of 85th Street, and a line 370 feet southeasterly of 3rd Avenue;
- n.** a line midway between 91st Street and 92nd Street, Ridge Boulevard, 93rd Street, a line 420 feet northwesterly of Ridge Boulevard, a line midway between 92nd Street and 93rd Street, a line 340 feet northwesterly of Ridge Boulevard, 92nd Street, Marine Avenue, and Colonial Road;
- o.** 91st Street, a line 100 feet northwesterly of 4th Avenue, 92nd Street, and a line 100 feet southeasterly of 3rd Avenue;
- p.** a line midway between 93rd Street and 94th Street, a line 100 feet northwesterly of 4th Avenue, a line midway between 95th Street and 96th Street, and a line 100 feet southeasterly of 3rd Avenue; and

- q. a line 100 feet southwesterly of 86th Street, Gowanus Expressway, the northeasterly boundary line of John J. Carty Park and its southeasterly and northwesterly prolongations, Hamilton Parkway, a line 140 feet southwesterly of 97th Street, a line 200 feet southeasterly of 4th Avenue, 97th Street, 4th Avenue, 95th Street, a line 100 feet southeasterly of 5th Avenue, 88th Street, and Hamilton Parkway;
20. **changing from an M1-1 District to an R5B District property bounded by** a line 90 feet northeasterly of 66th Street, a line 90 feet northwesterly of 6th Avenue, 66th Street, and a line 100 feet southeasterly of 5th Avenue;
21. **changing from an R6 District to an R6A District property bounded by:**
- a. 68th Street, a line 150 feet northwesterly of Owls Head Court, Bay Ridge Avenue, a line perpendicular to the southwesterly street line of Bay Ridge Avenue distant 105 feet southeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of southwesterly street line of Bay Ridge Avenue and the easterly boundary line of Shore Road Park, a line midway between Bay Ridge Avenue and 70th Street, a line perpendicular to the northeasterly street line of 70th Street distant 155 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 70th Street and the easterly boundary line of Shore Road Park, 70th Street, a line 315 feet northwesterly of Narrows Avenue, Mackay Place, a line 100 feet southeasterly of the easterly boundary line of Shore Road Park, 71st Street, a line 360 feet northwesterly of Narrows Avenue, a line midway between 71st Street and 72nd Street, a line 380 feet northwesterly of Narrows Avenue, and 72nd Street;
 - b. a line 120 feet southwesterly of 72nd Street, a line 100 feet northwesterly of Narrows Avenue, a line 60 feet northeasterly of Bay Ridge Parkway, the easterly boundary line of Shore Road Park, and a line perpendicular to the easterly boundary line of Shore Road Park at its intersection with the southwesterly centerline prolongation of 72nd Court,
 - c. 68th Street, Ridge Boulevard, a line 60 feet northeasterly of Bay Ridge Avenue, a line 95 feet southeasterly of Ridge Boulevard, Bay Ridge Avenue, Ridge Boulevard, Ovington Avenue, a line 100 feet southeasterly of Ridge Boulevard, 73rd Street, a line 300 feet

southeasterly of Ridge Boulevard, a line midway between 73rd Street and 74th Street, a line 200 feet southeasterly of Ridge Boulevard, a line midway between 74th Street and Bay Ridge Parkway, a line 120 feet southeasterly of Ridge Boulevard, a line 100 feet southwesterly of Bay Ridge Parkway, a line 120 feet northwesterly of Ridge Boulevard, Bay Ridge Parkway, a line 220 feet northwesterly of Ridge Boulevard, 74th Street, Ridge Boulevard, 73rd Street, Colonial Road, 71st Street, a line 300 feet northwesterly of Ridge Boulevard, 72nd Street, and a line 100 feet northwesterly of Ridge Boulevard;

- d. 93rd Street, 3rd Avenue, 93rd Street, a line 100 feet southeasterly of 3rd Avenue, 101st Street, a line 100 feet northwesterly of 4th Avenue, Marine Avenue, a line 215 feet northwesterly of 4th Avenue, a line midway between 97th Street and Marine Avenue, a line 100 feet northwesterly of 4th Avenue, 89th Street, 4th Avenue, the southeasterly prolongation of the northeasterly street line of 95th Street, 5th Avenue, 94th Street, a line 100 feet southeasterly of 5th Avenue, 95th Street, 4th Avenue, 97th Street, a line 200 feet southeasterly of 4th Avenue, a line 140 feet southwesterly of 97th Street, a line 100 feet southeasterly of 4th Avenue, the northeasterly and northwesterly boundary line of John Paul Jones Park, the easterly boundary line of Shore Road Park, 3rd Avenue, Marine Avenue, and a line 100 feet northwesterly of 3rd Avenue; and
- e. a line midway between 94th Street and Ridge Boulevard, Marine Avenue, 95th Street, a line perpendicular to the northeasterly street line of Marine Avenue distant 170 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, Marine Avenue, a line perpendicular to the northeasterly street line of Marine Avenue distant 50 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, a line 100 feet northeasterly of Marine Avenue, a line perpendicular to the northeasterly street line of 96th Street, distant 60 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of 96th Street and the northeasterly street line of Marine Avenue, 96th Street, a line 240 feet northwesterly of 3rd Avenue, a line perpendicular to the northeasterly street line of Marine Avenue, distant 220 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly

street line of 96th Street and the northeasterly street line of Marine Avenue, Marine Avenue, a line midway between 96th Street and 97th Street, a line 100 feet southwesterly of Marine Avenue, a line midway between 95th Street and 96th Street, a line 200 feet southwesterly of Marine Avenue, 95th Street, a line 300 feet southwesterly of Marine Avenue, a line midway between Ridge Boulevard and 95th Street, and a line 100 feet southwesterly of Marine Avenue;

22. changing from an R6 District to an R6B District property bounded by:

- a. 67th Street, a line 40 feet southeasterly of 3rd Avenue, a line midway between 67th Street and Senator Street, a line 100 feet southeasterly of 3rd Avenue, a line 100 feet southwesterly of Bay Ridge Avenue, a line 100 feet northwesterly of 4th Avenue, Ovington Avenue, a line 100 feet southeasterly of 3rd Avenue, 93rd Street, 3rd Avenue, 93rd Street, a line 100 feet northwesterly of 3rd Avenue, Ovington Avenue, a line 75 feet southeasterly of Bay Ridge Place, a line 125 feet southwesterly of Bay Ridge Avenue, a line 100 feet northwesterly of 3rd Avenue and its northeasterly prolongation at Senator Street, and a line 100 feet northwesterly of 3rd Avenue;
- b. 67th Street, a line 100 feet southeasterly of 5th Avenue, 85th Street, 5th Avenue, a line midway between 85th Street and 86th Street, and a line 100 feet northwesterly of 5th Avenue; and
- c. a line 100 feet southwesterly of 86th Street, a line 100 feet southeasterly of 5th Avenue, 94th Street, and 5th Avenue;

23. changing from an R3-1 District to an R7A District property bounded by 89th Street, a line 200 feet southeasterly of Narrows Avenue, a line 120 feet southwesterly of 89th Street, and a line 120 southeasterly of Narrows Avenue;

24. changing from an R7-1 District to an R7A District property bounded by:

- a. 87th Street and its northwesterly centerline prolongation, Narrows Avenue, 89th Street, a line 120 feet southeasterly of Narrows Avenue, a line 120 feet southwesterly of 89th Street, the southeasterly street line of Narrows Avenue, and the easterly boundary line of Shore Road Park; and
- b. Colonial Road, a line 200 feet northeasterly of 91st Street, a line 200 feet northwesterly of Colonial Road, 91st Street, a line 460 feet

northwesterly of Colonial Road, a line midway between 91st Street and 92nd Street and its northwesterly prolongation, a line 100 feet northwesterly of Colonial Road, 91st Street, Colonial Road, Marine Avenue, Oliver Street, a line 255 feet northeasterly of Shore Road Park, 93rd Street, a line 210 feet northeasterly of Shore Road Park, a line midway between 94th Street and Ridge Boulevard, a line 260 feet northeasterly of Shore Road Park, Ridge Boulevard, a line 150 feet northeasterly of Shore Road Park, 95th Street, a line 165 feet northeasterly of Shore Road Park, a line midway between 95th Street and 96th Street, a line 300 feet northeasterly of Shore Road Park, 96th Street, a line 340 feet northeasterly of Shore Road Park, a line midway between 96th Street and 97th Street, a line 100 feet northeasterly of Shore Road Park, 97th Street, a line passing through two points: one on the southeasterly street line of 97th Street distant 120 feet northeasterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of southeasterly street line of 97th Street and the easterly boundary line of Shore Road Park, and the other on the northwesterly street line of 99th Street distant 165 feet southwesterly (as measured along the street line and its straight line prolongation) from the point of intersection of the straight line prolongation of northwesterly street line of 99th Street and the easterly boundary line of Shore Road Park, 99th Street, 3rd Avenue, the easterly boundary line of Shore Road Park, and a line passing through two points: one on the northwesterly street line of Colonial Road distant 100 feet southwesterly (as measured along the street line) from the point of intersection of the northwesterly street line of Colonial Road and the southwesterly street line of 89th Street, and the other on the easterly boundary line of Shore Road Park distant 375 feet southerly (as measured along the street line and the park boundary line) from the point of intersection of the southeasterly street line of Narrows Avenue and the southwesterly street line of 89th Street;

25. **changing from an R6 District to an R7B District property bounded by** Ovington Avenue, a line perpendicular to the southwesterly street line of Ovington Avenue distant 200 feet southwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of Ovington Avenue and the southeasterly street line of 4th Avenue, a line 100 feet northeasterly of 72nd Street, and a line 100 feet southeasterly of 4th Avenue;
26. **changing from an R7-1 District to an R7B District property bounded by**

67th Street, 4th Avenue, 67th Street, a line 100 feet southeasterly of 4th Avenue, a line midway between 85th Street and 86th Street, a line 100 feet northeasterly of 86th Street, and a line 100 feet northwesterly of 4th Avenue;

27. **changing from an R6 District to a C4-2A District property bounded by** a line 100 feet northeasterly of 86th Street, Gowanus Expressway, a line 100 feet southwesterly of 86th Street, and Fort Hamilton Parkway;
28. **changing from a C4-2 District to a C4-2A District property bounded by** a line 100 feet northeasterly of 86th Street, a line midway between 85th Street and 86th Street, 5th Avenue, 85th Street, a line 100 feet southeasterly of 5th Avenue, a line 100 feet northeasterly of 86th Street, Fort Hamilton Parkway, a line 100 feet southwesterly of 86th Street, 5th Avenue, 87th Street, a line 200 feet southeasterly of 4th Avenue, 89th Street, 4th Avenue, 89th Street, and a line 100 feet northwesterly of 4th Avenue;
29. **changing from a C8-1 District to a C8-2 District property bounded by** 87th Street, 5th Avenue, the southeasterly prolongation of the northeasterly street line of 95th Street, 4th Avenue, 89th Street, and a line 200 feet southeasterly of 4th Avenue;
30. **establishing within a proposed R6A District a C1-3 District bounded by:**
 - a. 89th Street, a line 100 feet southeasterly of 3rd Avenue, 95th Street, 3rd Avenue, 97th Street, a line 100 feet southeasterly of 3rd Avenue, Marine Avenue, and a line 100 feet northwesterly of 3rd Avenue; and
 - b. a line midway between 97th Street and Marine Avenue, 4th Avenue, a line 140 feet southwesterly of 97th Street, a line 100 feet southeasterly of 4th Avenue, a line midway between Marine Avenue and 99th Street, 4th Avenue, 100th Street, a line 100 feet southeasterly of 4th Avenue, 101st Street, 4th Avenue, 101st Street, and a line 100 feet northwesterly of 4th Avenue;
31. **establishing within a proposed R6B District a C1-3 District bounded by:**
 - a. Bay Ridge Parkway, a line 100 feet southeasterly of 3rd Avenue, 81st Street, 3rd Avenue, 82nd Street, and a line 100 feet northwesterly of 3rd Avenue;
 - b. 86th Street, a line 100 feet southeasterly of 3rd Avenue, 89th Street, and a line 100 feet northwesterly of 3rd Avenue; and

