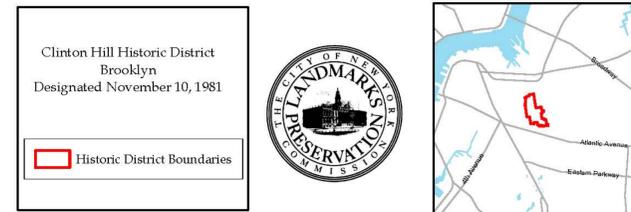
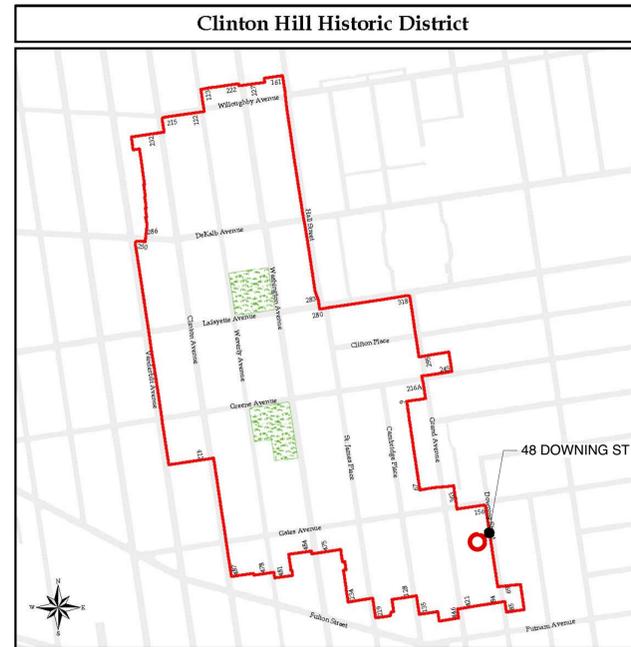


48 DOWNING ST
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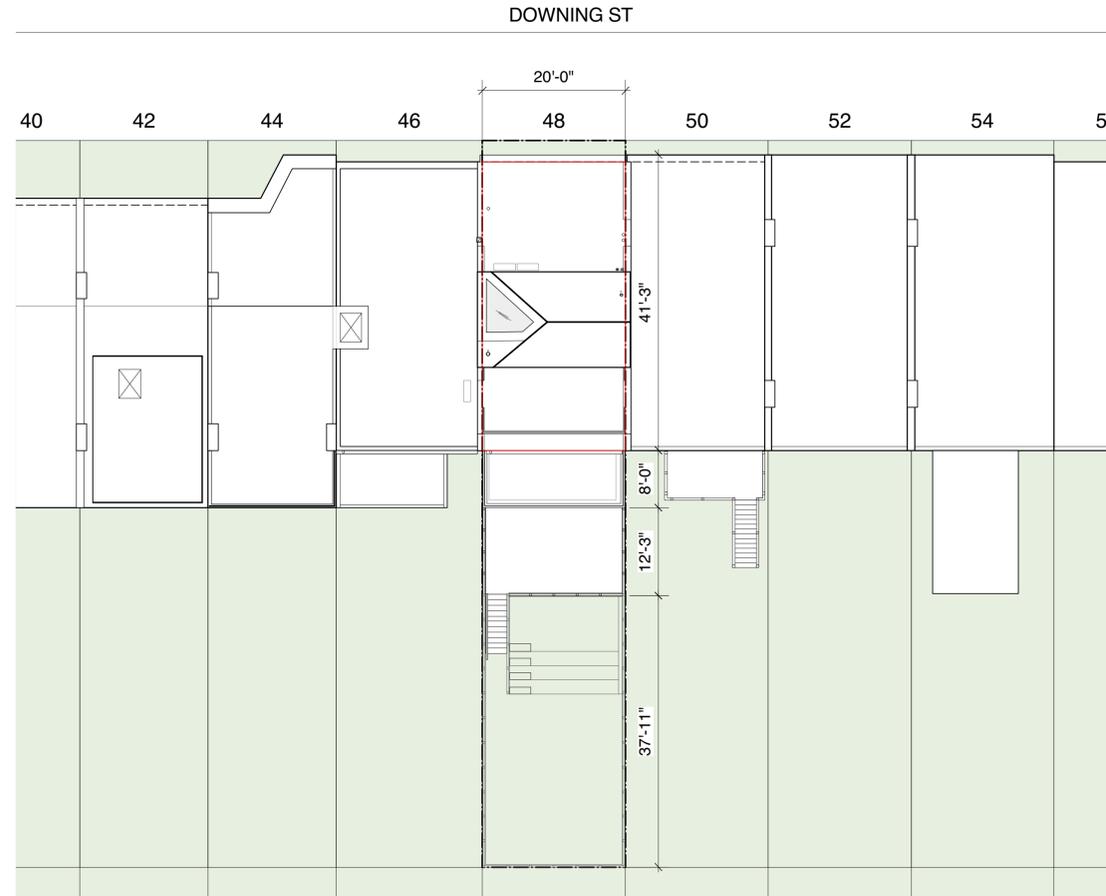
2 CLINTON HILL HISTORIC DISTRICT MAP
NOT TO SCALE



1940 TAX PHOTO:
48 DOWNING ST BROOKLYN, NY
 SOURCE:
 NEW YORK CITY DEPT. OF RECORDS
 MUNICIPAL ARCHIVES
 31 CHAMBERS STREET, RM 103
 NEW YORK, NY 10007

YEAR BUILT: 1868-1870
 BUILDER: BABCOCK & STURGES
 (CLINTON HILL HISTORIC DESIGNATION REPORT)

3 TAX PHOTO



4 NEIGHBORING ROOF AND REAR YARD PLANS
NOT TO SCALE

FLOOR AREA RATIO (F.A.R.) CALCULATIONS
 QUALITY HOUSING (ZFR 23-145)
 LOT DIMENSIONS = 20'-0" X 101'-6"
 LOT AREA (SF) = 2,030.00 SF

MAXIMUM FLOOR AREA RATIO (F.A.R.) (PER 23-145) R6B DISTRICT	2.00 (ALLOWED)
EXISTING FLOOR AREA RATIO (F.A.R.)	1.59 EXISTING
PROPOSED FLOOR AREA RATIO (F.A.R.)	1.99 PROPOSED
MAXIMUM FLOOR AREA (SF) (ALLOWED) (PER 23-145) R6B DISTRICT	4,060.00 SF
EXISTING FLOOR AREA (SF)	3,220.00 SF
PROPOSED FLOOR AREA (SF)	4,047.00 SF
AMOUNT OF FLOOR AREA BEING ADDED (PROPOSED FA - EXISTING FA)	827.00 SF



2 BLOCK 1982 & LOT MAP
NOT TO SCALE

= NUMBER OF STORIES
 +b = WITH BASEMENT
 +c = WITH CELLAR

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LOCATION, BLOCK
 MAPS & TAX PHOTO

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LPC01.00

NYC LPC SUBMISSION: 10.29.2015

NYC DOB NUMBER

DWNG

Scale:



STREET VIEW FROM OPPOSITE SIDEWALK (LOOKING WEST)



VIEW OF 48 DOWNING & NEIGHBORING 50 DOWNING



VIEW OF 48 DOWNING & NEIGHBORING 46 DOWNING

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**EAST (STREET) FACADE
 & STREET VIEWS**

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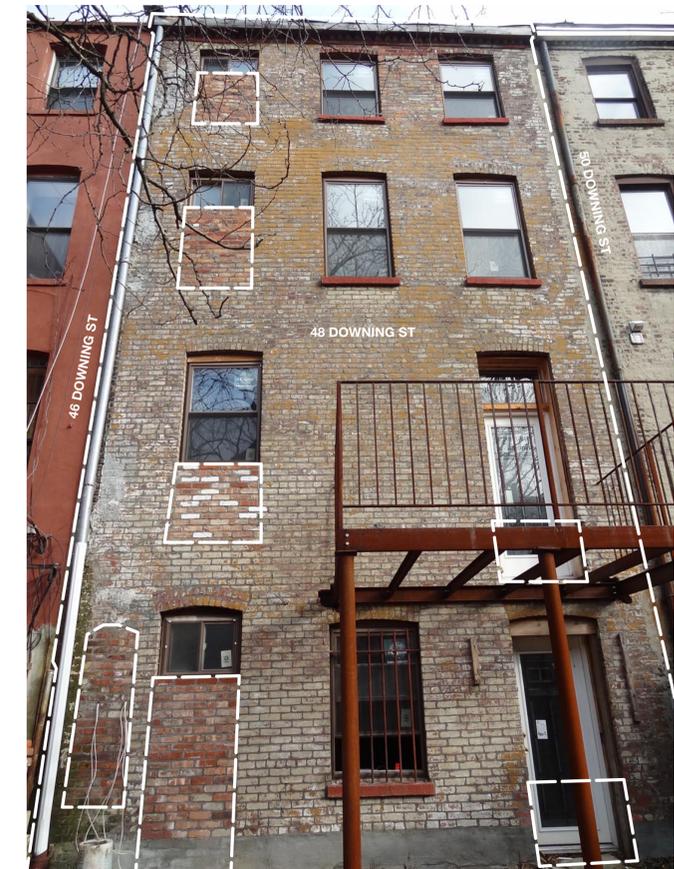
LPC02.00

NYC LPC SUBMISSION: 10.29.2015

<small>NYC DOB NUMBER</small>	DWNG
	<small>Scale:</small>



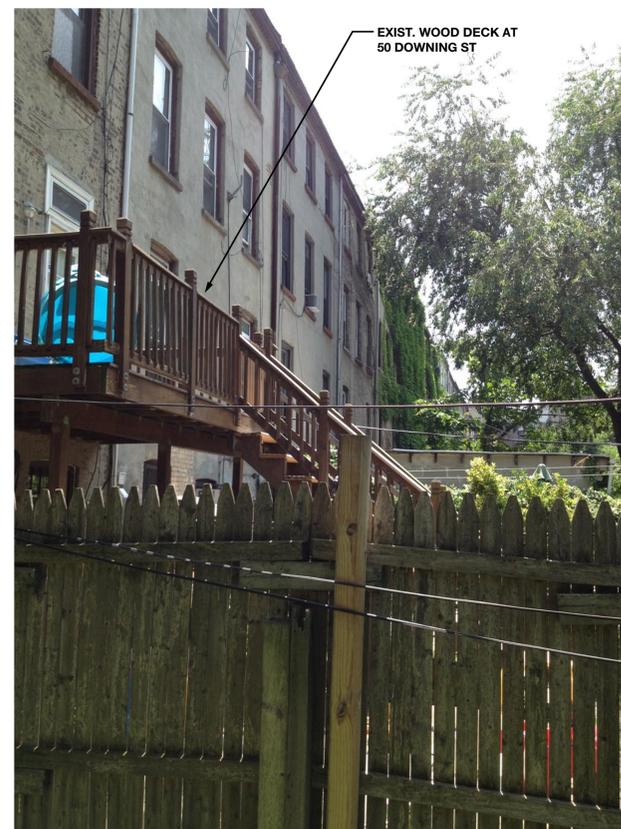
VIEW OF EXISTING REAR YARDS & FACADES (LOOKING EAST)



VIEW REAR YARD WINDOWS INDICATING NON-HISTORIC MODIFICATIONS



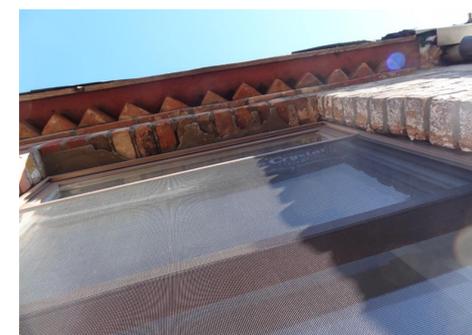
VIEW OF WEST REAR YARD FACADE OF 48 DOWNING ST



DETAIL OF EXISTING REAR YARD, WEST FACADE & WOOD DECK AT 50 DOWNING ST



DETAIL OF TYPICAL REAR WINDOW JAMB AT 3RD FLOOR



DETAIL OF TYPICAL REAR WINDOW HEAD AT 3RD FLOOR

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**WEST (REAR YARD)
 FACADE & VIEWS**

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NYC LPC SUBMISSION: 09.22.2015
 REV# ISSUE DATE

LPC03.00

NYC LPC SUBMISSION: 10.29.2015

NYC DOB NUMBER

DWNG

Scale:



ROOFTOP VIEW (LOOKING WEST)



ROOFTOP VIEW (LOOKING NORTH)



DETAIL OF EXISTING CHIMNEY (NORTHEAST)



ROOFTOP VIEW (LOOKING SOUTHEAST)



ROOFTOP VIEW (LOOKING SOUTHWEST)

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ROOF VIEWS

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NYC LPC SUBMISSION: 09.22.2015
 REV# ISSUE DATE

