

# Ground Floor Plan Guidelines

## Version 3.8

### Purpose

The purpose of this document is to outline minimum requirements for completing an attachment to a land use application, while allowing for flexibility and professional judgment. The Ground Floor Plan drawing is an application component required of many land use applications for Special Permits, Authorizations and Certifications detailed in the New York City Zoning Resolution. The drawing depicts the interior layout of a proposed building on a zoning lot that will be affected by the requested land use action(s). Many of the actions that require a Ground Floor Plan are waivers intended to allow specific uses within buildings that would otherwise not be allowed. Therefore, the content of the Ground Floor Plan can typically be limited to reflect information related to proposed uses and access to those uses.

### When to Use

The Ground Floor Plan is required for specific Special Permit, Authorization and Certification actions listed in the New York City Zoning Resolution that require waivers of zoning rules related to the interior uses of a building. Ground Floor Plans are not required in instances where new uses are proposed to be added to an existing building and cover either the entire floor or several floors, and would not require physical changes to the structure to accommodate the new use. Applicants for specific land use actions will be informed of all required drawings for their particular application at the Interdivisional Meeting. This drawing will not be required for all application types.

### Exceptions & Modifications

These guidelines provide general guidance only. Depending on the specifics of the project, the DCP Project Team may require drawings and information in addition to or different from those described in the guidelines. At the Interdivisional Meeting, the DCP Project Team will discuss whether and to what extent preparation of the application requires exceptions to or modifications of these guidelines, in order to take into account site or project features.

### Overview

The Ground Floor Plan drawing is a depiction of interior uses of a building's ground floor that are subject to proposed use and/or bulk waivers. Information within the ground floor plan can be limited to existing and proposed uses, walls and/or separation between the uses subject to the land use action, and the methods of access to the uses subject to the land use action. In some cases, circulation cores, including stairs and elevators, are required to be illustrated. There may also be specific site conditions that need further description, for which the DCP team will provide guidance at the Interdivisional Meeting. Applicants are free to submit more detailed floor plans, however the department is only concerned with the details herein. Be cognizant that these drawings will be viewed by both technical experts and the general public, so clarity and accuracy in proportion and scale are important.

If both a Ground Floor Plan and a Zoning Lot Site Plan are required, applicants may combine the two drawings, if the contents are legible for all required content on the development site. Otherwise, a Ground Floor Plan need only show the building outline, unless a parking garage is included, which would require the same surrounding context information as the Zoning Lot Site Plan, due to curb cut regulations. Dimensions may be shown as (a) feet and percent of feet, otherwise known as decimal feet or (b) feet and inches. For example, a dimension may be either 5' 3" or 5.25".

## Ground Floor Plan Details

**Table A. Format Requirements**

Number	Format Requirements
1	<p><b>Scale &amp; Dimensions</b></p> <ul style="list-style-type: none"> <li>• Scale should be appropriate to the size of the development site and the content of the drawing, but no greater than a maximum scale of 1" = 100'.</li> <li>• Sheet size will determine scale on large development proposals.</li> <li>• Dimensions may be shown as (a) feet and percent of feet, otherwise known as decimal feet or (b) feet and inches. For example, a dimension may be either 5' 3" or 5.25". You may choose to show dimensions either way, but your choice should be consistent across all documents.</li> </ul>
2	<p><b>Page Size</b></p> <ul style="list-style-type: none"> <li>• Minimum 11" x 17" – Maximum 36" x 48".</li> <li>• Drawing size should be consistent with all the other large format drawings in the set.</li> <li>• Space should also be left on the drawing for the approval label (4" x 3.25").</li> <li>• For very large proposed project areas, include a key plan in the drawing set, with cut lines, and individual sheets showing plans at a legible scale.</li> <li>• Differentiate among buildings, landscaped areas, hardscape areas and between existing and proposed elements.</li> <li>• In the key plan, indicate:             <ul style="list-style-type: none"> <li>○ Zoning lot lines</li> <li>○ Tax lots</li> <li>○ Sheet cut lines</li> <li>○ Building outline(s)</li> <li>○ Public open space</li> <li>○ Buildings</li> </ul> </li> </ul>
3	<p><b>Shading, Color and Hatching</b></p> <ul style="list-style-type: none"> <li>• DCP will accept drawings and documents in color, so long as the drawing remains legible (Note: D.O.B.'s BSCAN requires documents and diagrams to be legible and in B/W when scanned).</li> <li>• Applicants may use color, patterns and/or line types as long as each is clearly defined.</li> </ul>