- c. Bay Ridge Parkway, a line 100 feet southeasterly of 5th Avenue, 85th Street, 5th Avenue, a line midway between 85th Street and 86th Street, and a line 100 feet northwesterly of 5th Avenue;
- 32. establishing within a proposed R5B District a C1-4 District bounded by** a line 100 feet northeasterly of Bay Ridge Avenue, a line 100 feet northwesterly of 3rd Avenue, a line 125 feet southwesterly of Bay Ridge Avenue, a line 75 feet southeasterly of Bay Ridge Place, Bay Ridge Avenue, and a line perpendicular to the southwesterly street line of 68th Street distant 355 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 68th Street and the southeasterly street line of Ridge Boulevard;
- 33. establishing within a proposed R6A District a C2-3 District bounded by** 89th Street, 4th Avenue, the southeasterly prolongation of the northeasterly street line of 95th Street, 5th Avenue, 94th Street, a line 100 feet southeasterly of 5th Avenue, 95th Street, 4th Avenue, 96th Street, and a line 100 feet northwesterly of 4th Avenue;
- 34. establishing within a proposed R6B District a C2-3 District bounded by:**
- a. 81st Street, a line 100 feet southeasterly of 3rd Avenue, 86th Street, a line 100 feet northwesterly of 3rd Avenue, 82nd Street, and 3rd Avenue; and
 - b. a line 100 feet southwesterly of 86th Street, a line 100 feet southeasterly of 5th Avenue, 94th Street, and 5th Avenue;

as shown on a diagram (for illustrative purposes only) dated January 6, 2005, and subject to the conditions of CEQR Declaration E-139.

(On January 19, 2005, Cal. No. 2, the Commission scheduled February 2, 2005 for a public hearing which has been duly advertised.)

Close the hearing.

No. 12

CD 10

N 050133 ZRK

PUBLIC HEARING:

IN THE MATTER OF an application submitted by the Department of City Planning pursuant to Section 201 of the New York City Charter, for amendments of the Zoning Resolution of the City of New York, relating to Article XI, Chapter 4 (Special Bay Ridge District), Borough of Brooklyn, Community District 10.

Matter Underlined is new, to be added;

Matter in ~~Strikeout~~ is old, to be deleted;

Matter within # # is defined in Section 12-10;

* * * indicate where unchanged text appears in the Zoning Resolution

11/2/78

Article XI - Special Purpose Districts

Chapter 4

Special Bay Ridge District

11/2/78

114-00

GENERAL PURPOSES

The "Special Bay Ridge District" established in this Resolution is designed to promote and protect the public health, safety and general welfare. These general goals include, among others, the following specific purposes:

- (a) to preserve, protect and maintain the existing scale and character of the residential and commercial community;
- (b) to encourage design of ~~new~~ residential, commercial and community facility development which is in character with the neighborhood and surrounding community; and
- (c) ~~to foster the development of apartment buildings which provide a superior urban design~~

relationship to the neighborhood;

- (d) ~~to provide amenities such as required open space, off-street parking, landscaping and street trees to enhance the character of the physical environment; and~~
- (e) to promote the most desirable use of land in the area and thus to conserve the value of land and buildings, and thereby to protect the City's tax revenues.

~~11/2/78~~

~~114-01~~
Definitions

~~Definitions specially applicable in this Chapter are set forth in this Section. The definitions of other defined words are as set forth in Section 12-10 (DEFINITIONS).~~

~~Center block line~~

~~A "center block line" is an imaginary line which bisects a #block#. Where the #streets# are parallel such line shall be parallel to the long dimension of the #block#. In the case of #streets# that are not parallel the #center block line# shall be the bisector of the angle formed by prolonging the long dimensions of the #block# to an intersection.~~

~~Development~~

~~For the purposes of this Chapter, a "development" includes construction of a new #building or other structure# on a #zoning lot# or an #enlargement#. To "develop" is to create a #development#.~~

~~Major street~~

~~For the purposes of this Chapter, a "major street" is any of the following: Shore Road, Ridge Boulevard, Third Avenue, Fourth Avenue, Fifth Avenue and 86th Street.~~

~~Minor street~~

~~For the purposes of this Chapter, a "minor street" is any #street# within the #Special Bay Ridge District# other than a #major street#.~~

Private open space

~~"Private open space" is recreation space which is either open to the sky or roofed but is not enclosed, and is accessible only to the occupants of one or a limited group of #dwelling units#.~~

Semi-private open space

~~"Semi-private open space" is recreation space which is either open to the sky or roofed but is not enclosed and which:~~

- ~~(a) — is accessible to all #residential# tenants and their agents, for whom no fees are charged;~~
- ~~(b) — is directly accessible from a lobby or other public area served by elevator which connects to the #residential# portion of the #building#;~~
- ~~(c) — is accessible to the handicapped and physically disabled in accordance with the provisions of Section 114-274 (Access); and~~
- ~~(d) — is, at a minimum, open from 8:00 a.m. to sunset.~~

~~#Semi-private open space# shall be #developed# and treated in accordance with the provisions of Section 114-28.~~

Special Bay Ridge District

~~(repeated from Section 12-10)~~

~~The "Special Bay Ridge District" is a Special Purpose District designated by the letters "BR" in which special regulations set forth in Article XI, Chapter 4 apply. The #Special Bay Ridge District# appears on the #zoning maps# superimposed on other districts and its regulations supplement or modify those of the districts on which it is superimposed.~~

Transparent surfaces

~~"Transparent surfaces" are glazed walls or openings which permit a view into an enclosed space.~~

~~11/2/78~~

114-02 114-01

General Provisions

In harmony with the general provisions and intent of this Resolution and the general purposes of the #Special Bay Ridge District#, the regulations of the districts upon which this Special District is superimposed are supplemented or modified in accordance with the provisions of this Chapter. The provisions of this Chapter shall apply to all #developments# and #enlargements#.

Except as modified by the provisions of this Chapter, the regulations of the underlying districts remain in effect.

~~11/2/78~~

~~114-03~~
~~District Plan~~

~~The District Plan for the #Special Bay Ridge District# (Appendix A) identifies specific areas comprising the Special District in which special zoning regulations are established in order to carry out the general purposes of the #Special Bay Ridge District#. These areas and the Sections of this Chapter containing regulations relating thereto are as follows:~~

- ~~———— Area A - Midblock Preservation Area, Section 114-09~~
- ~~———— Area B - AVENUE PRESERVATION AREA-1, Section 114-20~~
- ~~———— Area C - AVENUE PRESERVATION AREA-2, Section 114-30~~
- ~~———— Area D - AVENUE PRESERVATION AREA-3, Section 114-40~~
- ~~———— Area E - OTHER AREAS, Section 114-50~~

~~The elements of the District Plan as set forth in Appendix A are hereby incorporated as an integral part of the provisions of this Chapter.~~

NOTE: Most provisions of the Special Bay Ridge District are proposed for deletion. Those Sections that would be retained would be reorganized, renumbered and modified. Those sections are as follows:

<i>Section 114-05 (Street Planting Regulations)</i>	<i>Modified and renumbered 114-20</i>
<i>Section 114-101 (Floor area regulations)</i>	<i>Modified and renumbered 114-11</i>
<i>Section 114-102 (Height regulations)</i>	<i>Modified and renumbered 114-12</i>

The following Sections have been deleted and their section numbers re-utilized, as follows: 114-12, 114-20 and 114-21.

114-10
SPECIAL BULK REGULATIONS

In the #Special Bay Ridge District#, the maximum #floor area ratio# and height and setback regulations shall apply as modified in this Section, inclusive.

~~114-101~~ **114-11**
Special Floor Area Regulations

In the #Special Bay Ridge District#, the maximum #floor area ratio# for #residential# or any #community facility buildings# or any portion of a #building# containing a #community facility use# combination thereof within the Midblock Preservation Area shall not exceed 1.65 in R4A, R4-1, R4B and R5B Districts and 3.0 in C8-2 Districts.

~~114-102~~ **114-12**
Special Height and Setback Regulations

114-121
Special Rooftop Regulations

The provisions of Section 33-42 (Permitted Obstructions) shall apply to all #buildings or other structures# in R6A, R6B, R7A, R7B, C4-2A and C8-2 Districts in the #Special Bay Ridge District#, except the provisions of paragraph (d) of Section 33-42 shall not apply. In lieu thereof, the following regulations shall apply:

Elevator or stair bulkheads, roof water tanks, cooling towers or other mechanical equipment (including enclosures) may exceed a maximum height limit provided that either the product, in square feet, of the #aggregate width of street walls# of such obstructions facing each #street# frontage, times their average height, in feet, shall not exceed a figure equal to eight times the width, in feet, of the #street wall# of the #building# facing such frontage or, the #lot coverage# of all such obstructions does not exceed 20 percent of the #lot coverage# of the #building#, and the height of all such obstructions does not exceed 40 feet. In addition, dormers may penetrate a maximum base height in accordance with the provisions of paragraph (c) of Section 23-621 (Permitted obstructions in certain districts).

114-122
Maximum building height and setback

In the #Special Bay Ridge District#, the height and setback and the maximum #building# height regulations of the underlying districts have been modified as follows:

(a) In C8-2 Districts

In C8-2 Districts, the maximum height of a #building or other structure# shall be 70 feet. Any portion of a #building or other structure# that exceeds a height of 60 feet shall be set back with a depth of at least ten feet from a #wide street line# and at least 15 feet from a #narrow street line#.

(b) For Community Facilities in #Residential# Districts

In R3A, R3X, R3-2, R4A, R4-1, R4B and R5B Districts, the maximum height of a #building or other structure# containing #community facility uses# shall not exceed 32 feet.

The maximum height for all #developments# within the Midblock Preservation Area shall be 32 feet or three #stories#, whichever is less.

114-20**AVENUE PRESERVATION AREA-1 (Area B)
SPECIAL TREE PLANTING REGULATIONS**

The provisions of this Section shall apply to all #development# within the Avenue Preservation Area-1 (Area B) as such area is indicated on the District Plan (Appendix A).

114-05**Street Planting Regulations**

All #developments# within the #Special Bay Ridge District# shall provide and maintain trees of four three inch caliper, at the time of planting, along the entire length of the #street# frontage of the #zoning lot#. Such trees shall be provided at the rate of one tree for each 20 feet of frontage, be spaced 20 feet on center, be planted between the curb line and five feet from the curb line, and be in accordance with the requirements of the Department of Highways and the Department of Parks.

In any zoning district permitting #residences# in the #Special Bay Ridge District#, all #developments# and #enlargements# shall provide and maintain, along the entire #street# length of the #zoning lot#, one street tree for every 25 feet of #street# frontage of the #zoning lot#. Such trees shall be of at least three-inch caliper at the time of planting and shall be placed at approximately equal intervals, except where the Department of Parks and Recreation determines that such tree planting would not be feasible. All such trees shall be planted, maintained and replaced when necessary with the approval of and in accordance with the standards of the Department of Parks and Recreation.

-End of proposed Chapter-

Note: The following Sections are being deleted

H14-04

Zoning Lots Divided by District Boundaries

Whenever a #zoning lot# existing on November 2, 1978 is divided by an area boundary as indicated on the District Plan (Appendix A) and more than 50 percent of the #zoning lot# is within Area A, the entire #zoning lot# may be #developed# in accordance with the regulations of Area A provided that the distance between the Area A boundary and the nearest #side lot line# of the #zoning lot# does not exceed 10 feet.