LPC04.00

NYC LPC SUBMISSION: 10.29.2015

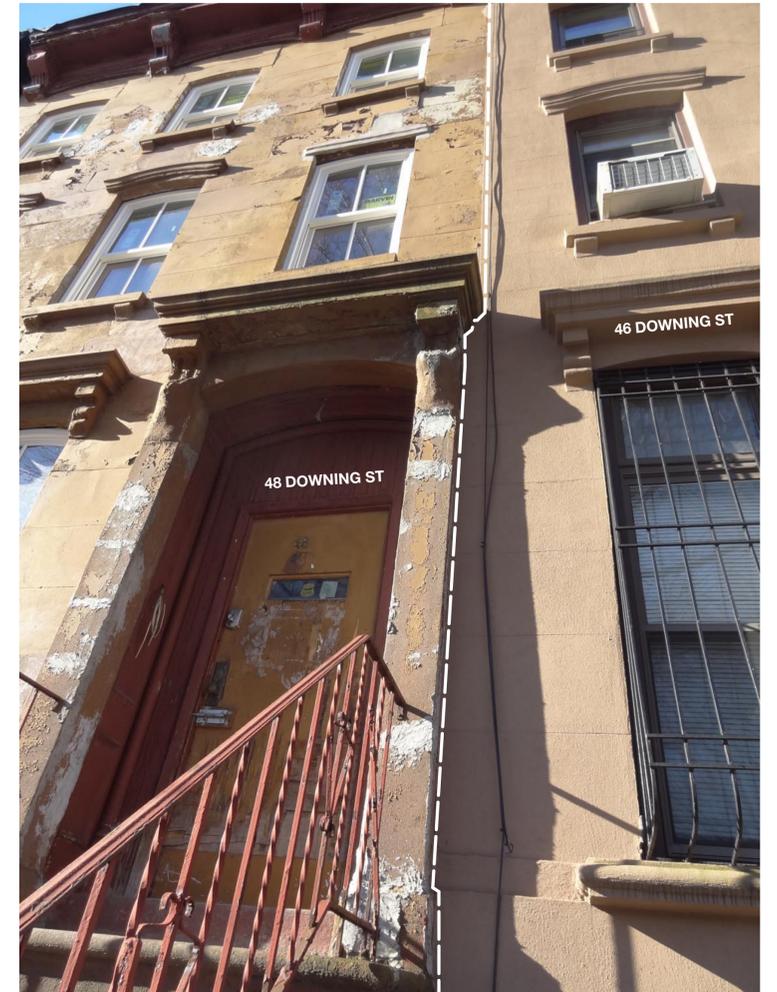
<small>NYC DOB NUMBER</small>	DWNG
	<small>Scale:</small>



VIEW OF EXISTING EAST (FRONT) FACADE AT 2ND & 3RD FLOORS



VIEW OF EXISTING EAST (FRONT) FACADE AT 1ST & 2ND FLOORS



DETAIL OF DETERIORATED BROWNSTONE ARCHITECTURAL ELEMENTS AT MAIN ENTRY.
NON-HISTORIC DOOR & PANELING AT ORIGINAL OPENING



VIEW OF EXISTING EAST (FRONT) FACADE AT 1ST FLOOR & BASEMENT



VIEW OF EXISTING EAST (FRONT) FACADE AT 1ST FLOOR & BASEMENT

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EXTERIOR DETAILS (EAST)

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LPC05.00

NYC LPC SUBMISSION: 10.29.2015

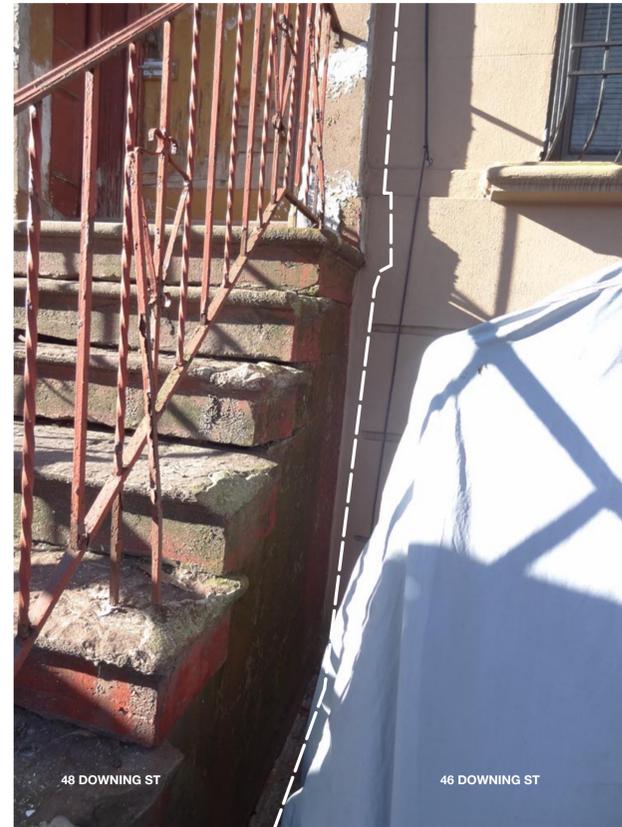
<small>NYC DOB NUMBER</small>	DWNG
	<small>Scale:</small>



DETAIL OF EXISTING STOOP BALUSTRADE & IRON RAILING



DETAIL OF EXISTING STOOP STEPS IN AN INCOMPLETE STATE OF PARTIAL REPAIRS.



DETAIL OF EXISTING STOOP BALUSTRADE & IRON RAILING



DETAIL OF EXISTING CONCRETE STAIR FROM YARD DOWN TO CELLAR DOOR



VIEW OF EXISTING FRONT YARD AT 48 DOWNING ST.



DETAIL OF EXISTING CONCRETE STEPS TO BASEMENT ENTRY WAY BELOW STOOP



DETAIL OF EXISTING STOOP BALUSTRADE & IRON RAILING

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**EXISTING FRONT YARD
 & STOOP**

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 REV# ISSUE DATE

LPC06.00

NYC LPC SUBMISSION: 10.29.2015

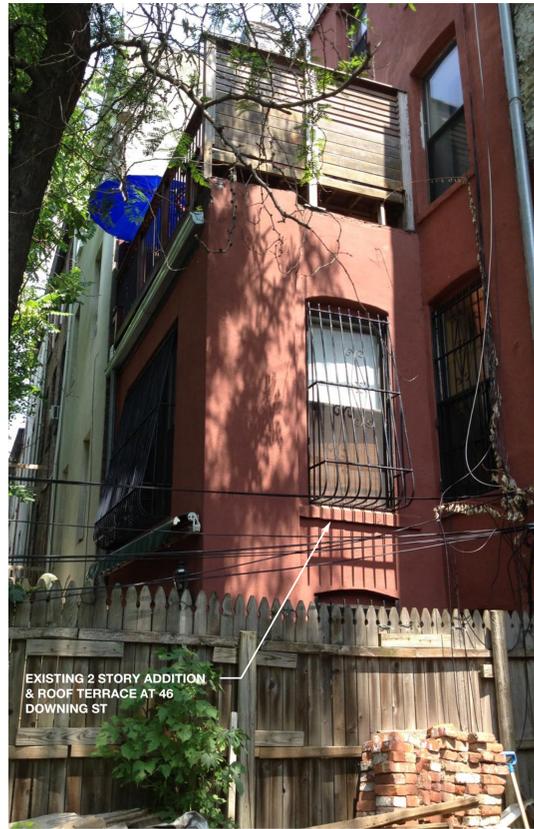
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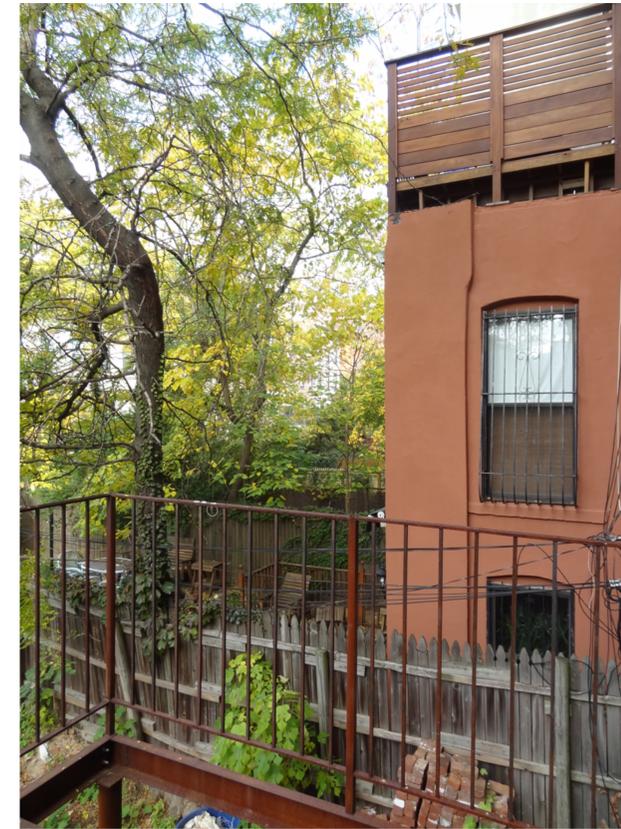
DETAIL OF EXISTING REAR WEST FAÇADE W/ 2 STORY ADDITION AT 46 DOWNING ST.



VIEW OF NEIGHBOR'S 2-STORY REAR YARD EXTENSION AT 46 DOWNING



DETAIL OF EXISTING REAR WEST FAÇADE W/ 2 STORY ADDITION AT 46 DOWNING ST.



VIEW OF NEIGHBOR'S 2-STORY REAR YARD EXTENSION AT 46 DOWNING

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VIEW OF NEIGHBOR AT REAR ELEVATION