Number	Format Requirements
4	<p><b>Legend, Scale and Title Block</b></p> <ul style="list-style-type: none"> <li>• North Arrow.</li> <li>• Graphic Scale.</li> <li>• Legend (if symbols are used).</li> <li>• Title block with the following content:                             <ul style="list-style-type: none"> <li>○ Location Information (Borough, Block, Lot ).</li> <li>○ Primary firm preparing the drawing clearly identified.</li> <li>○ Room for sign &amp; seal (should not block other relevant information).</li> <li>○ Drawing name (should be specific and reference purpose/focus of drawing).</li> <li>○ Drawing sheet number.</li> <li>○ Drawing Created Date.</li> <li>○ Last revised date (and clearly marked as such).</li> <li>○ Project name/identifier (address, project name, ULURP #, etc).</li> <li>○ If applying for multiple land use actions, clearly distinguish among each application and note content related to each action.</li> <li>○ Drawing notes.</li> </ul> </li> </ul>
5	<p><b>Drawing Extent/Surrounding Context</b></p> <ul style="list-style-type: none"> <li>• Includes the entire zoning lot or zoning lots subject to the proposed action and/or the entire development site.</li> </ul> <p><b><i>Required Only if Ground Floor Plan and Site Plan are Combined into one Drawing:</i></b></p> <ul style="list-style-type: none"> <li>• Include the immediately surrounding context, extending a minimum of 30' into adjacent properties along all lot lines, or up to 25% of the width of the adjacent properties, whichever is greater.</li> <li>• Show street frontage up to the property line directly across the street (public right-of-way), from the development site, without showing buildings across the street.</li> </ul>
6	<p><b>Drawing Certification Note</b></p> <ul style="list-style-type: none"> <li>• The following note should be included OUTSIDE of the title block:                      “Applicant’s stamp and seal corresponds to the information regarding the development site, zoning lot, and related curb cuts. Information regarding the surrounding properties is for illustrative purposes only.”</li> </ul>

**Table B. Content Requirements**

Number	Content Requirements
1	<p><b>Development Site Boundary (<i>Zoning Lot boundary-if applicable</i>)</b></p> <ul style="list-style-type: none"> <li>• Show with a heavy dashed line featuring one long dash, two dots and another long dash.</li> <li>• Indicate with a heavier weight/line type than the exterior building wall.</li> <li>• Where the zoning lot line intersects with a street, show the zoning lot line as a solid line.</li> <li>• If the development site includes multiple zoning lots, each should be shown with the same line type.</li> <li>• Where development site boundaries differ from the zoning lot lines, another line-type, equally visible, shall be used for the development site boundaries.</li> </ul>
2	<p><b>Streets, Highways, Railroads, Other Public ROW and Waterways</b></p> <ul style="list-style-type: none"> <li>• Show as a heavy solid line.</li> <li>• Use official names (ie. E 3<sup>rd</sup> Street, instead of 3<sup>rd</sup> Street). Generally known abbreviations are acceptable (Ave, St, etc.).</li> <li>• Indicate traffic directions.</li> <li>• Indicate width and zoning category (i.e., Wide Street or Narrow Street).</li> <li>• Indicate if a street is a private road.</li> <li>• If a street is un-built or has some other status, indicate it in a heavy line.</li> </ul>
3	<p><b>Sidewalk and/or Curb Lines</b></p> <ul style="list-style-type: none"> <li>• Show with a thin solid line.</li> <li>• Dimension to indicate sidewalk widths.</li> <li>• If present, show sidewalk easements with a dashed line or light hatch.</li> </ul>
4	<p><b>Tax Lots and Easements</b></p> <ul style="list-style-type: none"> <li>• Indicate tax lot dimensions with a solid line.</li> <li>• Indicate dimensions.</li> <li>• Denote and dimension any easements.</li> </ul>
5	<p><b>Building and Partition Walls (Exterior and Interior)</b></p> <ul style="list-style-type: none"> <li>• Show in standard architectural symbology.</li> <li>• Show all proposed doors or openings within walls included in the drawing.</li> <li>• Show partition or demising walls required for separation of uses if the development site’s uses are subject to a waiver and/or land use action.</li> <li>• Note overall building dimensions.</li> </ul>

