

# Axonometric Diagram Guidelines Version 1.3

## Purpose

The purpose of this document is to outline minimum requirements for completing an attachment to a land use application, while allowing for flexibility and professional judgment. The Axonometric Diagram drawing is an application component required of some land use applications for Special Permits, Authorizations and Certifications detailed in the New York City Zoning Resolution. The drawing depicts a building's height and massing, as well as any deviations from compliance with the requirements of the Zoning Resolution. In addition, the drawing demonstrates the relationship between the building envelope allowed under zoning and the applicant's proposed project.

## When to Use

The Axonometric Diagram is required for specific Special Permit, Authorization and Certification actions listed in the New York City Zoning Resolution that require waivers related to bulk requirements. Applicants for specific land use actions will be informed of all required drawings for their particular application at the Interdivisional Meeting.

## Exceptions and Modifications

These guidelines provide general guidance only. Depending on the specifics of the project, the DCP Project Team may require drawings and information in addition to or different from those described in the guidelines. At the Interdivisional Meeting, the DCP Project Team will discuss whether and to what extent preparation of the application requires exceptions to or modifications of these guidelines, in order to take into account site or project features.

## Overview

The Axonometric Diagram drawing is a depiction of the proposed bulk, together with the existing envelope allowed for a particular proposed building. The diagram is a three-dimensional drawing containing a vertical axis and two flanking axes, which do not converge. Axonometric drawings should clearly illustrate the length, width, depth, and height of proposed bulk in a single drawing. It should be clearly labeled to indicate allowed and proposed heights. Areas indicating where a bulk waiver is requested will be illustrated with shading.

This diagram may be combined on the same sheet as sections to illustrate proposed bulk waivers. There may also be specific site conditions that need further description, for which the DCP team will provide guidance on at the Interdivisional Meeting. Be cognizant that these drawings will be viewed by both technical experts and the general public, so clarity and accuracy in proportion and scale are important. Dimensions may be shown as (a) feet and percent of feet, otherwise known as decimal feet or (b) feet and inches. For example, a dimension may be either 5' 3" or 5.25".

## Axonometric Details

**Table A. Format Requirements**

Number	Format Requirements
1	<p><b>Scale &amp; Dimensions</b></p> <ul style="list-style-type: none"> <li>Scale should be appropriate to the size of the development site and the content of the drawing, but no less than a minimum scale of 1/8" = 1'.</li> <li>Dimensions may be shown as (a) feet and percent of feet, otherwise known as decimal feet or (b) feet and inches. For example, a dimension may be either 5' 3" or 5.25". You may choose to show dimensions either way, but your choice should be consistent across all documents.</li> </ul>
2	<p><b>Page Size &amp; Shading</b></p> <ul style="list-style-type: none"> <li>Minimum page size of 11" x 17" – Maximum size of 36" x 48".</li> <li>Drawing size should be consistent with all the other large format drawings in the set.</li> <li>Space should also be left on the drawing for the approval label (4" x 3.25").</li> </ul>
3	<p><b>Shading, Color and Hatching</b></p> <p>DCP will accept drawings and documents in color, so long as the drawing remains legible (Note: D.O.B.'s BSCAN requires documents and diagrams to be legible and in B/W when scanned).</p> <ul style="list-style-type: none"> <li>Applicants may use color, patterns and/or line types as long as each is clearly defined.</li> </ul>
4	<p><b>Legend, Scale and Title Block</b></p> <ul style="list-style-type: none"> <li>Graphic Scale.</li> <li>Legend.</li> <li>North Arrow.</li> <li>Title block with the following content: <ul style="list-style-type: none"> <li>Location Information (Borough, Block, Lot).</li> <li>Primary firm preparing the drawing clearly identified.</li> <li>Room for sign &amp; seal (should not block other relevant information).</li> <li>Drawing name (should be specific and reference purpose/focus of drawing).</li> <li>Drawing sheet number.</li> <li>Drawing created date.</li> <li>Last revised date (and clearly marked as such).</li> <li>Project name/identifier (address, project name, ULURP #, etc).</li> <li>If applying for multiple land use actions, clearly distinguish among each application and note content related to each action.</li> <li>Drawing notes.</li> </ul> </li> </ul>