6/30/89

H14-06

Curb-Cut Regulations

No curb cuts are permitted along any #major street# which is located within Area B, Area C or Area D, as such areas are indicated on the District Plan (Appendix A), except as provided herein.

Curb cuts are permitted on #minor streets#, provided that such curb cut is at least 55 feet from the nearest #street# intersection. However, no #zoning lot# may have more than one curb cut on any one #street# frontage, except as provided herein.

For any #zoning lot# having more than one #major street# frontage and having no #minor street# frontage, one curb cut along one of the #major street# frontages is permitted.

No curb cut for #residential# or #community facility use# shall have a width including splays in excess of 12 feet and the provisions of Section 25-631 (Location and width of curb cuts in certain districts) shall be inapplicable.

The City Planning Commission may by certification permit a curb cut along a #major street#, or permit more than one curb cut along a #minor street# frontage of a #zoning lot#, or permit a #residential# or #community facility use# to have a curb cut having a width in excess of 12 feet, provided the Commission, after referral of the application to the Department of Traffic for review and report, determines that such curb cut is necessary in order to gain safe access and egress from the property and that such curb cut will not unduly interfere with pedestrian or vehicular traffic.

~~11/2/78~~

~~**114-07**
Secondary Kitchens~~

~~No #development# shall provide more than one kitchen for each #dwelling unit# nor shall the plumbing or utility connections for such kitchens be provided within any #dwelling unit#.~~

~~11/2/78~~

~~**114-08**
Buffer at Area Boundaries~~

~~Any #development# on a #zoning lot# which is either divided by an Area boundary line or abuts an Area boundary line, as indicated on the District Plan (Appendix A), shall provide a buffer along such boundary line of at least 4 feet so that there is a minimum distance between #buildings# across such Area boundary line of 8 feet.~~

~~11/2/78~~

~~**114-09**
Midblock Preservation Area (Area A)~~

~~The provisions of this Section shall apply to all #developments# within the area designated as Area A on the District Plan (Appendix A).~~

~~11/2/78~~

~~**114-103**
Open space regulations~~

~~The minimum #open space ratio# for all #developments# within the Midblock Preservation Area shall be 27.0.~~

~~7/26/01~~

114-104
Density Regulations

The density requirements of Section 23-22 (Maximum Number of Dwelling Units or Rooming Units) applicable to #predominantly built-up areas# shall apply to all #developments# within the Midblock Preservation Area:

11/2/78

114-111
Front yards

All #developments# shall provide a #front yard#. The required depth of the #front yard# shall be determined by the application of the provisions of this Section based upon the average depth of the #front yards# of the two adjacent #zoning lots#; however, in no event may the #front yard# be less than 5 feet nor shall it be required to exceed 18 feet:

- (a) ~~Where one of the adjacent #zoning lots# is vacant, the #front yard# of the adjacent and #developed zoning lot# shall be the average #front yard# depth for the purposes of this Section.~~
- (b) ~~Where both adjacent #zoning lots# are vacant or where the average #front yard# depth is less than five feet, the #development# shall provide a #front yard# of at least five feet.~~
- (c) ~~Where the average #front yard# depth exceeds 5 feet and the aggregate width of the #street wall# of the #development# is 150 feet or less, the #front yard# of the #development# shall have a depth within three feet, plus or minus, of the average #front yard# depth.~~
- (d) ~~Where the average #front yard# depth exceeds 5 feet and the aggregate width of the #street wall# of the new #development# exceeds 150 feet, the #front yard# of the new #development# shall have a depth within 5 feet of the average #front yard# depth.~~

11/2/78

114-112
Rear yards

All #developments# shall provide a #rear yard# of a depth sufficient to provide a combined #front yard-rear yard# depth of at least 45 feet; however, in no case may the #rear yard# have a depth

less than 30 feet:

11/2/78

114-113
Side yards

A #side yard# is required for new #developments# only when an existing #building# on an adjacent #zoning lot# is located less than 8 feet from but not on the common #side lot line#. In no event shall the minimum distance between an existing #building# and new #building# across such common #side lot line# be less than 8 feet and in no event shall such required #side yard# be less than 4 feet. In all other cases, the underlying district regulations are applicable.

11/2/78

114-12
Through Lot Provisions

All #developments# within the Midblock Preservation Area (Area A) that are located on a #through lot# shall provide a #rear yard equivalent# as provided in Section 23-533, paragraph (a):

For #community facility buildings# or #residential buildings# that contain at least 4 #dwelling units#, the City Planning Commission may by special permit, after public notice and hearing, allow a modification in the requirements of this Section, provided the Commission finds that:

- (a) ~~the proposed siting of the #development# blends harmoniously with the existing character of the neighborhood;~~
- (b) ~~the proposed siting will not adversely impact light and air to surrounding properties;~~
- (c) ~~the modification is necessary in order to construct a #development# of superior design, layout and siting that might not otherwise be #developed#; and~~
- (d) ~~the #yards# created by the siting will provide useful #open space# in relation to the #use# or occupancy of the #development# and the #use# of such #yards# will not interfere with the enjoyment of adjacent #zoning lots#.~~

11/2/78

114-13
Limitation on Balconies

When unenclosed balconies are provided over a #front yard#, no portion of such balcony may be within five feet of the #front lot line#.

~~11/2/78~~

~~114-14~~
~~Parking Regulations~~

All new #residential developments# involving three #dwelling units# or less shall provide one enclosed #accessory# off-street parking space. The driveway providing access to such enclosed off-street parking space shall be perpendicular to the #street#. Further, such driveway may not be between 8 and 18 feet in length, as measured from the #street line# to the closest exterior wall of the enclosure. For #developments# containing three #dwelling units# or less, no parking is permitted in either the #side# or #rear yard#.

All #residential developments# involving 4 or more #dwelling units# or community facilities shall provide off-street parking in accordance with the underlying district regulations, except parking is not permitted in the #front yard#.

~~11/10/99~~

~~114-15~~
~~Special Permit for Development on Zoning Lots 40,000 Square Feet or Greater~~

For any #residential development# on a #zoning lot# 40,000 square feet or greater in a #Commercial District# within the Midblock Preservation Area (Area A), the City Planning Commission may permit up to the maximum #floor area ratio# of the underlying district to be applicable and may permit modification of all other #bulk# regulations, provided the #development# does not exceed sixty feet in height, and provided the Commission finds that:

- (a) ~~the proposed #development# blends harmoniously with the existing character of the neighborhood;~~
- (b) ~~the modification of #lot area# requirements will not result in a density of population in the #development# that will adversely affect the surrounding area;~~
- (c) ~~the proposed #development# will not adversely impact light and air to surrounding properties;~~
- (d) ~~such #bulk# modifications are necessary to construct a #development# of superior design, layout and siting than might otherwise be #developed#; and~~
- (e) ~~any curb cuts are located so as to minimize pedestrian and vehicular conflicts and~~

congestion.

The City Planning Commission may prescribe appropriate conditions and safeguards to minimize adverse effects on the character of the surrounding area.

Note: Section number 114-20 moved and re-titled "SPECIAL TREE PLANTING REGULATIONS"

~~11/2/78~~

~~114-21~~
Use Regulations

For all ~~#developments#~~ within an underlying ~~#Commercial District#~~, at least 50 percent of the portion of the ground floor within the ~~#primary building zone#~~ shall be occupied by ~~#commercial# or #community facility uses#~~. Such ~~#commercial# or #community facility use#~~ shall have a minimum depth of at least 25 feet.

All ~~#commercial uses#~~ shall be located only on the ground floor.

~~11/2/78~~

~~114-22~~
Bulk Regulations

~~11/2/78~~

~~114-221~~
Floor area regulations

For all ~~#developments#~~ within the Avenue Preservation Area-1 (Area B), the permitted ~~#floor area ratio#~~ for ~~#residential# or #community facility# or #commercial buildings#~~, where permitted by the underlying district regulations, shall not exceed 2.43. However, for a ~~#mixed building#~~ the maximum ~~#floor area ratio#~~ may be increased by .275 provided all such increased ~~#floor area#~~ is located on the ground floor and is occupied solely by ~~#commercial# or #community facility uses#~~.

~~7/26/01~~

~~114-222~~
Height and setback regulations

The maximum height for all #developments# within the Avenue Preservation Area-1 (Area B) shall be 48 feet or four #stories# excluding the #basement#, whichever is less.

~~11/2/78~~

~~**114-23**
Street Wall Regulations~~

~~11/2/78~~

~~**114-231**
Street walls~~

~~For all #developments#, the building wall along each frontage of the #zoning lot# shall be coincident with the #street line# for at least 65 percent of the length of such building wall except where balconies are provided in accordance with the provisions of Section C26-604.2(g) of the Administrative Code of the City of~~

~~Any building wall containing such balconies shall be, for at least 65 percent of its length, within five feet of the #street line#.~~

~~New York.~~

~~**114-232**
Street wall penetrations~~

~~No opening in a #street wall#, for the purpose of parking, is permitted along a #major street# frontage or along a #minor street# frontage within 55 feet of the intersection with the #street line# of a #major street#.~~

~~**114-233**
Street wall transparency~~

~~At least 25 percent of the area up to the height of the ceiling of the first #story# of the building wall which fronts upon a #major street# shall be a transparent surface.~~

~~11/2/78~~

~~**114-24**
Coverage - Open Space Regulations~~

~~For all #major street block# fronts within the Avenue Preservation Area-1 (Area B), there shall be a #primary building zone#, a #restricted building-open space zone# and a #required open space zone#. All #developments# on #zoning lots# which are located within these zones shall be #developed# in accordance with the regulations for each particular zone as established in this Section and the #open space# regulations of the underlying district shall not be applicable to such~~

~~#development#~~. For the purpose of this Section, the following definitions shall apply:

~~Primary building zone~~

The "primary building zone" is that portion of a ~~#block#~~ which is within 55 feet of a ~~#major street#~~. In addition, in the case where a ~~#block#~~ fronts upon a ~~#minor street#~~ which contains the boundary line between two areas as indicated on the District Plan (Appendix A), the ~~#primary building zone#~~ for such ~~#block#~~ shall also be that portion which is within 55 feet of such ~~#minor street#~~.

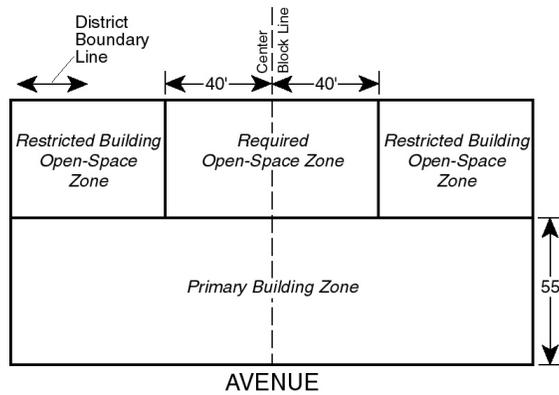
In the case of ground floor ~~#commercial uses#~~, the ~~#primary building zone#~~ for such commercial portion of ~~#development#~~ may extend up to 70 feet from the ~~#front lot line#~~ where such ~~#development#~~ is located on an ~~#interior lot#~~ which fronts upon a ~~#major street#~~ and which fronts upon a ~~#block#~~ frontage which is 230 feet or more in length.

~~Required open space zone~~

The "required open space zone" is that portion of a ~~#block#~~ not within the ~~#primary building zone#~~ and within 40 feet of the ~~#center block line#~~.