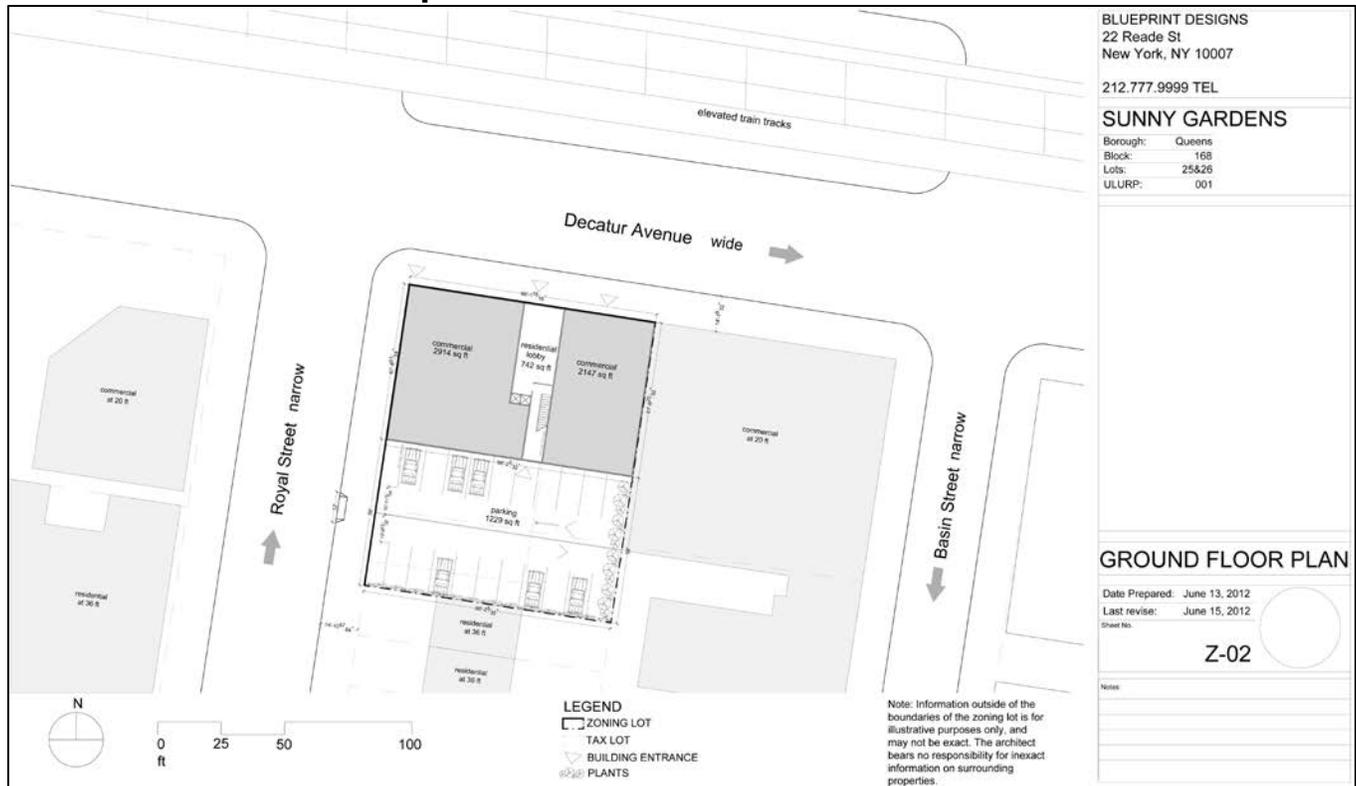
Number	Content Requirements
6	<p><b>Building Entrances</b> <i>(for uses subject to the proposed land use actions)</i></p> <ul style="list-style-type: none"> <li>• Show with a triangle or other symbol and identify in the legend.</li> </ul>
7	<p><b>Curb Cuts and Driveways</b></p> <ul style="list-style-type: none"> <li>• Show curb cuts, driveways, and parking garages for the development site.</li> <li>• If using a combined Site and Ground Floor Plan, curb cuts and driveways for near and adjacent sites are required.</li> <li>• Show proposed conditions, differentiating between existing and proposed.</li> <li>• Show curb cuts located across the street from the property and within 8' of the zoning lot site line.</li> <li>• Show as a thin line.</li> <li>• Dimension at sidewalk and at splay.</li> </ul>
8	<p><b>Parking and Loading Areas</b> <i>(ONLY required when there is a combined Site and Ground Floor Plan)</i></p> <ul style="list-style-type: none"> <li>• Do not include parking and loading on the site plan if within the building.</li> <li>• Show and label parking area, and differentiate between landscape areas and parking/maneuvering areas.</li> <li>• Note dimensions of garage entrances and exits.</li> <li>• Show and label loading areas.</li> </ul>
9	<p><b>Transit</b> <i>(ONLY if within building envelope)</i></p> <ul style="list-style-type: none"> <li>• Show location of any elevated tracks, at-grade railways, subway or PATH train entrances, and bus stops on or near the development site(s).</li> <li>• Dimension the length and width of any subway entrances and circulation paths surrounding station entrances.</li> <li>• For in-building entrances, dimension walkways around the transit entrance.</li> <li>• Dimension any shelters.</li> </ul>