NOT FOR CONSTRUCTION

NYC LPC SUBMISSION: 09.22.2015
 REV# ISSUE DATE

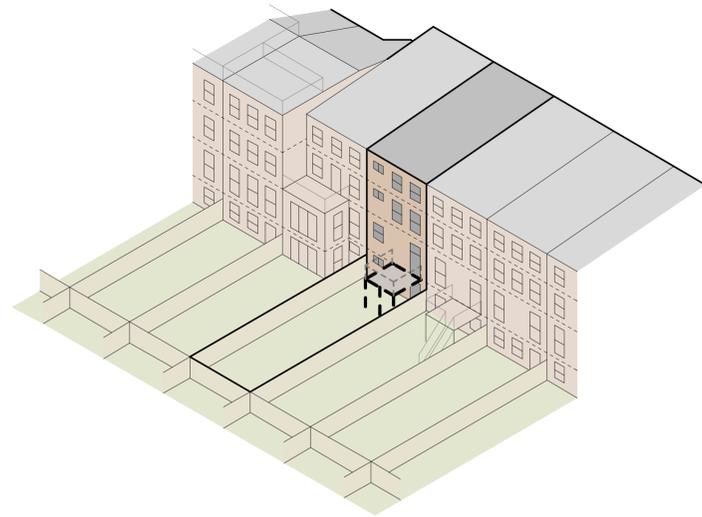
LPC07.00

NYC LPC SUBMISSION: 10.29.2015

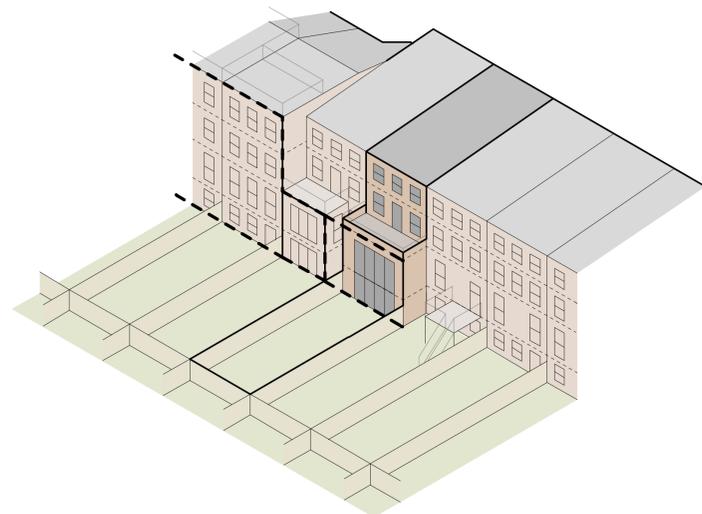
NYC DOB NUMBER

DWNG

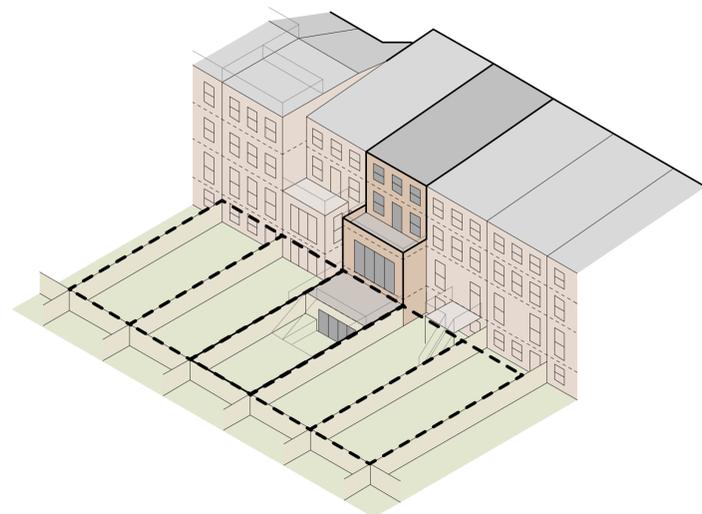
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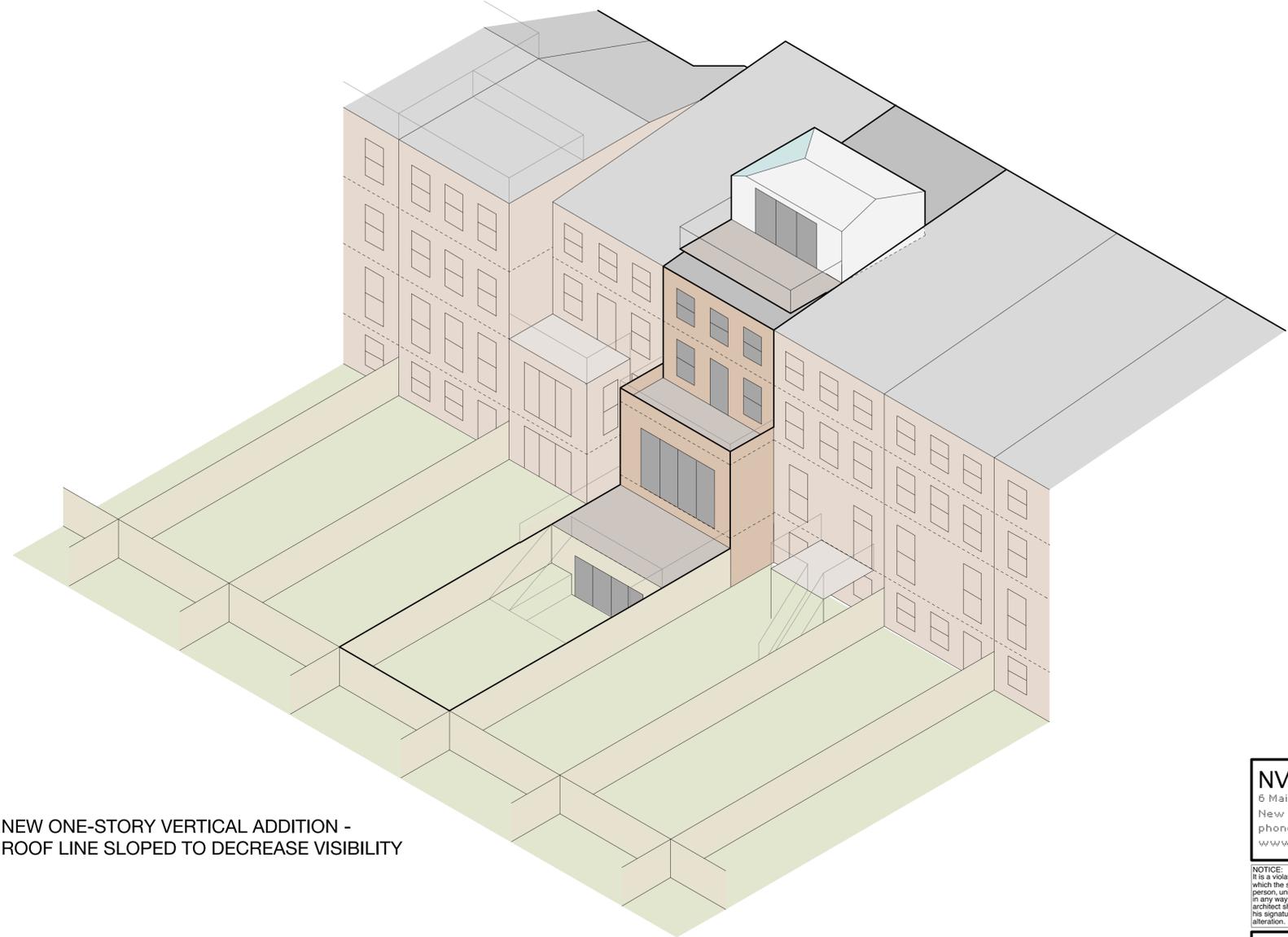
REMOVAL OF EXISTING REAR YARD DECK



NEW REAR YARD TWO-STORY ADDITION
TO ALIGN WITH NEIGHBORING BUILDINGS



NEW REAR YARD ONE-STORY ADDITION
TO ALIGN WITH TOP OF NEIGHBORING FENCES



NEW ONE-STORY VERTICAL ADDITION -
ROOF LINE SLOPED TO DECREASE VISIBILITY

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**REAR YARD & ROOFTOP
 AXON DIAGRAM**

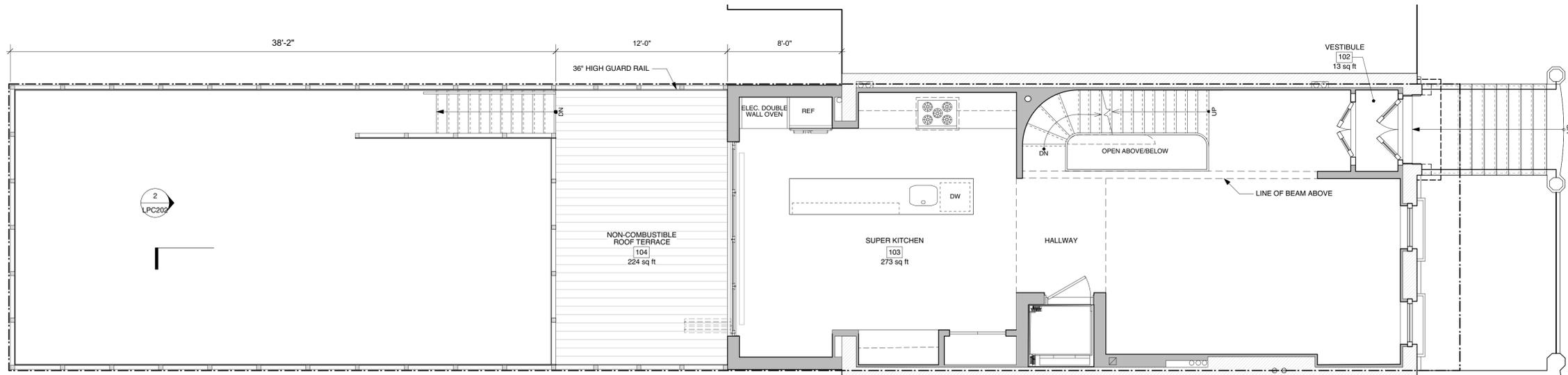
NOT FOR CONSTRUCTION

NYC LPC SUBMISSION: 09.22.2015
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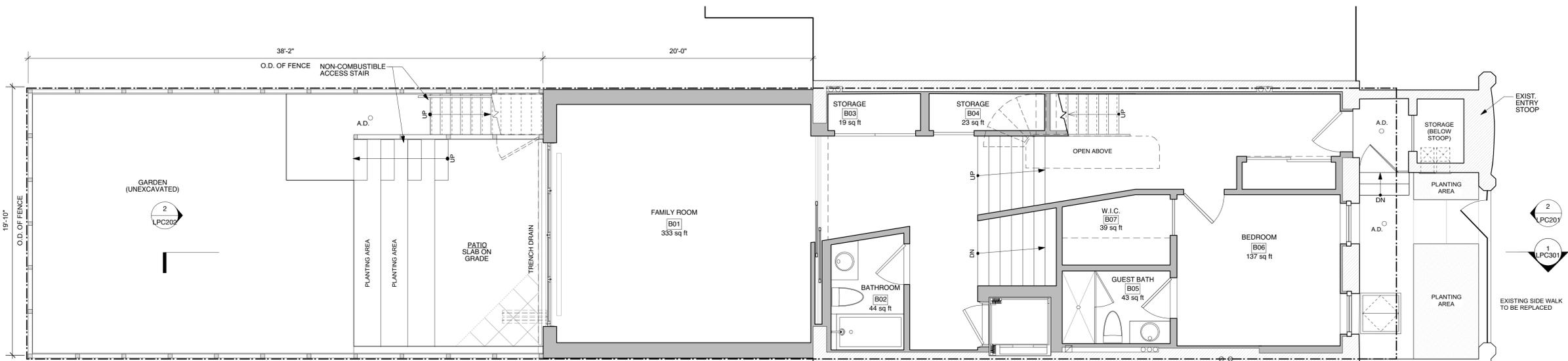
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NYC LPC SUBMISSION: 10.29.2015

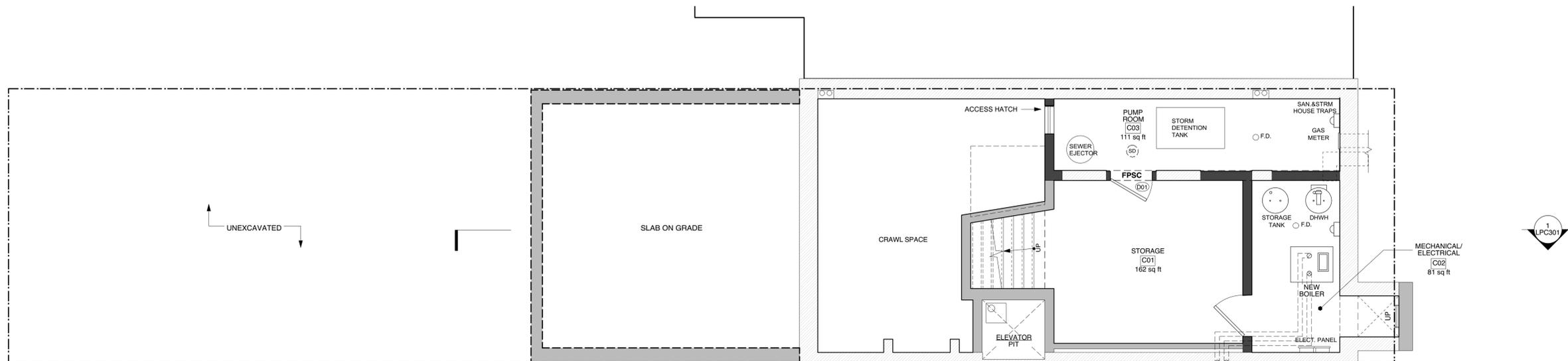
<small>NYC DOB NUMBER</small>	DWNG
	<small>Scale: NOT TO SCALE</small>



3 PLAN: FIRST FLOOR



2 PLAN: BASEMENT FLOOR



1 PLAN: CELLAR FLOOR

LEGEND	
	EXISTING PARTITION
	EXISTING MASONRY WALL
	CONCRETE WALL
	CONCRETE MASONRY UNIT (CMU) WALL
	2HR RATED GWB PARTITION
	NON-RATED GWB PARTITION
	PARTITION TYPE
	WINDOW TYPE
	DOOR TYPE
	FPSC FIREPROOF SELF-CLOSING DOOR
	COMBINATION SMOKE & CARBON MONOXIDE (CO) DETECTOR. SEE NOTES ON G001.00
	VENTILATION EXHAUST FAN. SEE MECH. DWGS
	A.D. AREA /FLOOR DRAIN, SLOPE ADJ. SURFACES MIN. 1/8" TO DRAIN.
	F.D. NEW ROOF & EMERGENCY OVERFLOW DRAINS. MIN. 1/8" SLOPE TO DRAIN.
	R.D. NEW ROOF & EMERGENCY OVERFLOW DRAINS. MIN. 1/8" SLOPE TO DRAIN.
	O.D. NEW ROOF & EMERGENCY OVERFLOW DRAINS. MIN. 1/8" SLOPE TO DRAIN.

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CONSTRUCTION PLANS

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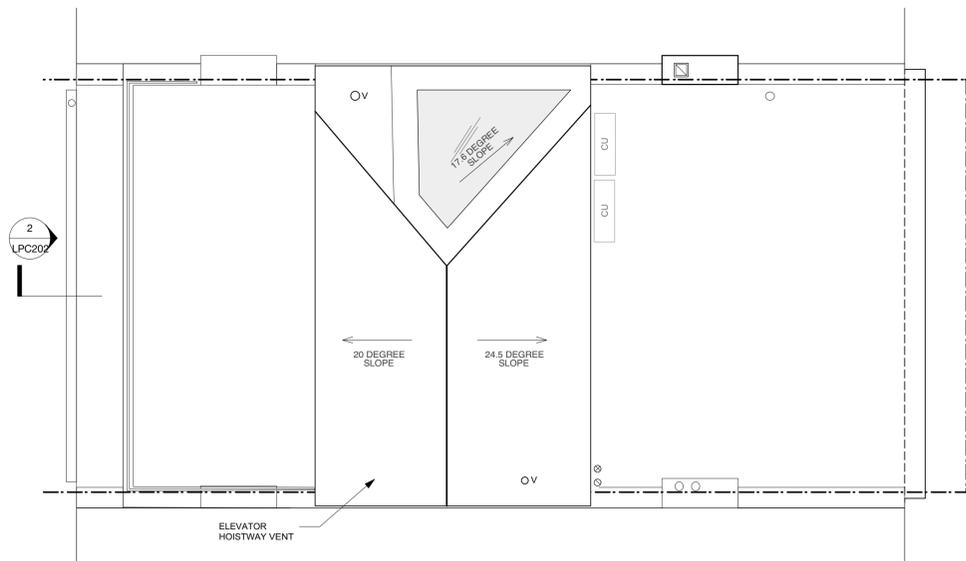
LPC101.00