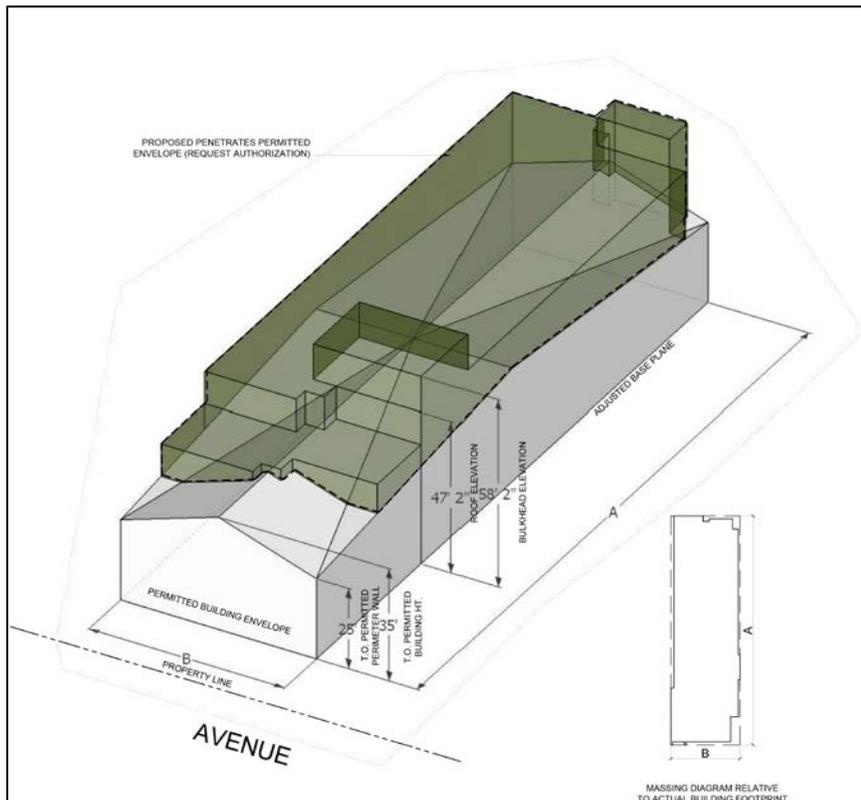
Number	Format Requirements
5	<p><b>Drawing Certification Note</b></p> <ul style="list-style-type: none"> <li>The following note should be included OUTSIDE of the title block: “Applicant’s stamp and seal corresponds to the information regarding the development site, zoning lot, and related curb cuts. Information regarding the surrounding properties is for illustrative purposes only.”</li> </ul>
6	<p><b>Existing vs. Proposed Buildings</b> <i>(or enlargement of existing buildings)</i></p> <ul style="list-style-type: none"> <li>Distinguish between existing buildings and proposed buildings with hatching or labels.</li> <li>For enlargements, differentiate between existing and proposed floor area.</li> </ul>
7	<p><b>Key Plan and Section Lines</b></p> <ul style="list-style-type: none"> <li>Include a key plan with each axonometric drawing showing the massing diagram relative to the actual 2D building footprint and development site.</li> <li>Indicate: <ul style="list-style-type: none"> <li>Zoning lot lines.</li> <li>Tax lots.</li> <li>Sheet cut lines.</li> <li>Building outline(s).</li> <li>Public open space.</li> </ul> </li> </ul>

**Table B. Content Requirements**

Number	Content Requirements
1	<p><b>3D Bulk Envelope</b></p> <ul style="list-style-type: none"> <li>Show, with either: <ul style="list-style-type: none"> <li>Sky exposure plane (include notation on maximum slope); or</li> <li>Contextual maximum building heights (base heights, maximum building height, perimeter walls)</li> </ul> </li> <li>Differentiate between allowed building envelope and the applicant’s proposal using hatching.</li> </ul>
2	<p><b>Streets, Highways, Railroads, Waterways</b></p> <ul style="list-style-type: none"> <li>Label.</li> <li>Show street line in front of development site</li> <li>Use official names (ie. E 3<sup>rd</sup> Street, instead of 3<sup>rd</sup> Street). Generally known abbreviations are acceptable (Ave, St, etc.).</li> </ul>
3	<p><b>Sidewalks and/or Curb Lines</b> Show sidewalk boundaries.</p>

Number	Content Requirements
4	<p><b>Height Dimensions</b></p> <ul style="list-style-type: none"> <li>• Dimension from:                             <ul style="list-style-type: none"> <li>○ Curb level to top roof.</li> <li>○ Curb level to perimeter wall height (for R1-R5 districts).</li> <li>○ Curb level to maximum allowed building height.</li> <li>○ Curb level to maximum proposed building height.</li> <li>○ Curb level to any setbacks.</li> </ul> </li> </ul>
5	<p><b>Requested Waiver Area</b></p> <ul style="list-style-type: none"> <li>• Show proposed non-complying encroachments.</li> <li>• Differentiate between allowed building envelope and area proposed by waiver.</li> <li>• Encroachments shall be dimensioned and labeled as such in section and legend.</li> </ul>

**Axonometric Sample**



**For More Information**

Please contact your Lead Planner for additional information.

## Revision History

<b>Date</b>	<b>Version</b>	<b>Description</b>	<b>Author</b>
5/31/13	1.0	Original Draft	D. Parish
06/04/2013	1.1	Revisions following meeting with Technical Review	B. Budelman
08/16/2013	1.2	Final version for internal review	B. Budelman
6/11/14	1.3	Consistency check	C. Whitcomb
6/30/14	1.3	Final edits	C. Whitcomb