~~Restricted building-open space zone~~

The "restricted building-open space zone" is that portion of the ~~#block#~~ not within the ~~#primary building zone#~~ nor within the ~~#required open space zone#~~.



[DELETE DIAGRAM]

114-25**Development of Small Lots**

For ~~#zoning lots#~~ which have a ~~#major street#~~ frontage of 50 feet or less, all ~~#development#~~ shall occur within the ~~#primary building zone#~~. The remainder of the ~~#zoning lot#~~ shall be reserved for ~~#open space#~~.

~~11/2/78~~

114-26**Development of Large Lots**

For ~~#zoning lots#~~ which have a ~~#major street#~~ frontage which is in excess of 50 feet, the following regulations shall apply:

~~11/2/78~~

114-261**Primary building zone**

~~#Development#, in accordance with the provisions of this Chapter, is permitted within the #primary building zone#.~~

~~11/2/78~~

114-262**Required open space zone**

Within the ~~#required open space zone#~~ no ~~#development#~~ is permitted, and such zone shall be improved as ~~#semi-private open space#~~. However, the following regulations with regard to permitted obstructions within the ~~#required open space zone#~~ shall apply:

- (a) ~~enclosed #accessory group parking facility# provided the roof of such facility is not more than 10 feet above #curb level#;~~
- (b) ~~flagpoles, caves, kiosks, #accessory# sheds, breeze ways, and steps are permitted in accordance with the provisions of Section 23-44 (Permitted Obstructions in Required Yards or Rear Yard Equivalents) of this Resolution; and~~
- (c) ~~unenclosed #accessory group parking facilities#, enclosed #accessory group parking facilities# with roofs higher than 10 feet above #curb level#, driveways, service or~~

mechanical equipment, loading berths, exhaust vents, building trash storage facilities and unenclosed balconies are not permitted obstructions within the ~~#required open space zone#~~.

11/2/78

114-263

Restricted building-open space zone

~~#Development#~~ may occur within the ~~#restricted building-open space zone#~~, provided that for each square foot of ~~#lot area#~~ which is covered by such ~~#development#~~, an amount of ~~#private#~~ or ~~#semi-private open space#~~, as specified in this Section, is provided within the ~~#development#~~.

~~For each square foot of the #restricted building-open space zone# that is covered by the #development#, there shall be either one square foot of #semi-private open space# or two square feet of #private open space#. However, at least 50 percent of the #open space# to be provided shall be #semi-private open space#. Such #semi-private# or #private open space# may not be located on the ground level of any uncovered portion of #restricted building-open space zone#.~~

11/2/78

114-264

Development of lots in excess of 40,000 square feet or for certain corner lots

~~For any #development# on a #zoning lot# which has at least 40,000 square feet of #lot area# and which fronts upon more than one #major street#, or for #corner lots# which front upon two #major streets# which are both within the same area designation as indicated on the District Plan (Appendix A), the Commission may by special permit modify the locational requirements of the #primary building zone#, the #required open space zone# and the #restricted building-open space zone#, provided the Commission finds that:~~

- ~~(a) — at least 20 percent of the #zoning lot# is #developed# as the #required open space zone# and is located on the #zoning lot# so as to maximize the amount of sunlight on such #open space# and on adjacent properties;~~
- ~~(b) — 25 percent of the #zoning lot# is provided as the #restricted building-open space zone#;~~
- ~~(c) — in addition to complying with the applicable height limitation, the #development# relates to the character and scale of adjacent #development#; and~~
- ~~(d) — any curb cuts are located so as to minimize pedestrian and vehicular conflicts and/or congestion.~~

11/2/78

114-27

Required Open Space Zone Improvements

All #open space# within the #required open space zone# shall be accessible to all tenants of the #development# and shall be improved and/or treated in accordance with the provisions of this Section. The owner of the #building# shall be responsible for the maintenance of the #required open space zone# including litter control, security, maintenance of accessways and equipment and replacement of vegetation.

11/2/78

114-271

Landscaping/Surfacing

At least 50 percent of the #open space# shall either be landscaped with flowers, shrubs, trees, bushes or grass or covered with decorative paving materials. Combinations of landscaping materials and decorative paving are permitted. The remaining portion shall be surfaced with a durable material which may be non-decorative.

11/2/78

114-272

Trees and planting

There shall be at least one tree of a minimum of 4-inch caliper for each 1,000 square feet of required #open space#. Such trees shall be planted in at least 3.5 cubic feet of top soil to a depth of at least 3 feet, 6 inches.

In addition, 150 linear feet of plants, flowers or shrubbery shall be provided for each 1,000 square feet of required #open space#.

11/2/78

114-273

Recreation facilities

The #required open space zone# may be #developed# with active recreation facilities, provided that such facilities do not occupy more than 25 percent of such required #open space#.

11/2/78

114-274**Access**

The ~~#required open space zone#~~ and all required ~~#open space#~~ is to be accessible for the physically handicapped and shall contain at least one path of travel to:

- (a) ~~the major portion of such required #open space#;~~
- (b) ~~the building lobby from the required #open space#; and~~
- (c) ~~the adjacent sidewalks, if such access is provided at all.~~

Ramps shall be provided which have a minimum width of 36 inches and a slope not greater than 1:12, a non-skid surface and, for open edged ramps, a two-inch high safety curb. At each end of the ramp there shall be a level area of at least 5 feet in length.

11/2/78

114-28**Semi-Private Open Space**

All ~~#semi-private open space#~~ which is provided in order to satisfy the requirements of Section 114-263 (Restricted building open space zone) shall have a minimum area of 400 square feet, exclusive of accessways. At least 50 percent of the total area shall be landscaped with trees, flowers, shrubs or plants. Where trees are provided they shall be of 4 inch caliper and be planted in at least 3.5 cubic yards of top soil to a depth of at least 3 feet, 6 inches.

Remaining unlandscaped portions may be improved for either active or passive recreation. The area should contain a suitable amount of seating and the surface shall be appropriately treated for safe walking. ~~#Semi-private open space#~~ may be located on any roof of the ~~#development#~~.

Access for physically handicapped persons shall be provided in accordance with the provisions of Section 114-274 (Access).

Any mechanical equipment that is located either near or within the required ~~#semi-private open space#~~ shall be screened and/or buffered to reduce any noise or emissions therefrom. No intake or exhaust duct shall face directly into the area.

The building owner shall be responsible for the maintenance of the ~~#semi-private open space#~~ including litter control, security, maintenance of accessways and equipment and replacement of vegetation.

3/4/82

114-29
Parking Regulations

All ~~#developments#~~ shall provide off-street parking spaces in an amount equal to 50 percent of the number of ~~#dwelling units#~~ contained in the ~~#development#~~. However, for ~~#developments#~~ on ~~#interior lots#~~ which have a ~~#lot area#~~ of 5,000 square feet or less, no off-street parking spaces are required.

However, for ~~#developments#~~ on ~~#interior lots#~~ which have a ~~#lot area#~~ of 5,000 square feet or less as of November 2, 1978, no off-street parking spaces are required.

3/4/82

114-30
AVENUE PRESERVATION AREA-2 (Area C)

The provisions of this Section shall apply to all ~~#developments#~~ within the area designated as Area C on the District Plan (Appendix A). The regulations applicable to Area C shall be those that apply to Area B, as set forth in Sections 114-20 through 114-29, inclusive, except as provided in this Section.

However, the Commission may by authorization modify the regulations relating to parking requirements and ~~#open space#~~ requirements in Sections 114-20 through 114-29, inclusive, and may modify spacing between ~~#building#~~ requirements, provided that the following findings are made:

- (a) ~~that the #development# consists of #buildings# no more than three #stories# in height, on a #zoning lot# in excess of 40,000 square feet.~~
- (b) ~~that at least 20 percent of the #zoning lot# is #developed# as the #required open space zone#.~~
- (c) ~~that at least 25 percent of the #zoning lot# is provided as the #restricted building-open space zone#.~~
- (d) ~~that any curb cuts are located so as to minimize pedestrian and vehicular conflicts and/or congestion.~~

11/2/78

114-31
Height and Setback Regulations

The maximum height for any #development# within Area C shall be sixty feet or six #stories#, whichever is less.

When any portion of the #development# extends more than 55 feet from the #front lot line#, such portion of the #development# which is beyond 55 feet from the #front lot line# shall not exceed a height of 40 feet.

7/26/01

114-32
Use Restrictions

Except where the underlying district designation is C4-2, all #commercial uses# shall be limited to the ground floor.

11/2/78

114-40
AVENUE PRESERVATION AREA-3 (Area D)

The provisions of this Section shall apply to all #developments# within the area designated as Area D on the District Plan (Appendix A).

The regulations applicable to Area D shall be those that apply to Area B, as set forth in Sections 114-20 through 114-29, inclusive, except as provided in this Section.

11/2/78

114-41
Maximum Floor Area Ratio

The maximum #floor area ratio# for #residential# or #community facility buildings#, or where permitted by the underlying district regulations for #commercial buildings#, or for a #mixed building# containing any combination of such #uses#, shall be 2.75.

11/2/78

114-42
Height and Setback Regulations

The maximum height for any #development# within Area D shall be eighty feet or 8 #stories#, whichever is less. Above the height of sixty feet or six #stories# there shall be a setback of at least 10 feet from any #street line#.

When any portion of a #development# extends more than 55 feet from the #front lot line#, such portion of the #development# which is beyond 55 feet from the #front lot line# shall not exceed a height of 40 feet.

11/2/78

**H4-50
OTHER AREAS (Area E)**

The provisions of this Section shall apply to all #developments# within the area designated as Area E on the District Plan (Appendix A):

The regulations applicable to Area E are primarily those of the underlying district designations, except as those regulations are modified or changed by the provisions of Sections 114-00 through 114-08, inclusive, and by the provisions of this Section.

6/30/89

**H4-51
Height Limitations**

The following height limitations shall apply to all #developments# within Area E:

- (a) For #zoning lots# within the underlying district designation of R3-2, Section 23-631 (Height and setback in R1, R2, R3, R4 or R5 Districts) shall apply except that the maximum height for any #development# shall be 32 feet or three #stories#, whichever is less.
- (b) For #zoning lots# which have the underlying district designation of R7 the maximum height for any #development# shall be 80 feet or eight #stories#.
- (c) For #zoning lots# which have the underlying district designation of R6, the maximum height for any #development# shall be 60 feet or six #stories#.

11/2/78

**APPENDIX A
SPECIAL BAY RIDGE DISTRICT PLAN**

[MAP TO BE DELETED]

(On January 19, 2005, Cal. No. 3, the Commission scheduled February 2, 2005 for a public hearing which has been duly advertised.)

Close the hearing.

BOROUGH OF MANHATTAN

No. 13 and 14

PROJECT GREENHOPE

No. 13

CD 11

C 050072 HAM

PUBLIC HEARING:

IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development (HPD):

1. pursuant to Article 16 of the General Municipal Law of New York State for:
 - a) the designation of property located at 435-439 East 119th Street (Block 1807, Lots 15 and 16) as an Urban Development Action Area; and
 - b) an Urban Development Action Area Project for such area; and
2. pursuant to Section 197-c of the New York City Charter for the disposition of such property to a developer selected by HPD;

to facilitate development of a seven-story building tentatively known as Project Greenhope, an adult residential facility funded by the New York State Homeless Housing Assistance Program.

(On January 19, 2005, Cal. No. 4, the Commission scheduled February 2, 2005 for a public hearing which has been duly advertised.)

Close the hearing.