NYC LPC SUBMISSION: 10.29.2015

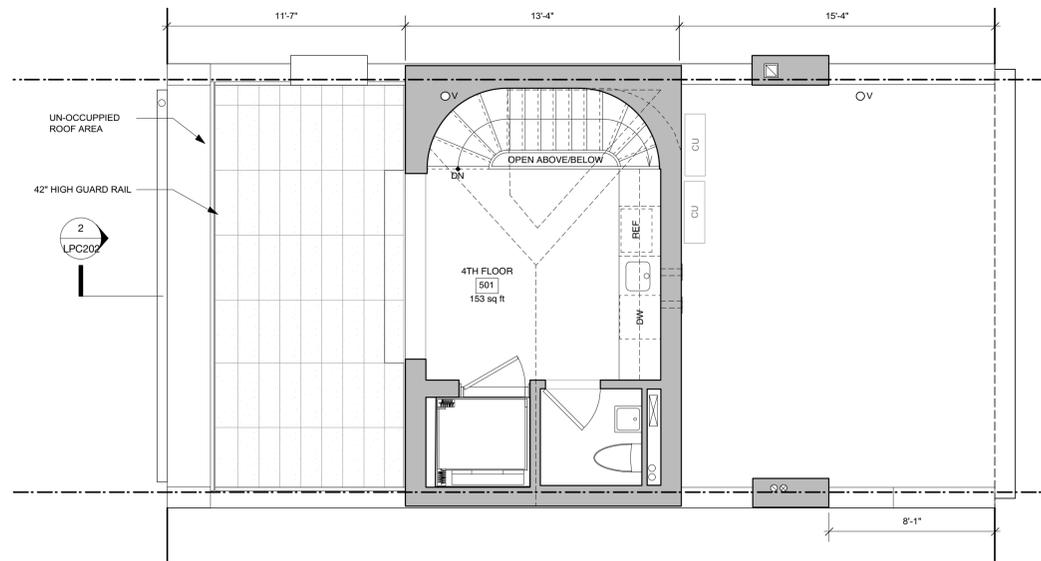
NYC DOB NUMBER

DWNG

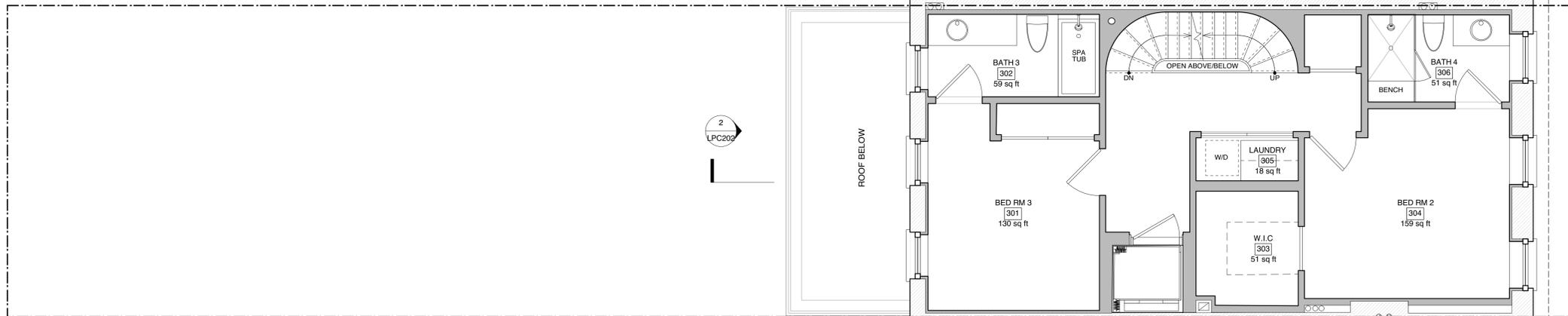
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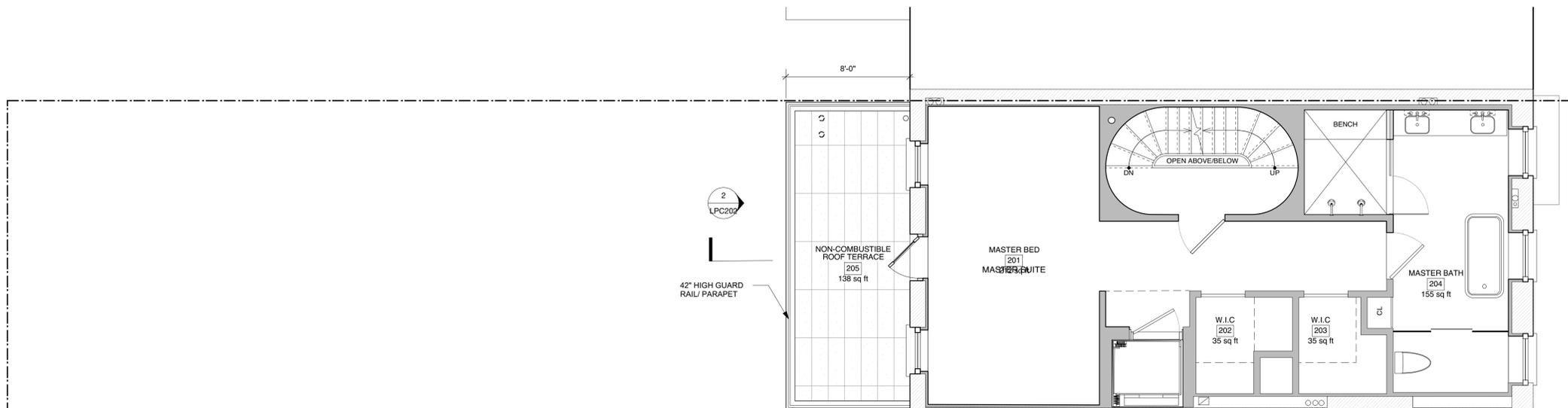
4 PLAN: ROOF



3 PLAN: 4TH FLOOR



2 PLAN: 3RD FLOOR



1 PLAN: SECOND FLOOR

LEGEND

	EXISTING PARTITION
	EXISTING MASONRY WALL
	CONCRETE WALL
	CONCRETE MASONRY UNIT (CMU) WALL
	2HR RATED GWB PARTITION
	NON-RATED GWB PARTITION
	PARTITION TYPE
	WINDOW TYPE
	DOOR TYPE
	FPSC FIREPROOF SELF-CLOSING DOOR
	COMBINATION SMOKE & CARBON MONOXIDE (CO) DETECTOR. SEE NOTES ON G001.00
	VENTILATION EXHAUST FAN. SEE MECH. DWGS
	A.D. AREA /FLOOR DRAIN, SLOPE ADJ. SURFACES MIN. 1/8" TO DRAIN.
	F.D. NEW ROOF & EMERGENCY OVERFLOW DRAINS. MIN. 1/8" SLOPE TO DRAIN.
	R.D. NEW ROOF & EMERGENCY OVERFLOW DRAINS. MIN. 1/8" SLOPE TO DRAIN.
	O.D. NEW ROOF & EMERGENCY OVERFLOW DRAINS. MIN. 1/8" SLOPE TO DRAIN.

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LPC102.00

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NYC DOB NUMBER

DWNG

Scale: 1/4" = 1'-0"





1 EXISTING EAST ELEVATION
1/8"=1'-0"



2 PROPOSED EAST ELEVATION
1/8"=1'-0"

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EXTERIOR ELEVATIONS

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LPC201.00

NYC LPC SUBMISSION: 10.29.2015

NYC DOB NUMBER

DWNG

Scale:



1 EXISTING WEST ELEVATION
1/4"=1'-0"

2 PROPOSED WEST ELEVATION
1/4"=1'-0"

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EXTERIOR ELEVATIONS

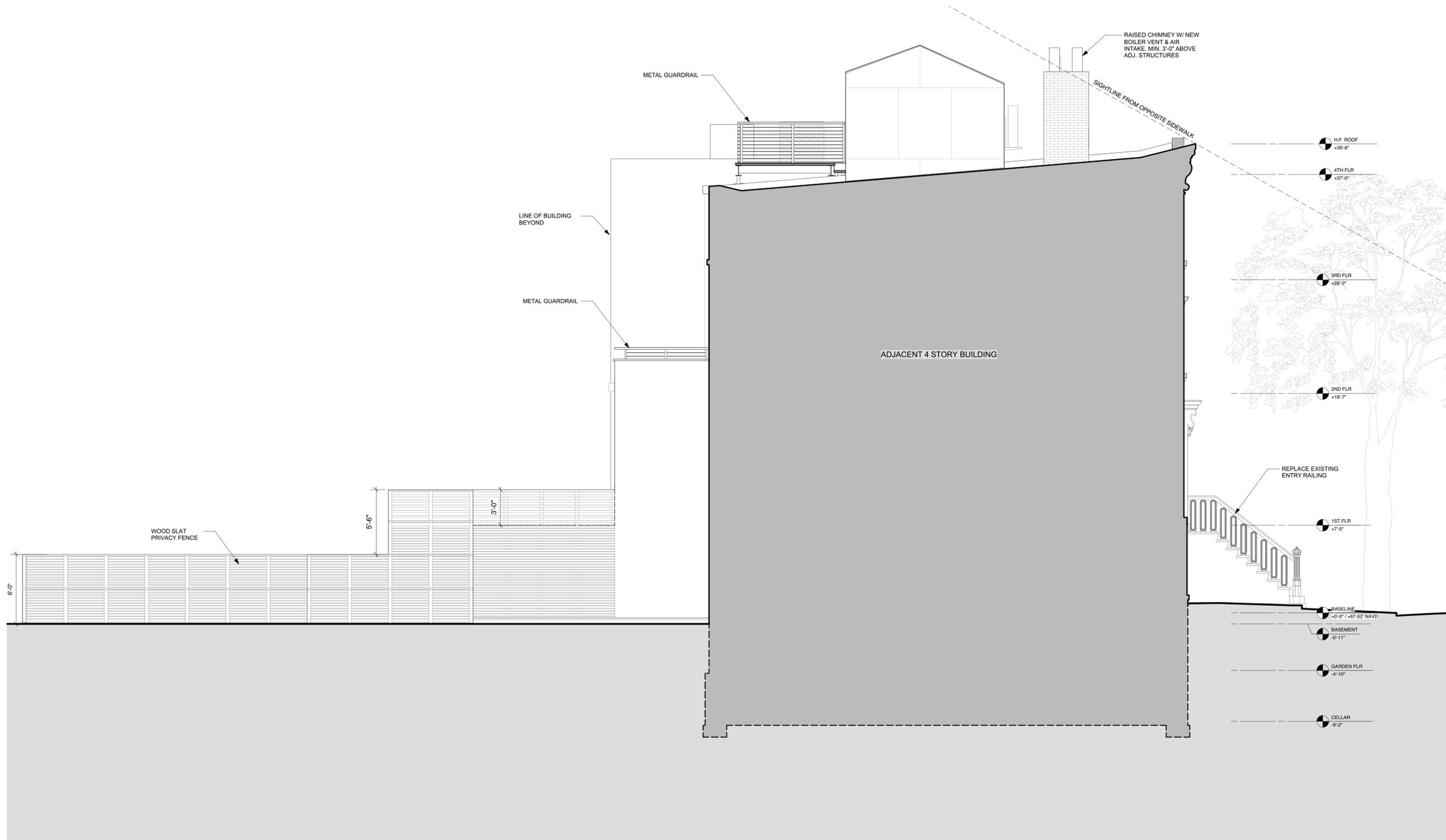
NOT FOR CONSTRUCTION

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 REV# ISSUE DATE

LPC202.00

NYC LPC SUBMISSION: 10.29.2015

NYC DOB NUMBER	DWNG
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SOUTH ELEVATION