Number	Content Requirements
10	<p><b>Content on Adjacent Properties</b> (<i>ONLY required when there is a combined Site and Ground Floor Plan</i>)</p> <ul style="list-style-type: none"> <li>• Items listed should be shown using the same symbology as indicated above, but with a lighter shade:                             <ul style="list-style-type: none"> <li>○ Building footprints with heights labeled.</li> <li>○ Curblines.</li> <li>○ Curb cuts.</li> <li>○ Tax Lot lines.</li> <li>○ Boundary of publicly accessible open spaces (if applicable).</li> <li>○ Transit.</li> <li>○ Street trees.</li> </ul> </li> </ul>
11	<p><b>Extent of Different Uses</b></p> <ul style="list-style-type: none"> <li>• Each use should be clearly indicated using different shading.</li> <li>• Each use should be labeled as:                             <ul style="list-style-type: none"> <li>○ Residential, Community Facility, Commercial, Mechanical Space or Manufacturing, or into</li> <li>○ Use groups if relevant to the actions requested and/or there are multiple uses of the same type (<i>ie, Residential, UG 2</i>).</li> </ul> </li> <li>• Show mechanical space (if the extent and arrangement of such is known), indicating existing and proposed location, and differentiated from other land uses.</li> <li>• Note the square footage of uses subject to the proposed action(s).</li> <li>• Indicate where supportive service uses are located, if provided.</li> <li>• For complicated and overlapping uses, DCP will advise a combination of shading and hatching at the Interdivisional meeting.</li> </ul>
12	<p><b>Areas Affected by Waivers</b> (required for actions related to waiving bulk requirements)</p> <ul style="list-style-type: none"> <li>• Show use waivers with shades or colors.</li> <li>• Show bulk waivers in a hatch pattern.</li> <li>• For complicated and overlapping use/bulk waivers, DCP will advise a combination of shading and hatching at the Interdivisional Meeting.</li> </ul>

**Table C. Use Requirements (for actions requesting use waivers)**

Number	Content Requirements
1	<p><b>Parking and Loading Areas</b> (<i>ONLY required when there is a combined Site and Ground Floor Plan</i>)</p> <ul style="list-style-type: none"> <li>Do not include parking and loading on the site plan if within the building.</li> <li>Show and label parking area, and differentiate between surfaces.</li> <li>Note dimensions of garage entrances and exits.</li> <li>Show and label loading areas/berths.</li> <li>Show compliant parking lots with sufficient detail to show relationship to development site.</li> <li>Show garage entrances and exits, with dimensions.</li> </ul>
2	<p><b>Circulation Cores and Stairs</b> (<i>need to show how access would be granted to uses subject to the proposed actions</i>)</p> <ul style="list-style-type: none"> <li>Show circulation cores and stairs with standard architectural symbols.</li> <li>Generally, this is only necessary when explaining the separation of uses on a floor or access to another use subject to the actions on upper levels.</li> </ul>

**Ground Floor Plan Sample**



## For More Information

Please contact your Lead Planner for additional information.

## Revision History

Date	Version	Description	Author
3/15/12	1	Draft	T. Pawlowski
3/19/12	1.1	Revised w/ comments	J. Chan
3/20/12	1.2	Revised draft	D. Parish
4/03/12	3.0	Revised Draft	D. Parish
4/30/12	3.1	Consistency check between guidelines w B. Pillar	B. Estroff
6/02/12	3.2	Edits and Updates	D. Parish
7/03/12	3.3	Visualization added	K. Mu
8/08/12	3.4	Edits following Standards Forum	D. Parish
11/08/12	3.5	Edits following Standards Forum	D. Parish
6/03/13	3.6	Edits following meeting with Technical Review	L. DeRosa
08/16/2013	3.7	Final version for internal review	B. Budelman
6/11/2014	3.8	Consistency check	C. Whitcomb
6/30/2014	3.8	Final edits	C. Whitcomb