No. 14

CD 11

C 050073 ZSM

PUBLIC HEARING:

IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development pursuant to Sections 197-c and 201 of the New York City Charter **for the grant of a special permit pursuant to Section 74-902 of the Zoning Resolution to permit the allowable community facility floor area ratio of Section 24-11 (Maximum Floor Area and Percentage of Lot Coverage) to apply to a proposed approximately 36,225 square-foot, 7-story Non-Profit Institution with Sleeping Accommodations (U.G. 3A), on property located at 435-439 East 119th Street (Block 1807, Lots 15 and 16), in an R7-2 District.**

Plans for this proposal are on file with the City Planning Commission and may be seen in Room 3N, 22 Reade Street, New York, N.Y. 10007.

(On January 19, 2005, Cal. No. 5, the Commission scheduled February 2, 2005 for a public hearing which has been duly advertised.)

Close the hearing.

No. 15

713 PARK AVENUE

CD 8

C 050096 ZSM

PUBLIC HEARING:

IN THE MATTER OF an application submitted by 713 Group Inc. pursuant to Sections 197-c and 201 of the New York City Charter **for the grant of a special permit** pursuant to Section 74-711 of the Zoning Resolution **to modify the use regulations of Section 22-00 (GENERAL PROVISIONS) to allow office use (Use Group 6 uses) in the cellar and on the first through the fifth floors of an existing five-story building on property located at 713 Park Avenue (Block 1404, Lot 71) in R10 and R8B Districts, partially within the Special Park Improvement District (PI) and partially within a Limited Height District (LH - 1A), within the Upper East Side Historic District.**

Plans for this proposal are on file with the City Planning Commission and may be seen in Room

3N, 22 Reade Street, New York, NY, 10007.

(On January 19, 2005, Cal. No. 6, the Commission scheduled February 2, 2005 for a public hearing which has been duly advertised.)

Close the hearing.

BOROUGH OF QUEENS

No. 16

WARNERVILLE PUMPING STATION

CD 13

C 050017 PSQ

PUBLIC HEARING:

IN THE MATTER OF an application submitted by the Department of Environmental Protection and the Department of Citywide Administrative Services pursuant to Section 197-c of the New York City Charter for site selection of property located northwest of Brookville Boulevard and Broad Street (Block 14260, part of lot 1); Community District 13, Borough of Queens, for use as a pumping station.

(On January 19, 2005, Cal. No. 7, the Commission scheduled February 2, 2005 for a public hearing which has been duly advertised.)

Close the hearing.

No. 17

DOUGLASTON HILL HISTORIC DISTRICT

CD 11

N 050231 HKQ

PUBLIC HEARING:

IN THE MATTER OF a communication dated December 17, 2004 from the Executive Director of the Landmarks Preservation Commission regarding the Douglaston Hill Historic District, designated by the Landmarks Preservation Commission on December 14, 2004 (List No. 358 /

LP No. 2155). The district boundaries are:

properties bounded by a line beginning at northwest corner of 43rd Avenue and 243rd Street, extending northerly along the western curblineline of 243rd Street, then westerly along the northern property line of 242-19 43rd Avenue (aka 242-17 43rd Avenue and 42-40 243rd Street), then northerly along part of the eastern property line of 242-09 43rd Avenue, then westerly along the northern property lines 242-09, 242-03, 242-01, 240-51, and 240-45 43rd Avenue, then northerly along part of eastern property line of 240-35 43rd Avenue and the eastern property line of 240-42 42nd Avenue to the southern curblineline of 42nd Avenue, then westerly along said curblineline to the point formed by its intersection with a line extending southerly from the eastern property line of 240-01 42nd Avenue (aka 41-23 240th Street and 22 240th Street), then northerly across 42nd Avenue and along the eastern property line of 240-01 42nd Avenue, then easterly along part of the southern property line of 41-45 240th Street, then northerly along the eastern property line of 41-45 240th Street, then northerly across Depew Avenue to the northern curblineline of Depew Avenue, then easterly along the northern curblineline of Depew Avenue to a point in said curblineline formed by a line extending southerly from the eastern property line of 240-35 Depew Avenue (aka 240-33 Depew Avenue and 105 Depew Avenue), then northerly along the eastern property line of 240-35 Depew Avenue, then southwestward along the northwestern property lines of 240-35 and 240-27 Depew Avenue to the northeast corner of Depew Avenue and 40th Avenue, then southerly across Depew Avenue to the southeast corner of Depew Avenue and 40th Avenue, then southwestward along the southeastern curblineline of 40th Avenue to the southeast corner of 40th Avenue and 240th Street, then westerly across 240th Street to the southwest corner of 240th Street and the Long Island Railroad right-of-way, then southwestward along the northwest property lines of 41-10-- 41-14 and 41-18 240th Street (aka 35 and 33 240th Street, respectively), then southerly along the western property line of 41-18 240th Street, then easterly along the southern property line of 41-18 240th Street to the western curblineline of 240th Street, then easterly across 240th Street, then southerly along the eastern curblineline of 240th Street, across 42nd Avenue and continuing southerly along said curblineline to a point formed by its intersection with a line extending westerly from the southern property line of 42-25 240th Street (aka 8-240th Street), then easterly along part of the southern property line of 42-25 240th Street, then southerly along the western property line of 240-17 43rd Avenue (aka 240-15--240-17 43rd Avenue) to the northern curblineline of 43rd Avenue, then easterly along said curblineline to a point formed by its intersection with a line extending northerly from the western property line of 240-16 43rd Avenue (aka 240-14 - 240-16 43rd Avenue), then southerly across 43rd Avenue and along the western property line of 240-16 43rd Avenue, then easterly along the southern property lines of 240-16, 240-20--240-22, 240-34, 240-40, 240-44 43rd Avenue, and 240-48 43rd Avenue (aka 240-28--40-52 43rd Avenue and 43-02 242nd Street) to the western curblineline of 242nd Street, then northerly along said curblineline to the southwest corner of 242nd Street and 43rd Avenue, then northerly across 43rd Avenue to the northern curblineline of 43rd Avenue, then easterly along the northern curblineline of 43rd Avenue to the point of the beginning.

(On January 20 , 2005, the Commission duly advertised February 2, 2005 for a public hearing.)

BOROUGH OF STATEN ISLAND

No. 18

MARINER'S HARBOR PUBLIC LIBRARY

CD 1

C 040540 PCR

PUBLIC HEARING:

IN THE MATTER OF an application submitted by the New York Public Library and the Department of Citywide Administrative Services pursuant to Section 197-c of the New York City Charter for site selection and acquisition of property located at 206 South Avenue (Block 1266, Lot 64), for use as a public library.

(On January 19, 2005, Cal. No. 8, the Commission scheduled February 2, 2005 for a public hearing which has been duly advertised.)

Close the hearing.

III. REPORTS

BOROUGH OF BROOKLYN

No. 19

ANCHOR-BROADWAY

CD 4 and 16

C 050121 HAK

IN THE MATTER OF an application submitted by the Department of Housing Preservation and Development (HPD):

1. pursuant to Article 16 of the General Municipal Law of New York State for:
 - a) the designation of property located at 1536, 1538 and 1542 Broadway (Block 1492, Lots 15-17) and 1613, 1607 and 1599 Broadway (Block 3408 Lots 1-3) as an Urban Development Action Area; and
 - b) an Urban Development Action Area Project for such area; and
2. pursuant to Section 197-c of the New York City Charter for the disposition of 1536 and 1538 Broadway (Block 1492, Lots 15 and 16) and 1599 Broadway (Block 3408, Lot 3) to a developer selected by HPD;

to facilitate development of two sites for new retail development under HPD's ANCHOR (Alliance for Neighborhood Commerce, Homeownership and Revitalization) Program.

(On December 22, 2004, Cal. No. 1, the Commission scheduled January 5, 2005 for a public hearing. On January 5, 2005, Cal. No. 9, the hearing was closed.)

For consideration.

BOROUGH OF MANHATTAN

No. 20

541 BROADWAY

CD 1

C 040351 ZSM

IN THE MATTER OF an application submitted by NOH Realty Corp. pursuant to Sections 197-c and 201 of the New York City Charter **for the grant of a special permit** pursuant to Section 74-711 of the Zoning Resolution **to modify the use requirements of Section 42-14(D)(2)(b) to allow a retail use (Use Group 6 uses) on portion of the ground floor and cellar floor of an existing 5-story building located at 541 Broadway a.k.a 112 Mercer Street** (Block 498, Lot 18) in an M1-5B District within the SoHo Cast Iron Historic District.

Plans for this proposal are on file with the City Planning Commission and may be seen in Room 3N, 22 Reade Street, New York, N.Y. 10007.

(On December 22, 2004, Cal. No. 3, the Commission scheduled January 5, 2005 for a public hearing. On January 5, 2005, Cal. No. 11, the hearing was closed.)

For consideration.

BOROUGH OF QUEENS

Nos. 21 and 22

ROCKAWAY WATER POLLUTION CONTROL PLANT

No. 21

CD 14

C 030247 PCQ

IN THE MATTER OF an application submitted by the Department of Environmental Protection and the Department of Citywide Administrative Services pursuant to Section 197-c of the New York City Charter **for site selection and acquisition of property located at 311-315 Beach 104th Street** (Block 16160, Lots 10 and 20), and site selection of property (Block 16160, Lot 27) located at Rockaway Freeway and Beach 104th Street, for use as an administration building, parking facility, and electrical substation for an existing water pollution control plant.

(On December 22, 2004, Cal. No. 4, the Commission scheduled January 5, 2005 for a public hearing. On January 5, 2005, Cal. No. 12, the hearing was closed.)

For consideration.

No. 22

CD 14

C 030248 ZSQ

IN THE MATTER OF an application submitted by the Department of Environmental Protection pursuant to Sections 197-c and 201 of the New York City Charter for **the grant of a special permit** pursuant to Sections 74-31(f) and 74-733 of the Zoning Resolution **to allow the enlargement of an existing municipal sewage disposal plant on property generally bounded by Beach Channel Drive, Beach 104th Street, Rockaway Freeway and Beach 108th Street** (Block 16160, Lots 10, 20 and 27, Block 16161, Lot 53, and Block 16162, Lots 3 and 120), in R4 and M1-1 Districts.

Plans for this proposal are on file with the City Planning Commission and may be seen in Room 3N, 22 Reade Street, New York, N.Y. 10007.

(On December 22, 2004, Cal. No. 5, the Commission scheduled January 5, 2005 for a public hearing. On January 5, 2005, Cal. No. 13, the hearing was closed.)

For consideration.