NOT FOR CONSTRUCTION

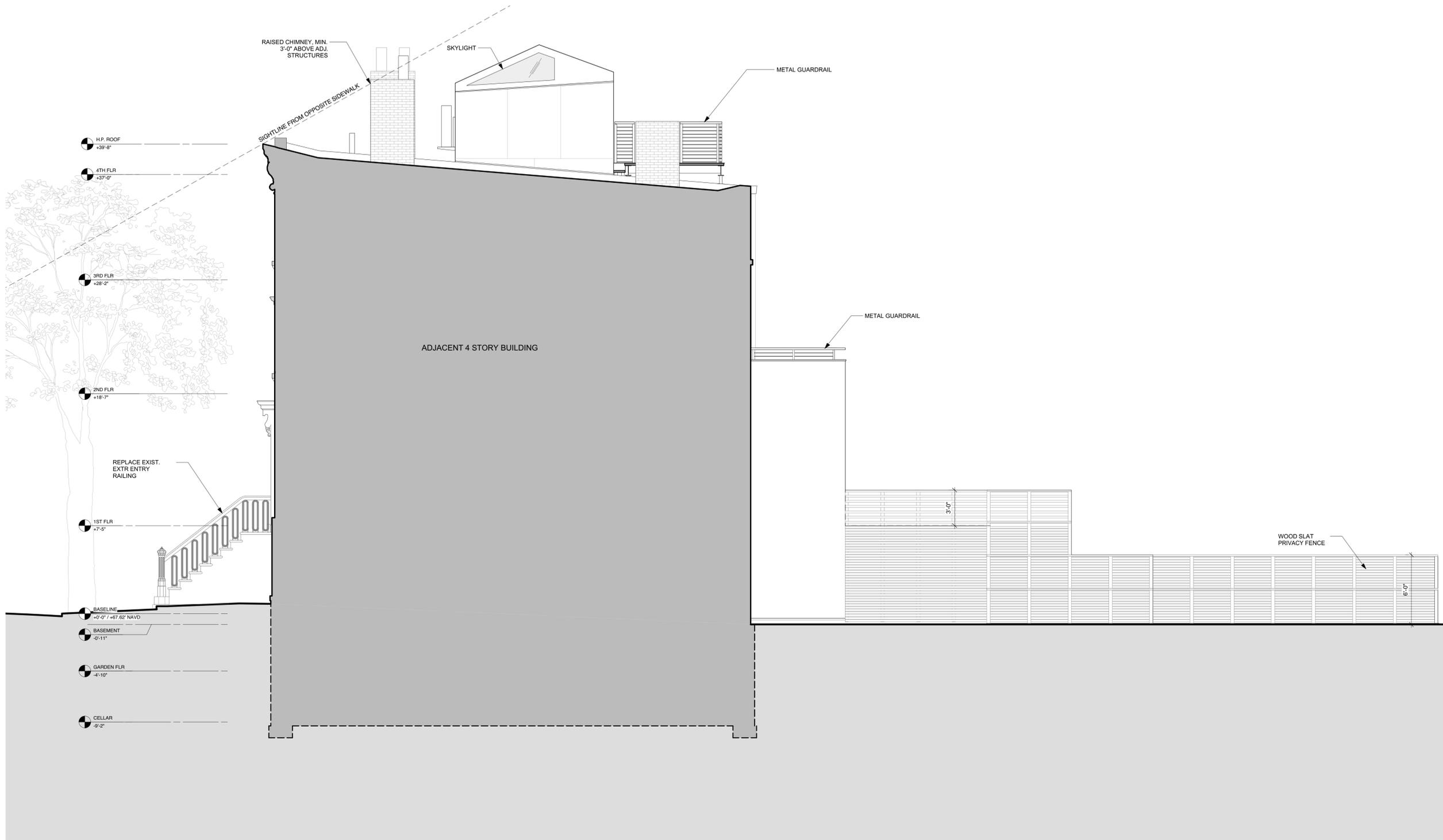
NYC LPC SUBMISSION: 09.22.2015
 REV# ISSUE DATE

LPC203.00

NYC LPC SUBMISSION: 10.29.2015

<small>NYC DOB NUMBER</small>	DWNG
<small>Scale:</small>	

1 PROPOSED BUILDING ELEVATION: SOUTH
 1/4"=1'-0"



1 PROPOSED BUILDING ELEVATION: NORTH
1/4"=1'-0"

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NORTH ELEVATION

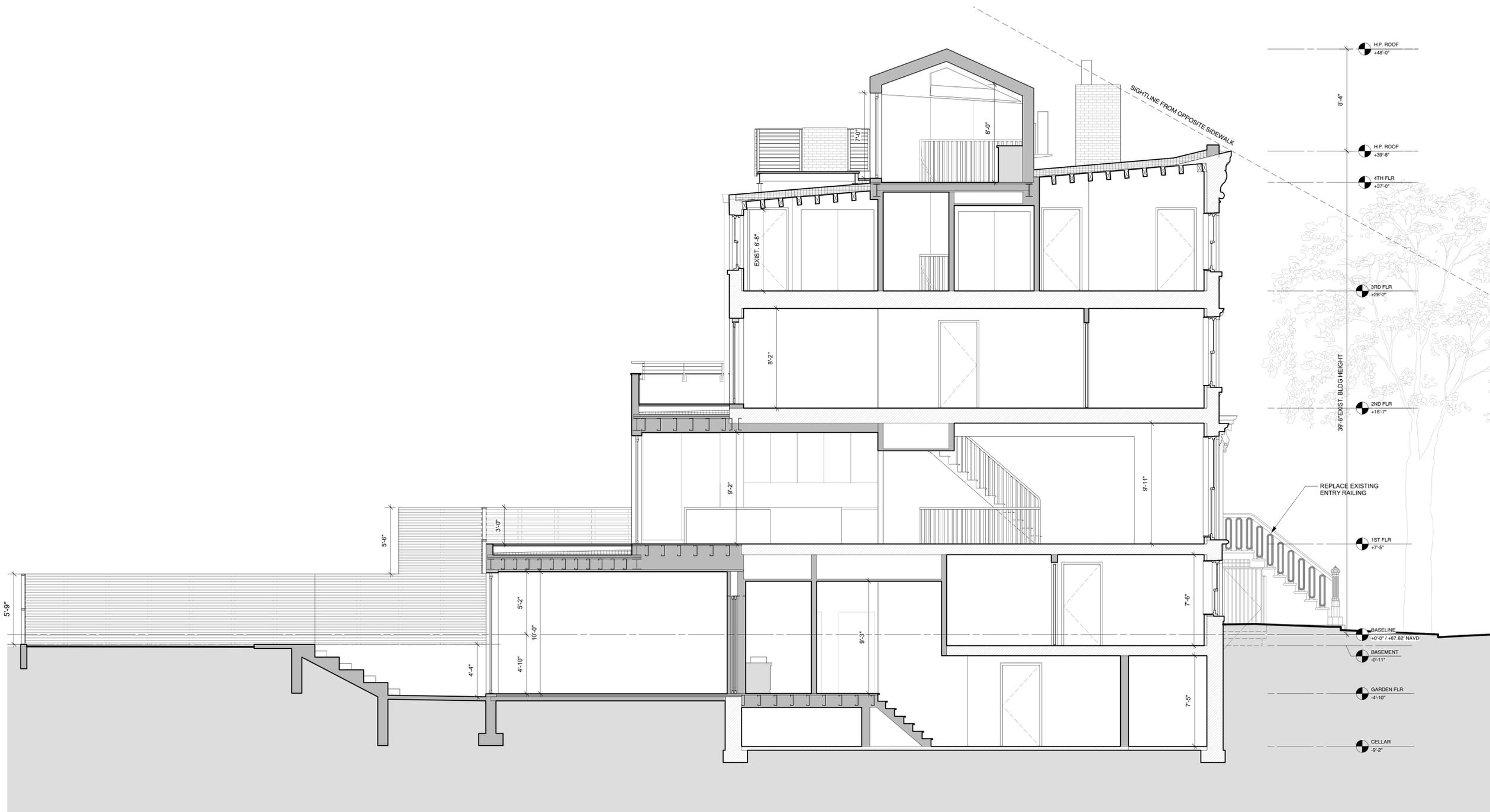
NOT FOR CONSTRUCTION

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LPC204.00

NYC LPC SUBMISSION: 10.29.2015

NYC DOB NUMBER	DWNG
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BUILDING SECTION

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 REV# ISSUE DATE

LPC301.00

NYC LPC SUBMISSION: 10.29.2015

<small>NYC DOB NUMBER</small>	DWNG
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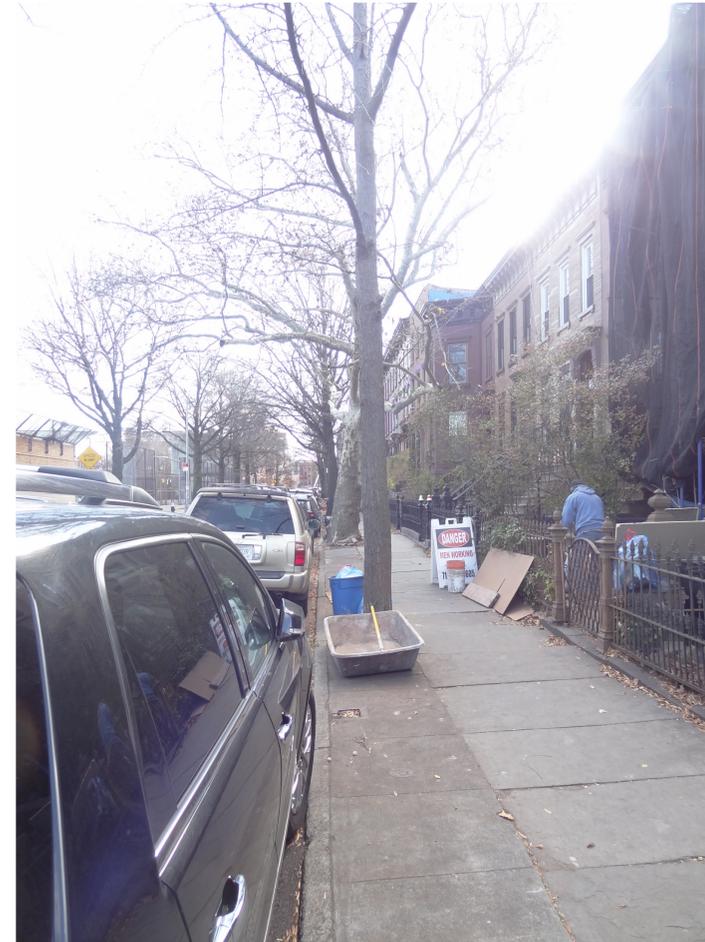
1 PROPOSED BUILDING SECTION
 1/4"=1'-0"



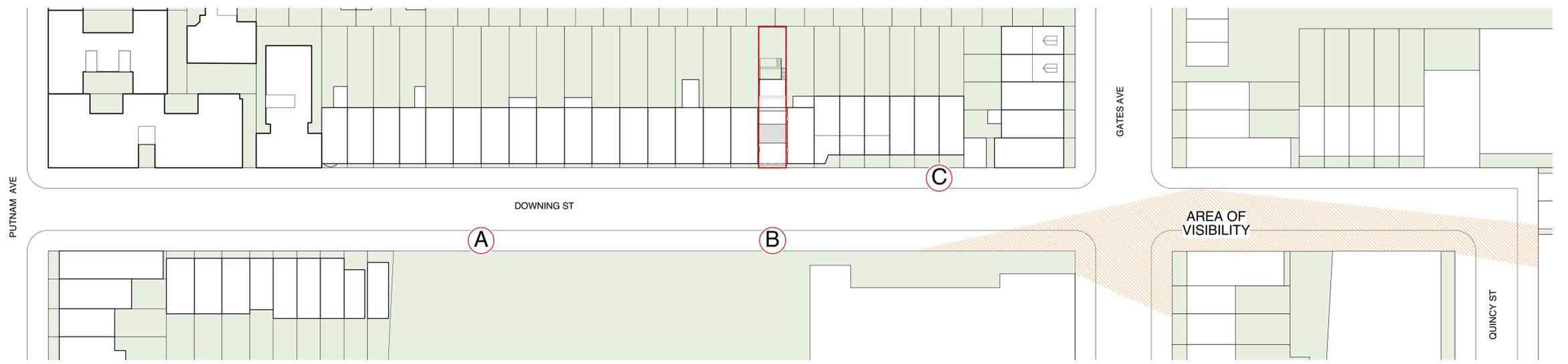
STREET VIEW A



STREET VIEW B



STREET VIEW C



KEY MAP

NV/design.architecture
 6 Maiden Lane Suite 400
 New York 10038
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48 DOWNING ST
 Brooklyn, NY 11238