No. 23

KEW GARDENS/RICHMOND HILL REZONING

CD 9

C 050153 ZMQ

IN THE MATTER OF an application submitted by the Department of City Planning pursuant to Sections 197-c and 201 of the New York City Charter **for an amendment of the Zoning Map, Section Nos. 14b and 14d:**

1. **eliminating from within an existing R3-1 District a C1-2 District bounded by:**
 - a. a line midway between Cuthbert Road and Beverly Road, a line

150 feet southeasterly of Lefferts Boulevard, Beverly Road, and a line perpendicular to the northeasterly street line of Beverly Road distant 115 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Beverly Road and the southeasterly street line of Lefferts Boulevard, and

- b. Myrtle Avenue, Jamaica Avenue, Lefferts Boulevard, a line 150 feet southeasterly of Jamaica Avenue, 116th Street, a line 200 feet southeasterly of Jamaica Avenue, 115th Street, a line 150 feet southeasterly of Jamaica Avenue, 113th Street and its northwesterly centerline prolongation, a line 150 feet northwesterly of Jamaica Avenue, 116th Street, a line 150 feet southeasterly of Myrtle Avenue, and 115th Street;

- 2. **eliminating from within an existing R3-1 District a C2-2 District bounded by** a line 100 feet northerly of Jamaica Avenue, 104th Street, a line 150 feet northwesterly of Jamaica Avenue, 113th Street and its northwesterly centerline prolongation, a line 150 feet southeasterly of Jamaica Avenue, 107th Street, 88th Avenue, a line 150 feet southwesterly of 107th Street, a line 100 feet southerly of Jamaica Avenue, and 102nd Street;

- 3. **eliminating from within an existing R4 District a C2-2 District bounded by:**

- a. Hillside Avenue, 136th Street, and Kew Gardens Road; and
- b. Hillside Avenue, a line perpendicular to the northeasterly street line of Metropolitan Avenue distant 400 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Metropolitan Avenue and the easterly street line of 131st Street, Metropolitan Avenue, Jamaica Avenue, a line 100 feet northeasterly of 134th Street, a line 150 feet southeasterly of Jamaica Avenue, 133rd Street, Jamaica Avenue, 132nd Street, Metropolitan Avenue, 131st Street, a line perpendicular to the southwesterly street line of 131st Street distant 150 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 131st Street and the southwesterly street line of Metropolitan Avenue, and 130th Street;

- 4. **eliminating from within an existing R5 District a C1-2 District bounded by:**

- a. Metropolitan Avenue, a line 250 feet southeasterly of Lefferts Boulevard, a line 100 feet southwesterly of Metropolitan Avenue, and Lefferts Boulevard;

- b. a line 150 feet northwesterly of Jamaica Avenue, a line 100 feet northeasterly of 127th Street, Jamaica Avenue, and 123rd Street;
 - c. 118th Street, Babbage Street, and a line perpendicular to the northeasterly street line of Babbage Street distant 100 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Babbage Street and the northeasterly street line of 117th Street; and
 - d. Bessemer Street, Hillside Avenue, Myrtle Avenue, 116th Street, a line perpendicular to the northeasterly street line of 116th Street distant 100 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 116th Street and the northeasterly street line of Myrtle Avenue, and a line 100 feet northeasterly of 116th Street,
- 5. eliminating from within an existing R5 District a C2-2 District bounded by:**
- a. Metropolitan Avenue, a line perpendicular to the southwesterly street line of Metropolitan Avenue distant 250 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of Metropolitan Avenue and the northeasterly street line of 124th Street; a line 100 feet southwesterly of Metropolitan Avenue, and 124th Street;
 - b. a line 150 feet northerly of Metropolitan Avenue, a line 150 feet northerly of Hillside Avenue, the southwesterly service road of the Van Wyck Expressway, Hillside Avenue, Metropolitan Avenue, and 129th Street; and
 - c. Hillside Avenue, a line midway between 120th Street and Lefferts Boulevard, a line 150 feet northwesterly of Jamaica Avenue, 123rd Street, Jamaica Avenue, Myrtle Avenue, Hillside Avenue, Babbage Street, and Lefferts Boulevard;
- 6. eliminating from within an existing R7-1 District a C1-2 District bounded by:**
- a. Austin Street, a line 275 feet southeasterly of Lefferts Boulevard, the centerline of the Long Island Rail Road right-of-way (Main Line), a line 150 feet southeasterly of Lefferts Boulevard, a line midway between Cuthbert Road and Beverly Road, a line perpendicular to the northeasterly street line of Beverly Road distant 115 feet southeasterly (as measured along the street line) from the point

of intersection of the northeasterly street line of Beverly Road and the southeasterly street line of Lefferts Boulevard, Beverly Road, a line 150 feet northwesterly of Lefferts Boulevard, a line 100 feet southwesterly of Grenfell Street, a line midway between Audley Street and 83rd Avenue, Grenfell Street, and a line 150 feet northwesterly of Lefferts Boulevard;

- b.** a line 150 feet northeasterly of Metropolitan Avenue, 83rd Avenue, a line 100 feet northeasterly of Metropolitan Avenue, a line 250 feet southeasterly of 83rd Avenue, Metropolitan Avenue, 118th Street, a line perpendicular to the southwesterly street line of 118th Street distant 200 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 118th Street and the southwesterly street line of Metropolitan Avenue, a line 150 feet southwesterly of 118th Street, a line 150 feet southwesterly of Metropolitan Avenue, and Audley Street; and
- c.** Metropolitan Avenue, Lefferts Boulevard, a line 100 feet southwesterly of Metropolitan Avenue, and a line 100 feet northwesterly of Lefferts Boulevard,

7. changing from an R5 District to an R2 District property bounded by:

- a.** Beverly Road, Lefferts Boulevard, a line 100 feet northeasterly of Metropolitan Avenue, a line 150 feet northwesterly of Lefferts Boulevard;
- b.** 84th Avenue, a line midway between 118th Street and Lefferts Boulevard, a line 200 feet southeasterly of 84th Avenue, and 118th Street;
- c.** 80th Road, a line 50 feet southwesterly of Kew Gardens Road, 81st Avenue, Kew Gardens Road, 82nd Avenue, and a line 100 feet southwesterly of Kew Gardens Road;
- d.** 82nd Avenue, a line 150 feet northeasterly of Kew Gardens Road, 82nd Road, and Kew Gardens Road;
- e.** a line midway between 117th Street and 118th Street, a line perpendicular to the northeasterly street line of 116th Street distant 150 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 116th Street and the northeasterly street line of Myrtle Avenue, and a line perpendicular to the northeasterly street line of Babbage Street distant 100 feet southeasterly (as measured along the street line) from the point of

- intersection of the northeasterly street line of Babbage Street and the northeasterly street line of 117th Street; and
- f. the southwesterly boundary line of the Long Island Rail Road right-of-way (Montauk Division), a line perpendicular to the northeasterly street line of 116th Street distant 150 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 116th Street and the northeasterly street line of Myrtle Avenue, and a line 100 feet northeasterly of 116th Street;
8. **changing from an R7-1 District to an R2 District property bounded by** Grenfell Street, Lefferts Boulevard, Beverly Road, a line 150 feet northwesterly of Lefferts Boulevard, a line 100 feet southwesterly of Grenfell Street, and Audley Street;
9. **changing from a C8-1 District to an R3-1 District property bounded by** a line 100 feet southeasterly of Jamaica Avenue, 102nd Street, a line 150 feet southeasterly of Jamaica Avenue, and a line 100 feet southwesterly of 102nd Street;
10. **changing from an R3-1 District to an R3X District property bounded by** Myrtle Avenue, a line midway between 115th Street and 116th Street, a line 100 feet northwesterly and northerly of Jamaica Avenue, a line 100 feet southwesterly of 104th Street, 85th Avenue, and 109th Street;
11. **changing from an R3-1 District to an R4 District property bounded by** 85th Road, a line 100 feet northeasterly of 102nd Street, 86th Road, a line 100 feet southwesterly of 104th Street, a line 100 feet northerly of Jamaica Avenue, 101st Street, a line perpendicular to the southwesterly street line of 101st Street distant 240 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 101st Street and the northwesterly street line of Jamaica Avenue, the northeasterly boundary line of the Long Island Rail Road right-of-way (Rockaway Beach Division), the southwesterly prolongation of the northwesterly street line of 85th Drive, and 101st Street;
12. **changing from an R2 District to an R4-1 District property bounded by** the southwesterly boundary line of the Long Island Rail Road right-of-way (Rockaway Beach Division), Audley Street and its northeasterly centerline prolongation, Grenfell Street, and 82nd Avenue;
13. **changing from an R3-1 District to an R4-1 District property bounded by** a line 100 feet southwesterly of Metropolitan Avenue, a line 100 feet southwesterly of 125th Street, a line midway between 122nd Street and 123rd Street, and a line 100 feet southeasterly of Brevoort Street;

- 14. changing from an R4 District to an R4-1 District property bounded by** a line perpendicular to the northeasterly street line of 131st Street distant 330 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 131st Street and the northwesterly street line of Jamaica Avenue, 132nd Street, a line 100 feet northwesterly of Jamaica Avenue, 131st Street, a line 150 feet northwesterly of Jamaica Avenue, the northeasterly boundary line of the Long Island Rail Road right-of-way (Main Line), a line 220 feet southeasterly of Hillside Avenue, a line 100 feet southwesterly of 130th Street, a line perpendicular to the southwesterly street line of 130th Street distant 370 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 130th Street and the northwesterly street line of Jamaica Avenue, and 130th Street;
- 15. changing from an R5 District to an R4-1 District property bounded by:**
- a.** Kew Gardens Road, a southeasterly boundary line of Maple Grove Cemetery and its southwesterly and northeasterly prolongations, 135th Street and its northwesterly centerline prolongation, a line 100 feet northerly of Hillside Avenue, 129th Street, a line perpendicular to the westerly street line of 129th Street distant 240 feet northerly (as measured along the street line) from the point of intersection of the westerly street line of 129th Street and the northeasterly street line of Metropolitan Avenue, a line midway between 127th Street and 129th Street, a line perpendicular to the easterly street line of 127th Street distant 210 feet northerly (as measured along the street line) from the point of intersection of the easterly street line of 127th Street and the northeasterly street line of Metropolitan Avenue, 127th Street, a line 100 feet northeasterly of Metropolitan Avenue, and 126th Street and its southerly centerline prolongation at Austin Street; and
 - b.** 85th Avenue, 124th Street, Hillside Avenue, 122nd Street, a line 100 feet northwesterly of Jamaica Avenue, Lefferts Boulevard, a line 100 feet northwesterly of Hillside Avenue, a line midway between 120th Street and Lefferts Boulevard, a line 220 feet northwesterly of Hillside Avenue, 120th Street, Hillside Avenue, and a line 100 feet southwesterly of 121st street;
- 16. changing from an R7-1 District to an R4-1 District property bounded by** Austin Street, a line 275 feet southeasterly of Lefferts Boulevard, the southwesterly boundary line of the Long Island Rail Road right-of-way (Main Line), the northeasterly centerline prolongation of Brevoort Street; Cuthbert Road, Lefferts Boulevard, Grenfell Street, Audley Street and its northeasterly centerline prolongation, the southwesterly boundary line of the Long Island

Rail Road right-of-way (Main Line), and 82nd Avenue;

17. changing from an M1-1 District to an R4-1 District property bounded by:

- a.** a line perpendicular to the southwesterly street line of 130th Street distant 370 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 130th Street and the northwesterly street line of Jamaica Avenue, a line 100 feet southwesterly of 130th Street, a line 220 feet southeasterly of Hillside Avenue, and the northeasterly boundary line of the Long Island Rail Road right-of-way (Main Line); and
- b.** a line 150 feet northwesterly of Jamaica Avenue, 131st Street, a line 125 feet northwesterly of Jamaica Avenue, and the northeasterly boundary line of the Long Island Rail Road right-of-way (Main Line);

18. changing from an R3-1 District to an R4A District property bounded by:

- a.** the southwesterly boundary line of the Long Island Rail Road right-of-way (Main Line), Metropolitan Avenue, Brevoort Street, a line midway between Abingdon Road and Metropolitan Avenue, a line perpendicular to the northeasterly street line of Abingdon Road distant 150 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Abingdon Road and the southeasterly street line of Lefferts Boulevard, Beverly Road, a line perpendicular to the northeasterly street line of Beverly Road distant 115 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Beverly Road and the southeasterly street line of Lefferts Boulevard, a line midway between Cuthbert Road and Beverly Road, a line perpendicular to the northeasterly street line of Beverly Road distant 270 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of Beverly Road and the northwesterly street line of Brevoort Street, Beverly Road, Brevoort Street;
- b.** a line 100 feet southwesterly of Metropolitan Avenue, a line 100 feet southeasterly of Brevoort Street, a line midway between 122nd Street and 123rd Street, 85th Avenue, a line 100 feet southwesterly of 121st Street, a line 250 feet northwesterly of 85th Avenue, a line midway between 120th Street and Lefferts Boulevard, a line 150 feet southeasterly of 84th Avenue, 120th Street, 84th Avenue, and a line perpendicular to and passing through a point on the first named

course distant 100 feet northwesterly (as measured along the first named course) of Brevoort Street; and

- c. Park Lane South, Myrtle Avenue, 109th Street, 85th Avenue, a line 100 feet southwesterly of 104th Street, 86th Road, a line 100 feet northeasterly of 102nd Street, 85th Road and its southwesterly centerline prolongation, and 101st Street (southwesterly portion);

19. changing from an R5 District to an R4A District property bounded by:

- a. the southwesterly service road of the Van Vyck Expressway, a line 100 feet northerly of Hillside Avenue, 135th Street, and the northeasterly prolongation of a southeasterly boundary line of Maple grove Cemetery;
- b. a line 100 feet southwesterly of Metropolitan Avenue, a line perpendicular to and passing through a point on the first name course distant 100 feet northwesterly (as measured along the first named course) of Brevoort Street, 84th Avenue, and a line 180 feet northwesterly of Brevoort Street; and
- c. 84th Avenue, 120th Street, a line 150 feet southeasterly of 84th Avenue, a line midway between 120th Street and Lefferts Boulevard, a line 250 feet northwesterly of 85th Avenue, and Lefferts Boulevard;

20. changing from a C8-1 District to an R4A District property bounded by a line 100 feet northeasterly of Metropolitan Avenue, 127th Street, Metropolitan Avenue, and the southwesterly boundary line of the Long Island Rail Road right-of-way (Main Line);

21. changing from an M1-1 District to an R5 District property bounded by:

- a. Metropolitan Avenue, the southerly centerline prolongation of 127th Street, the northeasterly boundary line of the Long Island Rail Road right-of-way (Main Line), a line 100 feet northwesterly of Jamaica Avenue, a line 100 feet northeasterly of 127th Street, the southwesterly boundary line of the Long Island Rail Road right-of-way (Main Line), Hillside Avenue, and 126th Street; and
- b. a line 100 feet southeasterly of Jamaica Avenue, a line midway between 129th Street and 130th Street, a line 300 feet southeasterly of 89th Avenue, 126th Street, 89th Avenue, 123rd Street, a line 480 feet southeasterly of Jamaica Avenue, and a line midway between 121st Street and 123rd Street;

22. **changing from an R4 District to an R6 District property bounded by** Hillside Avenue, Van Wyck Expressway, Jamaica Avenue, 132nd Street, a line perpendicular to the northeasterly street line of 131st Street distant 330 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 131st Street and the northwesterly street line of Jamaica Avenue, 130th Street, a line perpendicular to the southwesterly street line of 130th Street distant 370 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 130th Street and the northwesterly street line of Jamaica Avenue, a line 100 feet southwesterly of 130th Street, a line 100 feet southeasterly of Hillside Avenue, and 130th Street;
23. **changing from an R5 District to an R6 District property bounded by:**
- a. a line perpendicular to the easterly street line of 127th Street distant 210 feet northerly (as measured along the street line) from the point of intersection of the easterly street line of 127th Street and the northeasterly street line of Metropolitan Avenue, a line midway between 127th Street and 129th Street, a line perpendicular to the westerly street line of 129th Street distant 240 feet northerly (as measured along the street line) from the point of intersection of the westerly street line of 129th Street and the northeasterly street line of Metropolitan Avenue, 129th Street, a line 100 feet northeasterly of Metropolitan Avenue, and 127th Street;
 - b. a line 100 feet northeasterly of Metropolitan Avenue, a line 100 feet northerly of Hillside Avenue, Van Wyck Expressway, Hillside Avenue, Metropolitan Avenue, and 129th Street; and
 - c. Jamaica Avenue, the service road of the Van Wyck Expressway, 89th Avenue, a line 150 feet northeasterly of 134th Street, a line 100 feet northwesterly of 89th Avenue, and a line 100 feet northeasterly of 134th Street;
24. **changing from a C8-1 District to an R6 District property bounded by** a line 100 feet northeasterly of Metropolitan Avenue, 129th Street, Metropolitan Avenue, and 127th Street;
25. **changing from an M1-1 District to an R6 District property bounded by:**
- a. Metropolitan Avenue, Hillside Avenue, 130th Street, a line 100 feet southeasterly of Hillside Avenue, a line 100 feet southwesterly of 130th Street, a line perpendicular to the southwesterly street line of 130th Street distant 370 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street

line of 130th Street and the northwesterly street line of Jamaica Avenue, the northeasterly boundary line of the Long Island Rail Road right-of-way (Main Line), and the southerly centerline prolongation of 127th Street; and

- b. a line 100 feet northwesterly of Jamaica Avenue, 132nd Street, Jamaica Avenue, and 131st Street;

- 26. **changing from an R3-1 District to an R6A District property bounded by** a line 100 feet northerly and northwesterly of Jamaica Avenue, 117th Street, Myrtle Avenue, Jamaica Avenue, Lefferts Boulevard, a line 100 feet southeasterly and southerly of Jamaica Avenue, and 102nd Street;
- 27. **changing from an R5 District to an R6A District property bounded by** a line 100 feet northerly of Jamaica Avenue, a line 100 feet northeasterly of 127th Street, Jamaica Avenue, Myrtle Avenue, Hillside Avenue, and the northeasterly boundary line of the Long Island Rail Road right-of-way (Montauk Division);
- 28. **changing from an C8-1 District to an R6A District property bounded by** a line 100 feet northwesterly of Jamaica Avenue, 102nd Street, a line 100 feet southeasterly of Jamaica Avenue, a line 100 feet southwesterly of 102nd Street, Jamaica Avenue, and 101st Street;
- 29. **changing from an M1-1 District to an R6A District property bounded by:**
 - a. a line 100 feet northwesterly of Jamaica Avenue, the northeasterly boundary line of the Long Island Rail Road right-of-way (Main Line), Jamaica Avenue, a line midway between 129th Street and 130th Street, a line 100 feet southeasterly of Jamaica Avenue, 121st Street, Jamaica Avenue, and a line 100 feet northeasterly of 127th Street;
 - b. Jamaica Avenue, the northeasterly boundary line of the Long Island Rail Road right-of-way (Montauk Division), a line 100 feet southeasterly of Jamaica Avenue, and Lefferts Boulevard; and
 - c. Park Lane South, 101st Street (southwesterly portion), 85th Road, 101st Street, the southwesterly prolongation of the northwesterly street line of 85th Drive, and the northeasterly boundary line of the Long Island Rail Road right-of-way (Rockaway Beach Division);
- 30. **changing from an R2 District to an R6B District property bounded by:**

- a. 85th Avenue, 118th Street, a line perpendicular to the northeasterly street line of Babbage Street distant 100 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Babbage Street and the northeasterly street line of 117th Street, and a line midway between 117th Street and 118th Street; and
- b. a line perpendicular to the northeasterly street line of 116th Street distant 150 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 116th Street and the northeasterly street line of Myrtle Avenue, a line 100 feet northeasterly of 116th Street, a line perpendicular to the northeasterly street line of 116th Street distant 100 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 116th Street and the northeasterly street line of Myrtle Avenue, and 116th Street;

31. changing from an R3-1 District to an R6B District property bounded by:

- a. a line 250 feet northwesterly of 85th Avenue, a line 100 feet southwesterly of 121st Street, 85th Avenue, and a line midway between 120th Street and Lefferts Boulevard; and
- b. Myrtle Avenue, 117th Street, a line 100 feet northwesterly of Jamaica Avenue, and a line midway between 115th Street and 116th Street;

32. changing from an R5 District to an R6B District property bounded by:

- a. Beverly Road, a line perpendicular to the northeasterly street line of Abingdon Road distant 150 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Abingdon Road and the southeasterly street line of Lefferts Boulevard, a line midway between Abingdon Road and Metropolitan Avenue, Brevoort Street, Metropolitan Avenue, 85th Avenue, a line 100 feet southwesterly of 125th Street, a line 100 feet southwesterly of Metropolitan Avenue, a line 180 feet northwesterly of Brevoort Street, 84th Avenue, and Lefferts Boulevard; and
- b. 84th Avenue, Lefferts Boulevard, a line 250 feet northwesterly of 85th Avenue, a line midway between 120th Street and Lefferts Boulevard, 85th Avenue, a line 100 feet southwesterly of 121st Street, Hillside Avenue, 120th Street, a line 220 feet northwesterly of Hillside Avenue, a line midway between 120th Street and Lefferts Boulevard, a line 100 feet northwesterly of Hillside Avenue,

Lefferts Boulevard, a line 100 feet northwesterly of Jamaica Avenue, the northeasterly boundary line of the Long Island Rail Road right-of-way (Montauk Division), Hillside Avenue, Myrtle Avenue, 116th Street, a line perpendicular to the northeasterly street line of 116th Street distant 100 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 116th Street and the northeasterly street line of Myrtle Avenue, a line 100 feet northeasterly of 116th Street, a line perpendicular to the northeasterly street line of 116th Street distant 150 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 116th Street and the northeasterly street line of Myrtle Avenue, a line midway between 117th Street and 118th Street, a line perpendicular to the northeasterly street line of Babbage Street distant 100 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Babbage Street and the northeasterly street line of 117th Street, 118th Street, a line 200 feet southeasterly of 84th Avenue, and a line midway between 118th Street and Lefferts Boulevard;

- 33. changing from an R7-1 District to an R6B District property bounded by** Cuthbert Road, Brevoort Street, Beverly Road, a line perpendicular to the northeasterly street line of Beverly Road distant 210 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of Beverly Road and the northwesterly street line of Brevoort Street, a line midway between Cuthbert Road and Beverly Road, a line perpendicular to the northeasterly street line of Beverly Road distant 115 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Beverly Road and the southeasterly street line of Lefferts Boulevard, Beverly Road, and Lefferts Boulevard;
- 34. changing from an R7-1 District to an R7A District property bounded by:**
- a.** Talbot Street and its northwesterly centerline prolongation, 125th Street and its southerly centerline prolongation, the southwesterly boundary line of the Long Island Rail Road right-of-way (Main Line), a line 275 feet southeasterly of Lefferts Boulevard, Austin Street, Mowbray Drive, a line 100 feet northeasterly of Austin Street, and a line midway between Mowbray Drive and Lefferts Boulevard; and
 - b.** a line 100 feet northeasterly of Metropolitan Avenue, Audley Street, a line 150 feet northeasterly of Metropolitan Avenue, 83rd Avenue, a line 100 feet northeasterly of Metropolitan Avenue, Lefferts Boulevard, 84th Avenue, a line midway between 115th Street and

116th Street, a line perpendicular the southwesterly street line of 116th Street distant 230 feet northwesterly (as measured along the street line) from the point of intersection of the southwesterly street line of 116th Street and the northwesterly street line of 84th Avenue, 116th Street, a line 120 feet northerly of Grosvenor Road, and Park Lane South;