**PENTHOUSE MOCKUP:
 IMAGES**

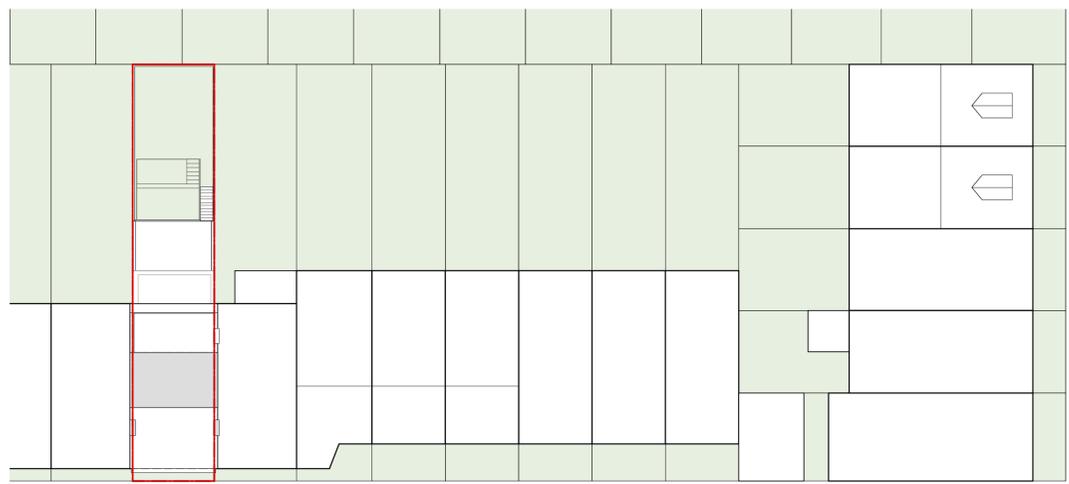
NOT FOR CONSTRUCTION

NYC LPC SUBMISSION: 09.22.2015
 REV# ISSUE DATE

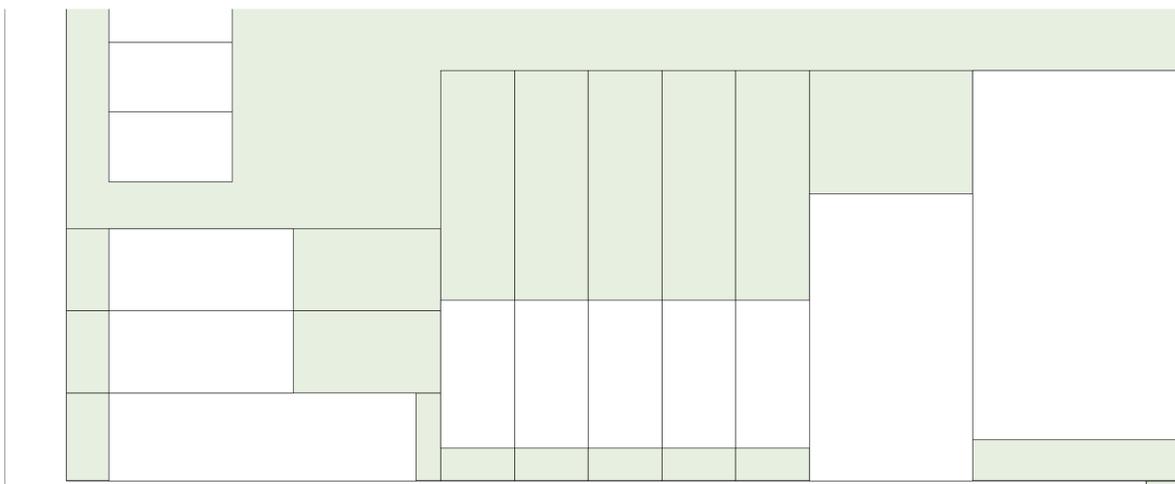
LPC09.00

NYC LPC SUBMISSION: 10.29.2015

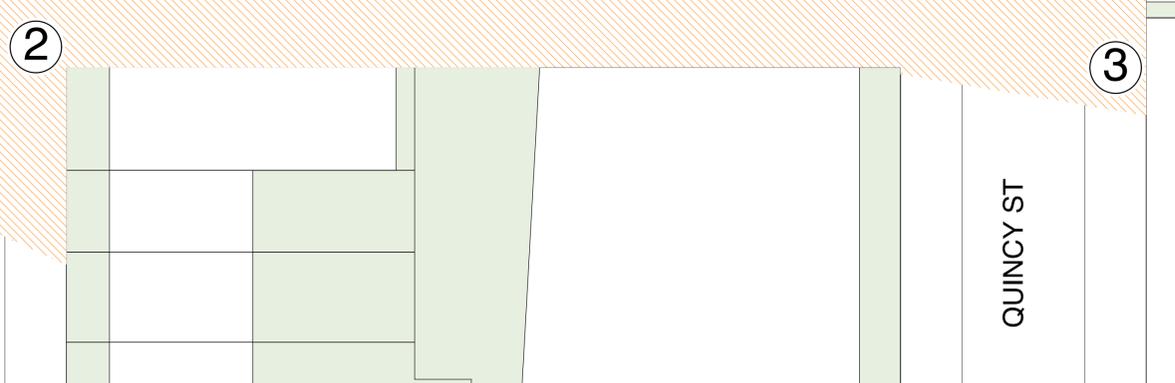
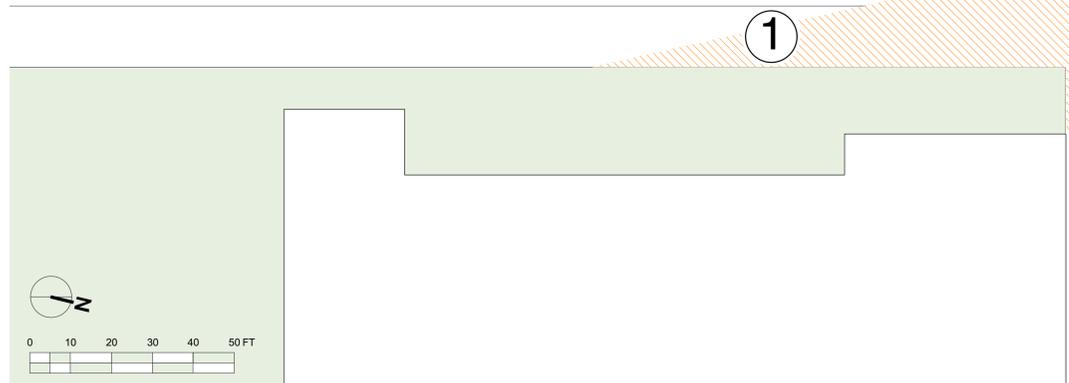
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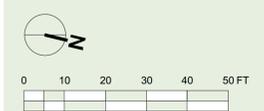
GATES AVE



DOWNING ST



QUINCY ST



AREA OF VISIBILITY OF VERTICAL ADDITION

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**PENTHOUSE MOCKUP:
 IMAGE KEY MAP**

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REV#	ISSUE	DATE

NYC LPC SUBMISSION: 09.22.2015

LPC10.00

NYC LPC SUBMISSION: 10.29.2015

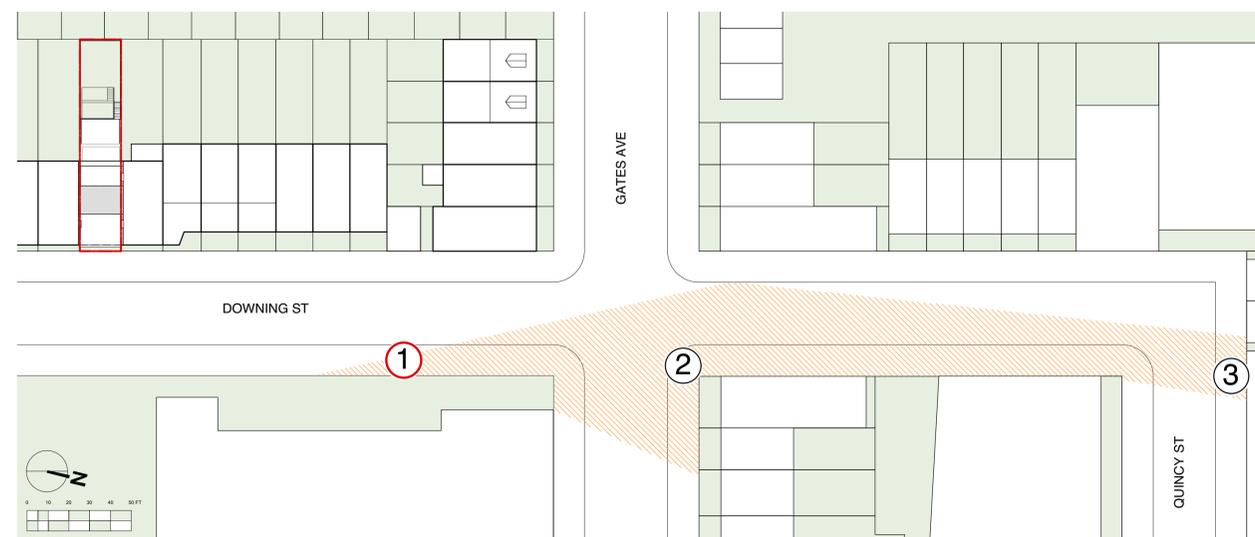
<small>NYC DOB NUMBER</small>	DWNG
<small>Scale:</small>	



STREET VIEW 1



ZOOMED-IN STREET VIEW 1



KEY MAP

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**PENTHOUSE MOCKUP:
 IMAGES**

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NYC LPC SUBMISSION: 09.22.2015
 REV# ISSUE DATE

LPC11.00

NYC LPC SUBMISSION: 10.29.2015

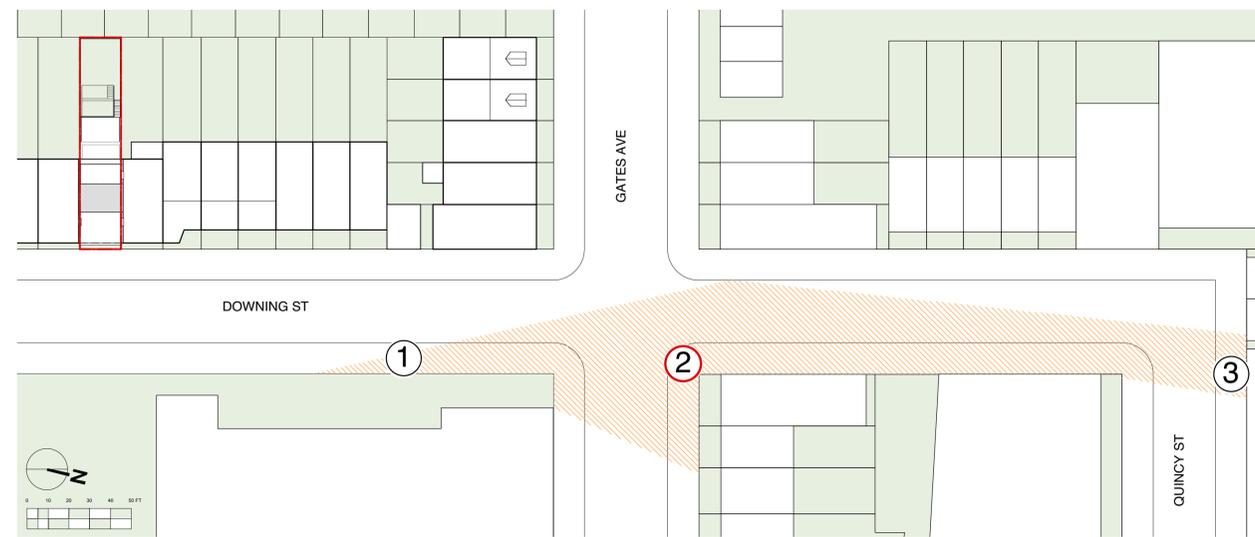
<small>NYC DOB NUMBER</small>	DWNG
	<small>Scale:</small>



STREET VIEW 2



ZOOMED-IN STREET VIEW 2



KEY MAP

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**PENTHOUSE MOCKUP:
 IMAGES**

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NYC LPC SUBMISSION: 09.22.2015
 REV# ISSUE DATE

LPC12.00

NYC LPC SUBMISSION: 10.29.2015

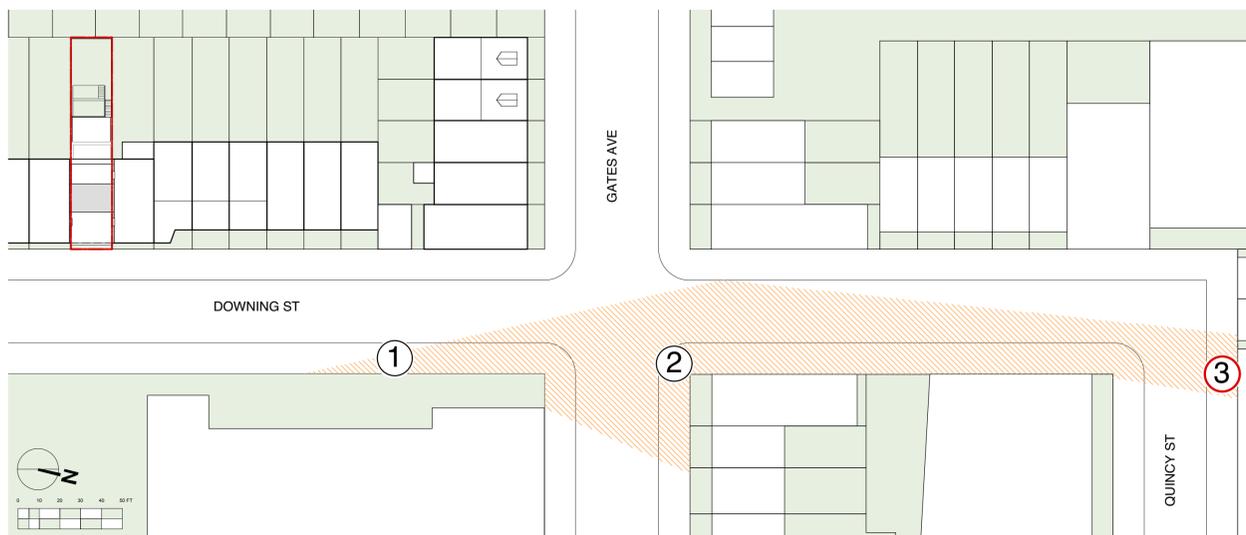
<small>NYC DOB NUMBER</small>	DWNG
	<small>Scale:</small>



STREET VIEW 3



ZOOMED-IN STREET VIEW 3



KEY MAP

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**PENTHOUSE MOCKUP:
 IMAGES**

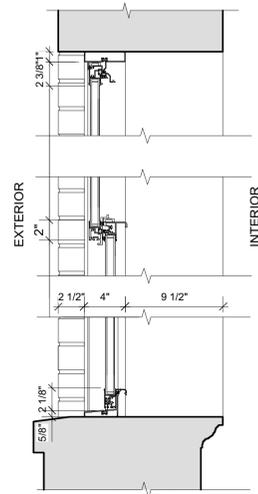
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NYC LPC SUBMISSION: 09.22.2015
 REV# ISSUE DATE

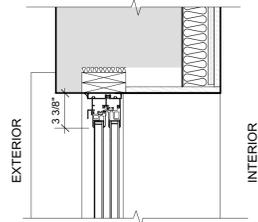
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NYC LPC SUBMISSION: 10.29.2015

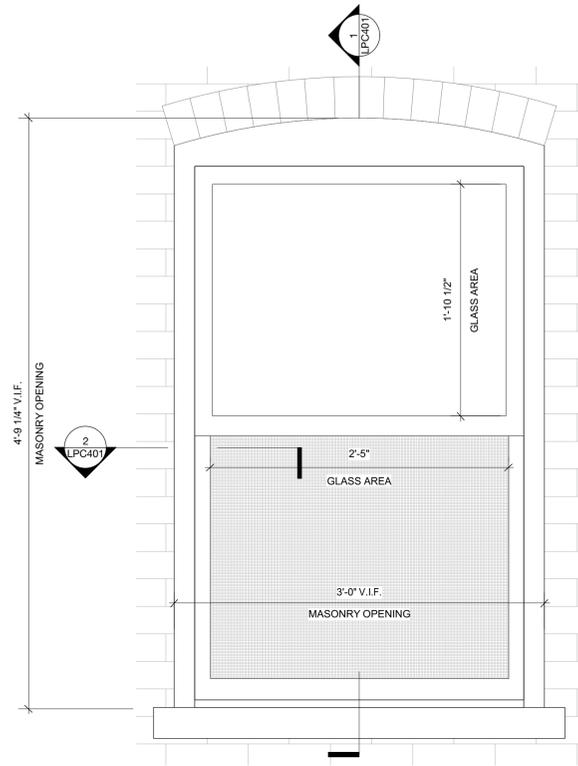
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	<small>Scale:</small>