- 35. changing from an R5 District to a C4-4 District property bounded by:**
- a. Kew Gardens Road, 81st Avenue, a line 50 feet southwesterly of Kew Gardens Road, and 80th Road; and
 - b. a line 150 feet southwesterly of Queens Boulevard, a line 150 feet northeasterly of Kew Gardens Road, 82nd Avenue, Kew Gardens Road, and a line perpendicular the northeasterly street line of Kew Gardens Road distant 350 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Kew Gardens Road and the southeasterly street line of 80th Road;
- 36. changing from an R3-1 District to a C8-1 District property bounded by** a line 240 feet northwesterly of Jamaica Avenue, 101st Street, a line 100 feet northwesterly of Jamaica Avenue, and the northeasterly boundary line of the Long Island Rail Road right-of-way (Rockaway Beach Division);
- 37. establishing within a proposed R2 District a C1-3 District bounded by** Grenfell Street, Lefferts Boulevard, a line 100 feet northeasterly of Metropolitan Avenue, a line 100 feet northwesterly of Lefferts Boulevard, a line 100 feet southwesterly of Grenfell Street, and a line midway between Audley Street and 83rd Avenue;
- 38. establishing within a proposed R4-1 District a C1-3 District bounded by** Austin Street, a line 275 feet southeasterly of Lefferts Boulevard, the northeasterly boundary line of the Long Island Rail Road right-of-way (Mail Line), a line 100 feet southeasterly of Lefferts Boulevard, Cuthbert Road, Lefferts Boulevard, Grenfell Street, and a line 150 feet northwesterly of Lefferts Boulevard;
- 39. establishing within a proposed R5 District a C1-3 District bounded** Metropolitan Avenue, the southwesterly boundary line of the Long Island Rail Road right-of-way (Mail Line), Hillside Avenue, and 126th Street;
- 40. establishing within a proposed R6B District a C1-3 District bounded by:**
- a. Cuthbert Road, a line perpendicular to the northeasterly street line

of Beverly Road distant 115 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Beverly Road and the southeasterly street line of Lefferts Boulevard, Beverly Road, and Lefferts Boulevard;

- b. a line midway between Abingdon Road and Metropolitan Avenue, a line perpendicular to the northeasterly street line of Abingdon Road distant 125 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Abingdon Road and the southeasterly street line of Lefferts Boulevard, Metropolitan Avenue, a line 250 feet southeasterly of Lefferts Boulevard, a line 100 feet southwesterly of Metropolitan Avenue, and Lefferts Boulevard; and
- c. Metropolitan Avenue, a line perpendicular to the southwesterly street line of Metropolitan Avenue distant 250 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of Metropolitan Avenue and the northeasterly street line of 124th Street; a line 100 feet southwesterly of Metropolitan Avenue, and 124th Street;

41. establishing within a proposed R7A District a C1-3 District bounded by:

- a. a line 150 feet northeasterly of Metropolitan Avenue, 83rd Avenue, a line 100 feet northeasterly of Metropolitan Avenue, a line 250 feet southeasterly of 83rd Avenue, Metropolitan Avenue, 118th Street, a line perpendicular to the southwesterly street line of 118th Street distant 200 feet southeasterly (as measured along the street line) from the point of intersection of the southwesterly street line of 118th Street and the southwesterly street line of Metropolitan Avenue, a line 200 feet southwesterly of 118th Street, a line 100 feet southwesterly of Metropolitan Avenue, 116th Street, and Audley Street; and
- b. a line 100 feet northeasterly of Metropolitan Avenue, Lefferts Boulevard, a line 100 feet southwesterly of Metropolitan Avenue, and a line 150 feet northwesterly of Lefferts Boulevard;

42. establishing within an existing R4 District a C2-3 District bounded by Jamaica Avenue, a line 100 feet northeasterly of 134th Street, a line 150 feet southeasterly of Jamaica Avenue, and 133rd Street;

43. establishing within a proposed R5 District a C2-3 District bounded by the northeasterly boundary line of the Long Island Rail Road right-of-way (Main Line), a line 100 feet northwesterly of Jamaica Avenue, and a line 100 feet

northeasterly of 127th Street;

- 44. establishing within a proposed R6 District a C2-3 District bounded** a line 100 feet northeasterly of Metropolitan Avenue, a line 100 feet northerly of Hillside Avenue, the southwesterly service road of the Van Wyck Expressway, Hillside Avenue, 136th Street, Kew Gardens Road, Hillside Avenue, a line perpendicular to the northeasterly street line of Metropolitan Avenue distant 300 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Metropolitan Avenue and the easterly street line of 131st Street, Metropolitan Avenue, a line 150 feet northwesterly of Van Wyck Expressway, Kew Gardens Road, the southwesterly service road of the Van Wyck Expressway, 89th Avenue, a line 150 feet northeasterly of 134th Street, a line 100 feet northwesterly of 89th Avenue, a line 100 feet northeasterly of 134th Street, Jamaica Avenue, 131st Street, a line 100 feet northwesterly of Jamaica Avenue, 132nd Street, Metropolitan Avenue, 131st Street, a line perpendicular to the northeasterly street line of 131st Street distant 330 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 131st Street and the northwesterly street line of Jamaica Avenue, 130th Street, a line 100 feet southeasterly of Hillside Avenue, the northeasterly boundary line of the Long Island Rail Road right-of-way (Main Line), Hillside Avenue, Metropolitan Avenue, and 127th Street;
- 45. establishing within a proposed R6A District a C2-3 District bounded by** the northeasterly boundary line of the Long Island Rail Road right-of-way (Main Line), Jamaica Avenue, a line 100 feet northeasterly of 127th Street, and a line 100 feet northwesterly of Jamaica Avenue;
- 46. establishing within a existing R3-1 District a C2-4 District bounded by:**
- a.** a line 100 feet southeasterly of Jamaica Avenue, Lefferts Boulevard, a line 150 feet southeasterly of Jamaica Avenue, and 118th Street; and
 - b.** a line 100 feet southeasterly of Jamaica Avenue, 116th Street, a line 200 feet southeasterly of Jamaica Avenue, and 115th Street;
- 47. establishing within a proposed R3X District a C2-4 District bounded by** Myrtle Avenue, a line midway between 115th Street and 116th Street, a line 100 feet southerly of Myrtle Avenue, and 115th Street;
- 48. establishing within a proposed R4-1 District a C2-4 District bounded by** Hillside Avenue, a line midway between 120th Street and Lefferts Boulevard, a line 100 feet northwesterly of Jamaica Avenue, and Lefferts Boulevard;

- 49. establishing within a proposed R6A District a C2-4 District bounded by** a line 100 feet northerly and northwesterly of Jamaica Avenue, 117th Street, Hillside Avenue, the northeasterly boundary line of the Long Island Rail Road right-of-way (Montauk Division), a line 100 feet northwesterly of Jamaica Avenue, a line 100 feet northeasterly of 127th Street, Jamaica Avenue, 129th Street, a line 100 feet southeasterly of Jamaica Avenue, 121st Street, Jamaica Avenue, the northeasterly boundary line of the Long Island Rail Road right-of-way (Montauk Division), a line 100 feet southeasterly and southerly of Jamaica Avenue, a line 100 feet southwesterly of 102nd Street, Jamaica Avenue, and 101st Street; and
- 50. establishing within a proposed R6B District a C2-4 District bounded by:**
- a.** 118th Street, Babbage Street, a line midway between 117th Street and 118th Street, and a line perpendicular to the northeasterly street line of Babbage Street distant 100 feet southeasterly (as measured along the street line) from the point of intersection of the northeasterly street line of Babbage Street and the northeasterly street line of 117th Street; and
 - b.** Bessemer Street, Hillside Avenue, 117th Street, a line 100 feet northwesterly of Jamaica Avenue, a line midway between 115th Street and 116th Street, Myrtle Avenue, 116th Street, and a line perpendicular to the northeasterly street line of 116th Street distant 150 feet northwesterly (as measured along the street line) from the point of intersection of the northeasterly street line of 116th Street and the northeasterly street line of Myrtle Avenue;

as shown on a diagram (for illustrative purposes only) dated November 1, 2004, and subject to the conditions of CEQR Declaration E-140 .

(On December 22, 2004, Supplemental Cal. No. 1, the Commission scheduled January 5, 2005 for a public hearing. On January 5, 2005, Cal. No. 15, the hearing was closed.)

For consideration.

BOROUGH OF STATEN ISLAND

No. 24

LEMON CREEK SEWER EASEMENTS

CD 3

C 050029 PCR

IN THE MATTER OF an application submitted by the Department of Environmental Protection and the Department of Citywide Administrative Services pursuant to Section 197-c of the New York City Charter for site selection and acquisition of : sewer easements located at Seguine Avenue between Mc Gregor and Knox streets (Block 6712, parts of lots 122 and 125), Oswald Place between Elizabeth and Seguine avenues (Block 6712, part of lot 84), Hanover Avenue, Inez Street and Hylan Boulevard (Block 6700, parts of lots 41 and 42; Block 6705, part of lot 88); and the bed of Trenton Court between Direnzo Court and Hanover Avenue, to facilitate the construction of sanitary and storm sewers.

(On December 22, 2004, Cal. No. 7, the Commission scheduled January 5, 2005 for a public hearing. On January 5, 2005, Cal. No. 16, the hearing was closed.)

For consideration.

No. 25

SWEET BROOK BLUE BELT

CD 3

C 050067 PCR

IN THE MATTER OF an application submitted by the Department of Environmental Protection and the Department of Citywide Administrative Services pursuant to Section 197-c of the New York City Charter for site selection and acquisition of properties generally bounded by Annadale Road, Grantwood and Wolcott avenues, and Drumgoole Road East (Block 5658, Lots 1, 14, 60, 101, and 105); the bed of Orchard Street from Grantwood Avenue to Filer Street; and the bed of Filer Street from Grantwood Avenue to Wolcott Avenue, for the storage and conveyance of storm water.

On December 22, 2004, Cal. No. 8, the Commission scheduled January 5, 2005 for a public hearing. On January 5, 2005, Cal. No. 17, the hearing was closed.)

For consideration.

**IV. CITY PLANNING COMMISSION 2005 SCHEDULE OF MEETINGS
January 1 to June 30**

	SUN	MON	TUE	WED	THU	FRI	SAT	Notes
JANUARY	2	3 REVIEW SESSION	4	5 CPC PUBLIC MEETING	6	7	8 NEW YEAR'S DAY	*Review Session will be held on <u>Tuesday</u> , January 18 th
	9	10	11	12	13	14	15	
	16	17 MARTIN LUTHER KING, JR. DAY	* 18 REVIEW SESSION	19 CPC PUBLIC MEETING	20	21	22	
	23	24	25	26	27	28	29	
	30	31 REVIEW SESSION						
FEBRUARY			1	2 CPC PUBLIC MEETING	3	4	5	
	6	7	8	9	10	11	12 LINCOLN'S BIRTHDAY	
	13	14 REVIEW SESSION	15	16 CPC PUBLIC MEETING	17	18	19	
	20	21 PRESIDENTS' DAY	22	23	24	25	26	
	27	28 REVIEW SESSION						
MARCH			1	2 CPC PUBLIC MEETING	3	4	5	
	6	7	8	9	10	11	12	
	13	14 REVIEW SESSION	15	16 CPC PUBLIC MEETING	17	18	19	
	20	21	22	23	24 ST. PATRICK'S DAY	25	26	
	27	28 REVIEW SESSION	29	30 CPC PUBLIC MEETING	31			
APRIL						1	2	
	3	4	5	6	7	8	9	
	10	11 REVIEW SESSION	12	13 CPC PUBLIC MEETING	14	15	16	
	17	18	19	20	21	22	23	
	24	25 REVIEW SESSION	26	27 CPC PUBLIC MEETING	28	29	30	
MAY	1	2	3	4	5	6	7	
	8	9 REVIEW SESSION	10	11 CPC PUBLIC MEETING	12	13	14	
	15	16	17	18	19	20	21	
	22	23 REVIEW SESSION	24	25 CPC PUBLIC MEETING	26	27	28	
	29	30 MEMORIAL DAY OBSERVED	31					
JUNE				1	2	3	4	
	5	6 REVIEW SESSION	7	8 CPC PUBLIC MEETING	9	10	11	
	12	13	14	15	16	17	18	
	19	20 REVIEW SESSION	21	22 CPC PUBLIC MEETING	23	24	25	
	26	27	28	29	30			

Review Sessions are held in Spector Hall at 22 Reade Street starting at 1:00 P.M.
Public Meetings are held in Spector Hall at 22 Reade Street starting at 10:00 A.M.