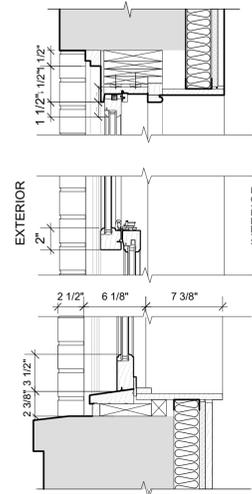
1 TYP. EXISTING WINDOW SECTION @ THIRD FLOOR
1 1/2" = 1'-0"



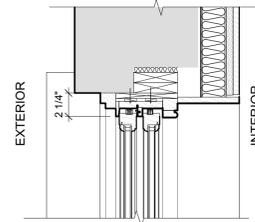
2 TYP. EXISTING WINDOW JAMB. @ THIRD FLOOR
1 1/2" = 1'-0"



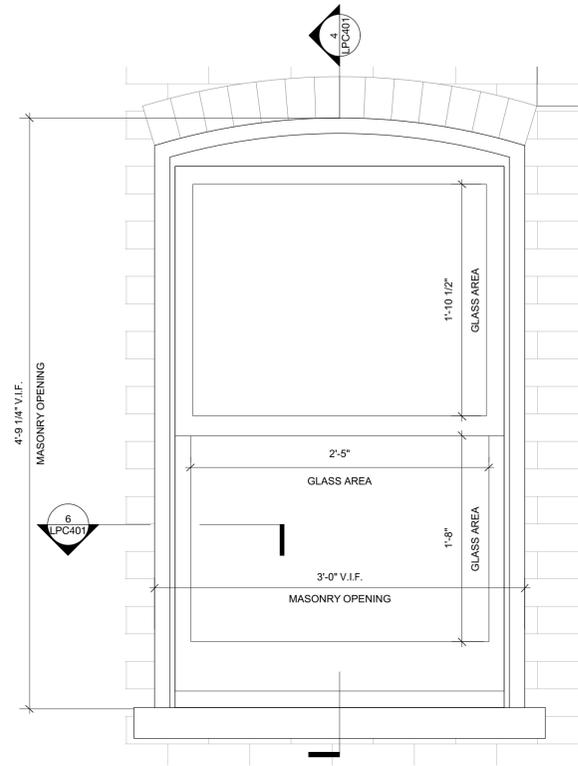
3 TYP. EXISTING ELEVATION: THIRD FLOOR WINDOW
1 1/2" = 1'-0"



4 TYP. PROPOSED WINDOW SECT. @ THIRD FLOOR
1 1/2" = 1'-0"



5 TYP. PROPOSED WINDOW JAMB @ THIRD FLOOR
1 1/2" = 1'-0"



6 TYP. PROPOSED ELEVATION: THIRD FLOOR WINDOW
1 1/2" = 1'-0"

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**WINDOW DETAILS
@ BRICK**

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REV# ISSUE DATE

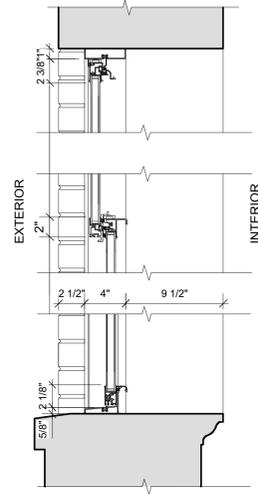
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NYC LPC SUBMISSION: 10.29.2015

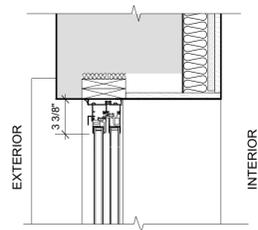
NYC DOB NUMBER

DWNG

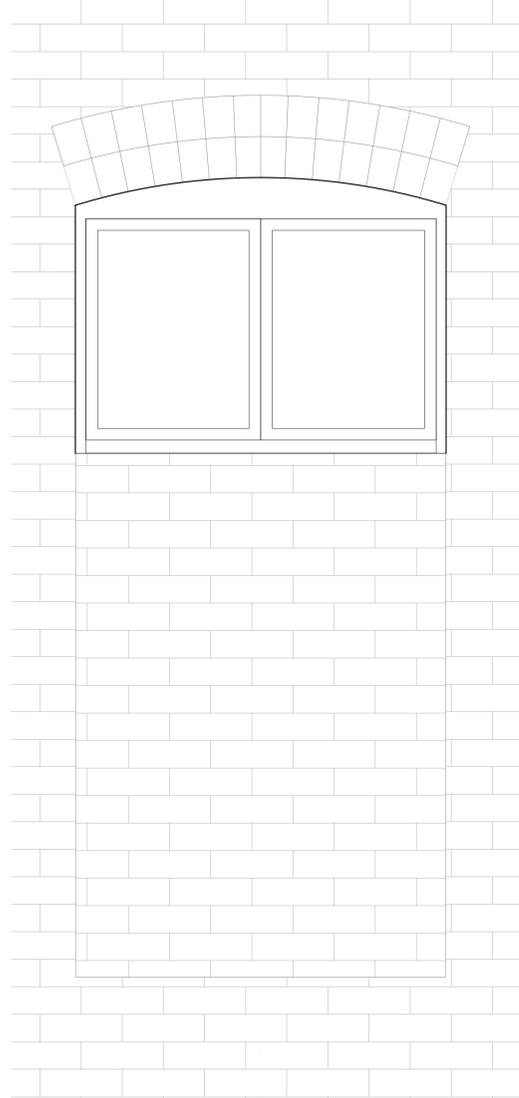
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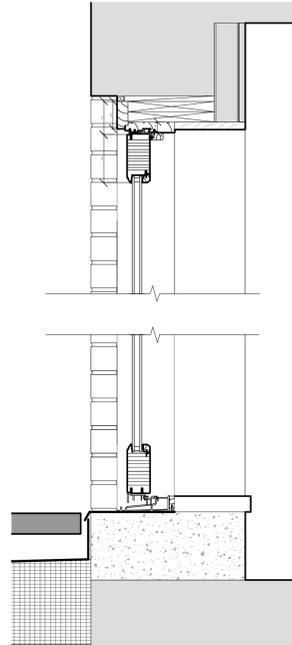
1 TYP. EXISTING WINDOW SECTION @ 2ND FLOOR
1 1/2" = 1'-0"



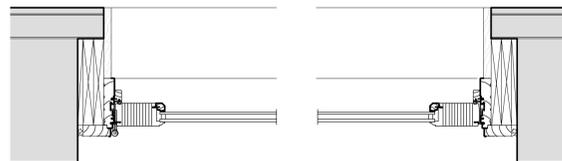
2 TYP. EXISTING WINDOW JAMB. @ 2ND FLOOR
1 1/2" = 1'-0"



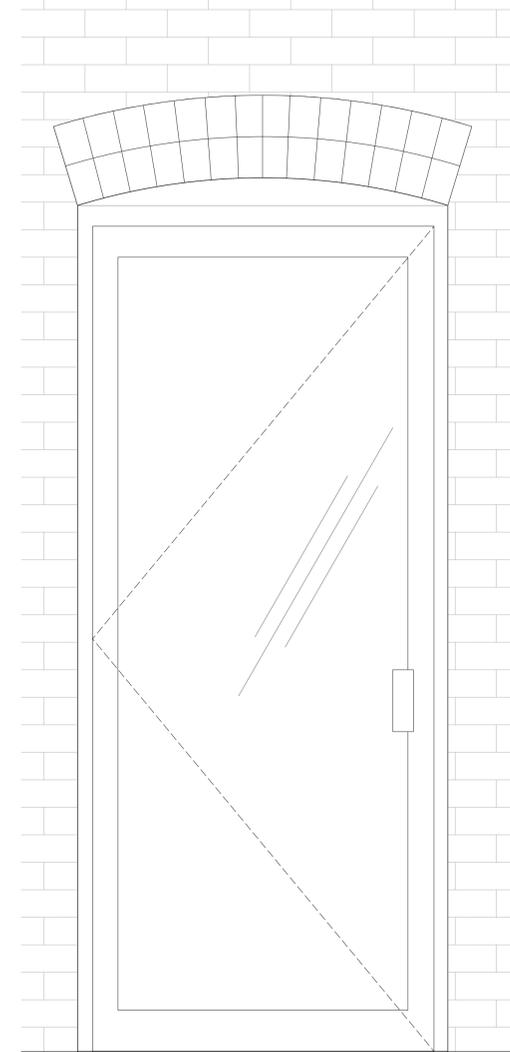
3 EXISTING ELEVATION: SECOND FLOOR WINDOW
1-1/2" = 1'-0"



4 TYP. PROPOSED DOOR SECTION @ SECOND FLOOR
1 1/2" = 1'-0"



5 TYP. PROPOSED DOOR SECTION @ SECOND FLOOR
1 1/2" = 1'-0"



6 TYP. PROPOSED ELEVATION: SECOND FLOOR WINDOWS
1-1/2" = 1'-0"

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**WINDOW DETAILS
@ BRICK**

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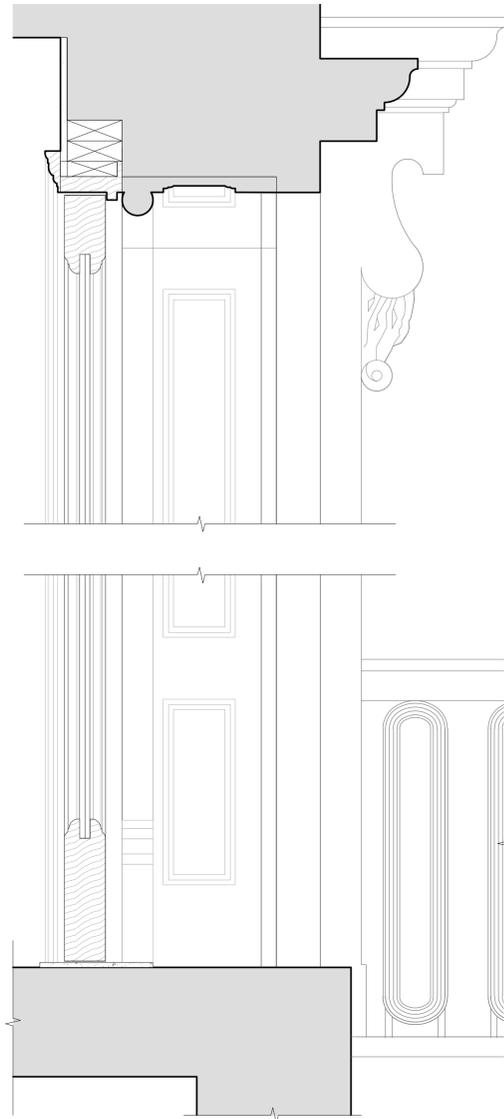
LPC402.00

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NYC DOB NUMBER

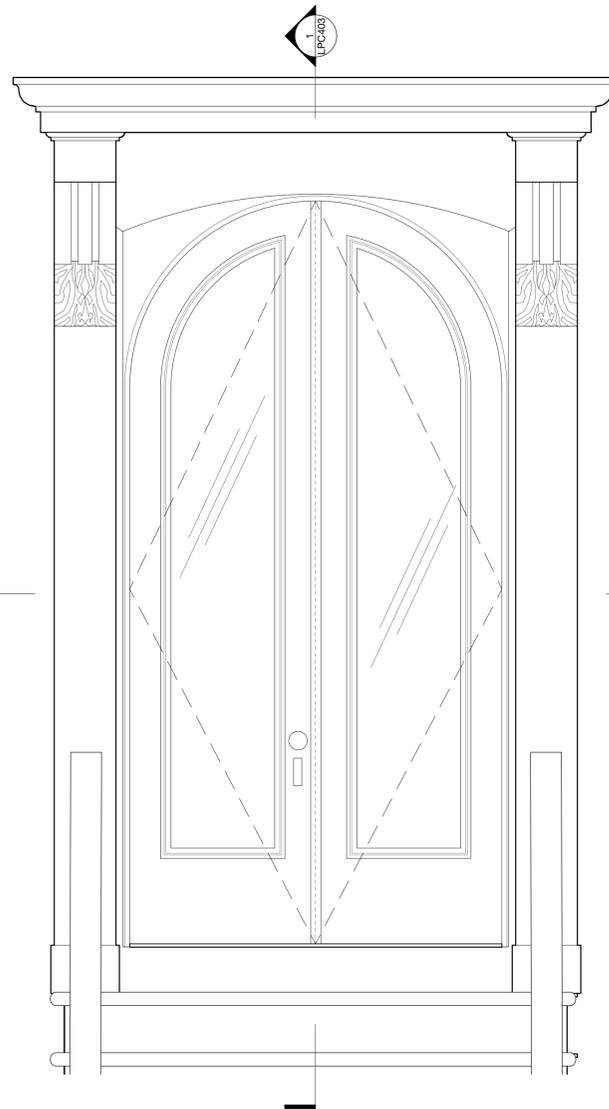
DWNG

Scale:

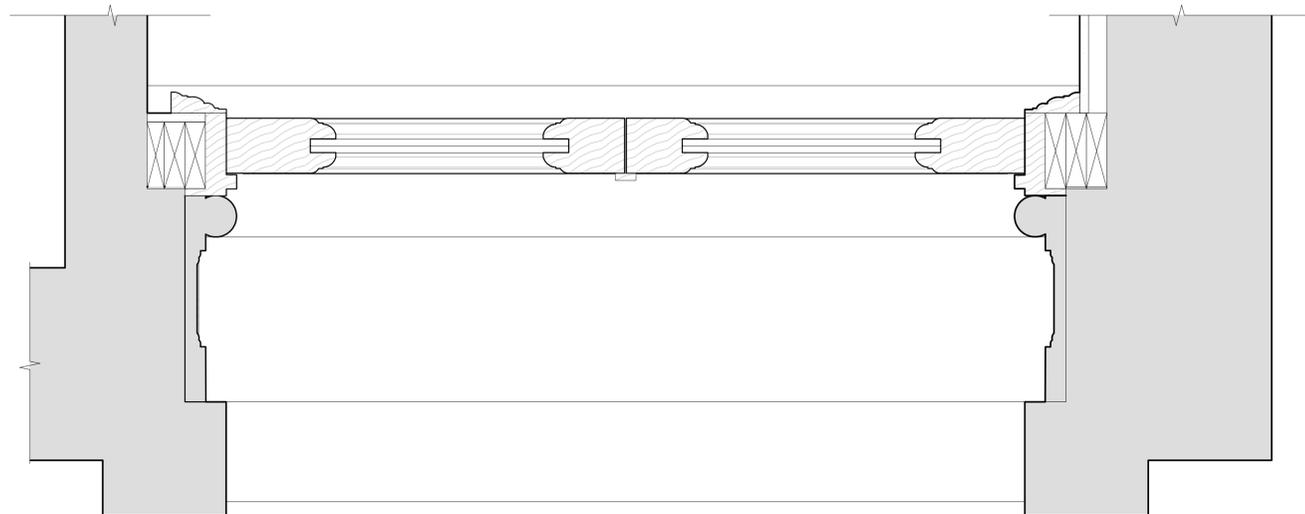


1 VERTICAL SECTION @ ENTRY DOOR
1 1/2" = 1'-0"

2
LPC403



3 ELEV. OF ENTRY DOOR
1" = 1'-0"



2 HORIZONTAL SECT. @ ENTRY DOOR
1 1/2" = 1'-0"

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DOOR DETAILS @ ENTRY

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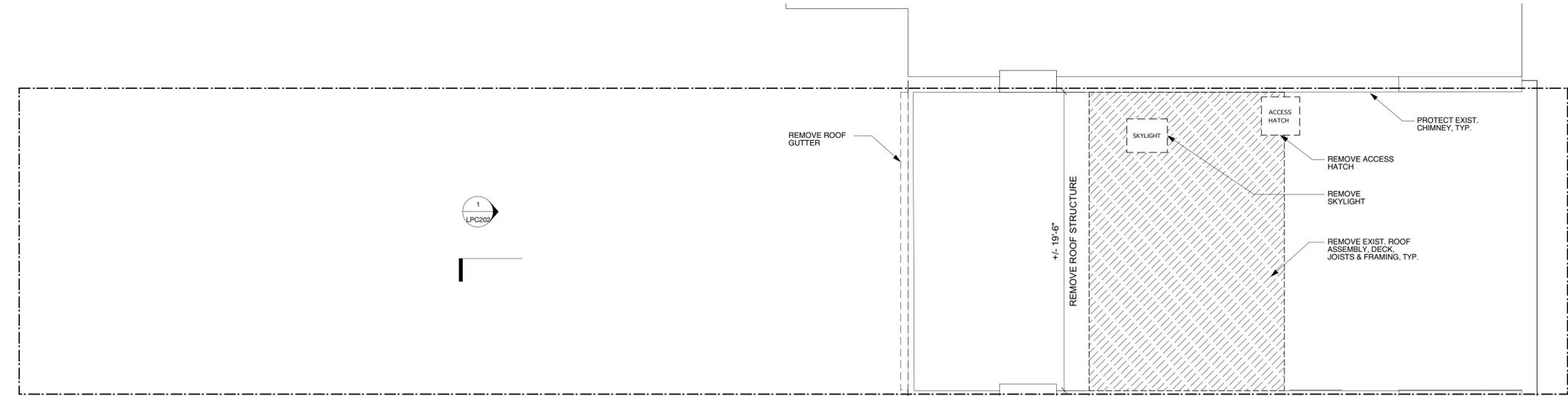
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LPC403.00

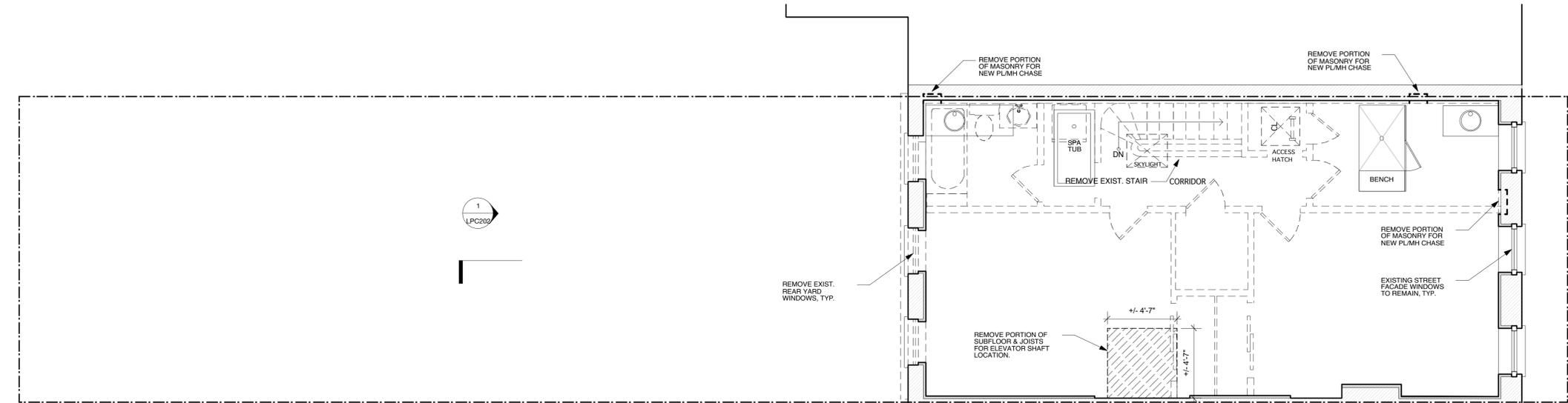
NYC LPC SUBMISSION: 10.29.2015

<small>NYC DOB NUMBER</small>	DWNG
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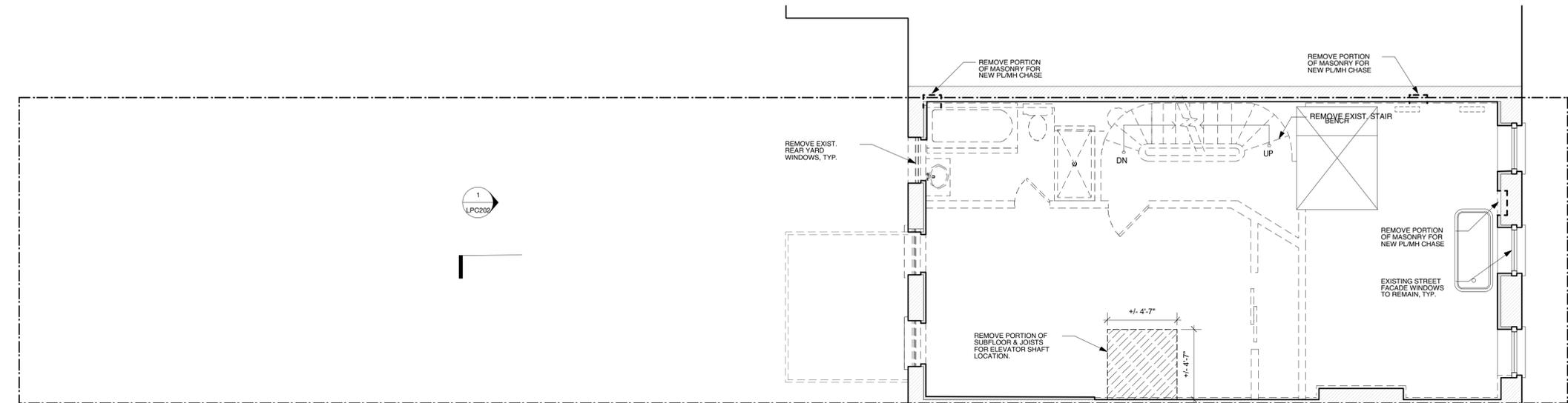
LEGEND	
	EXISTING PARTITION TO REMAIN
	REMOVE EXISTING PARTITION
	EXISTING MASONRY WALL TO REMAIN
	REMOVE EXISTING MASONRY WALL. SEE STRUCTURAL DWGS.
	REMOVE ROOF ASSEMBLY, DECK & JOISTS. SEE STRUCTURAL DWGS.
	EXCAVATE & REMOVE EXIST. CONCRETE SLAB/ FILL & EARTH. PROVIDE TEMPORARY SUPPORT.



3 DEMOLITION PLAN: ROOF
1/4"=1'-0"



2 DEMOLITION PLAN: 3RD FLOOR
1/4"=1'-0"



1 DEMOLITION PLAN: SECOND FLOOR
1/4"=1'-0"

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DEMOLITION PLANS

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DM102.00

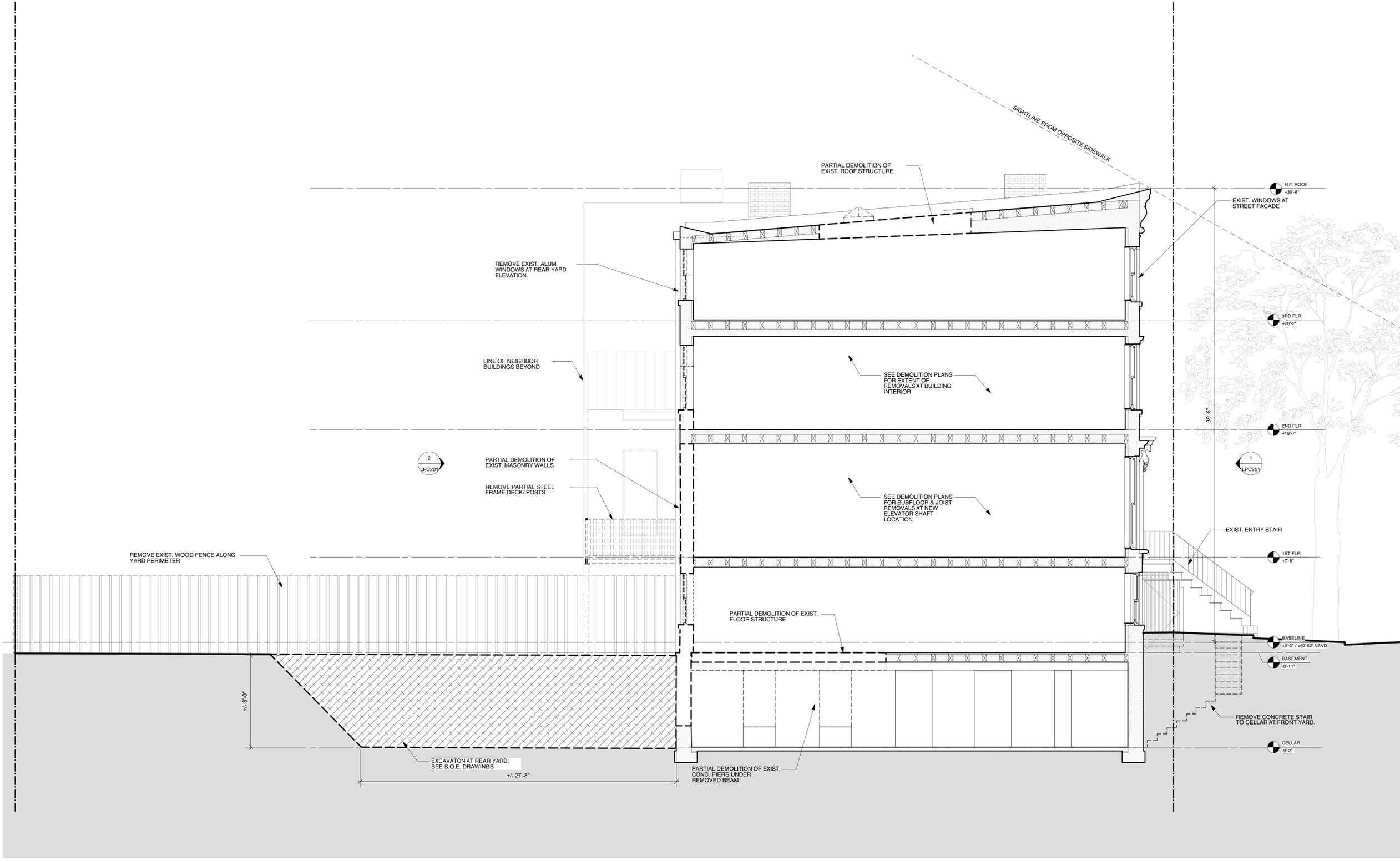
NYC LPC SUBMISSION: 10.29.2015

NYC DOB NUMBER

DWNG

Scale:

LEGEND	
	EXISTING PARTITION TO REMAIN
	REMOVE EXISTING PARTITION
	EXISTING MASONRY WALL TO REMAIN
	REMOVE EXISTING MASONRY WALL. SEE STRUCTURAL DWGS.
	REMOVE ROOF ASSEMBLY, DECK & JOISTS. SEE STRUCTURAL DWGS.
	EXCAVATE & REMOVE EXIST. CONCRETE SLAB/FILL & EARTH. PROVIDE TEMPORARY SUPPORT.



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DEMO BUILDING SECTION

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 REV# ISSUE DATE

DM301.00

NYC LPC SUBMISSION: 10.29.2015

NYC DOB NUMBER	DWNG
Scale:	

1 EXISTING BUILDING SECTION
 1/4"=1'-0"