



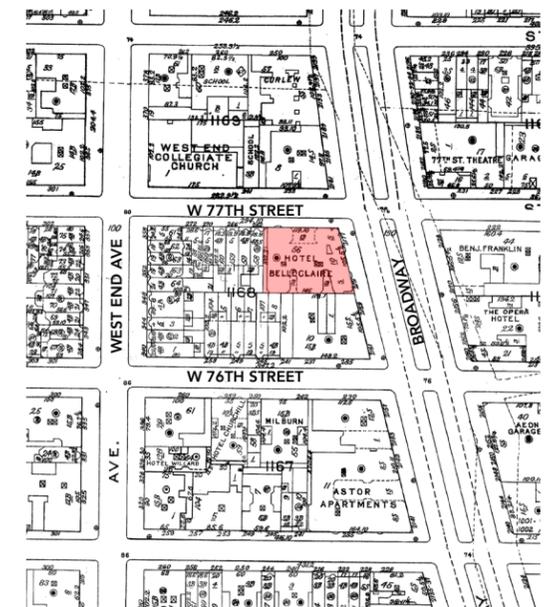
PHOTOGRAPH OF NORTHEAST CORNER C.1914  
Collection of the New-York Historical Society



PHOTOGRAPH OF NORTHEAST CORNER C.2015



HISTORICAL ADVERTISING



MAP OF PROJECT LOCATION - NOT TO SCALE



PHOTOGRAPH OF NORTHEAST CORNER C.1910  
Collection of the New-York Historical Society



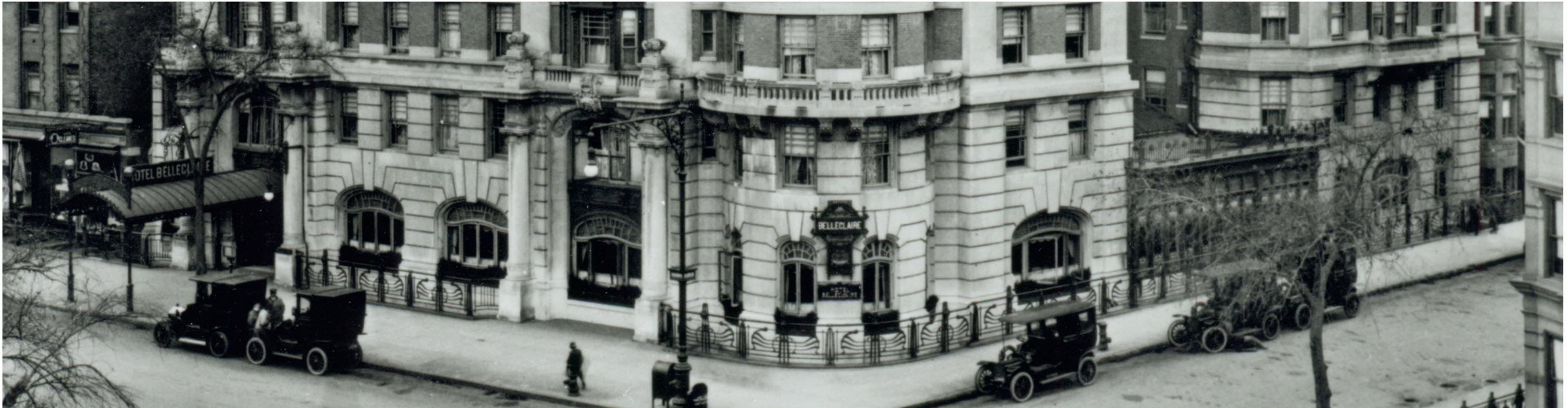
PHOTOGRAPH OF NORTHEAST CORNER C.1930  
Peysers & Patzig / Library of Congress



PHOTOGRAPH OF NORTHEAST CORNER C.1970S



PHOTOGRAPH OF STOREFRONT C.1910  
Collection of the New-York Historical Society



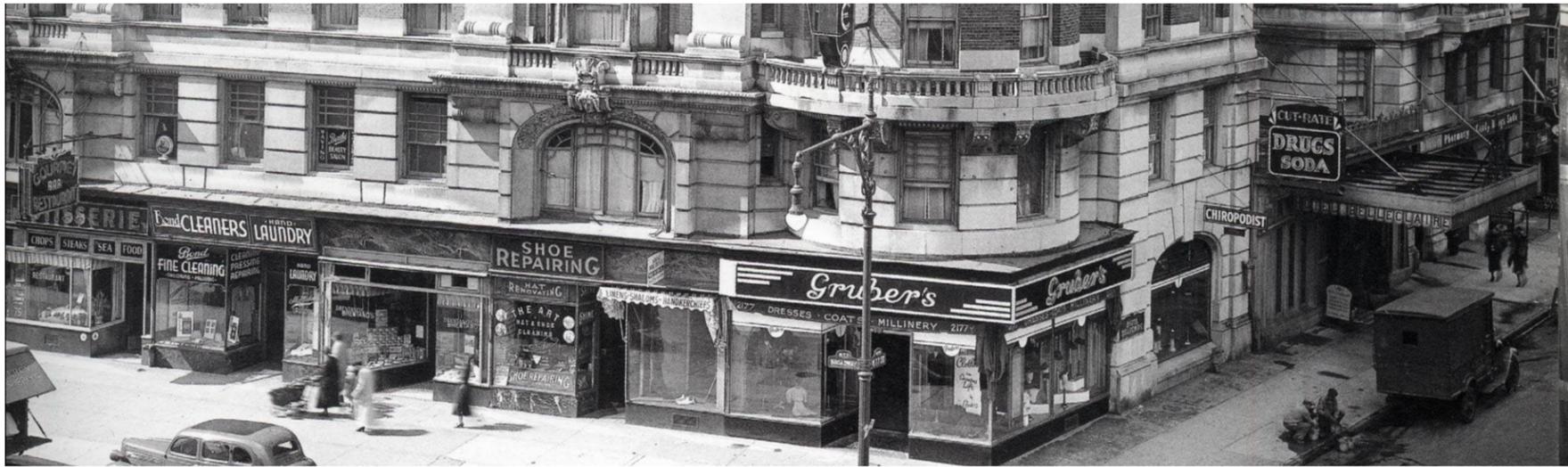
PHOTOGRAPH OF STOREFRONT C.1914  
Collection of the New-York Historical Society

Designed by Emery Roth, 1901-03

## HOTEL BELLECLAIRE

250 West 77th Street, New York, NY 10024  
Feb 04, 2016

## HISTORICAL PHOTOGRAPHS



PHOTOGRAPH OF STOREFRONT C.1930



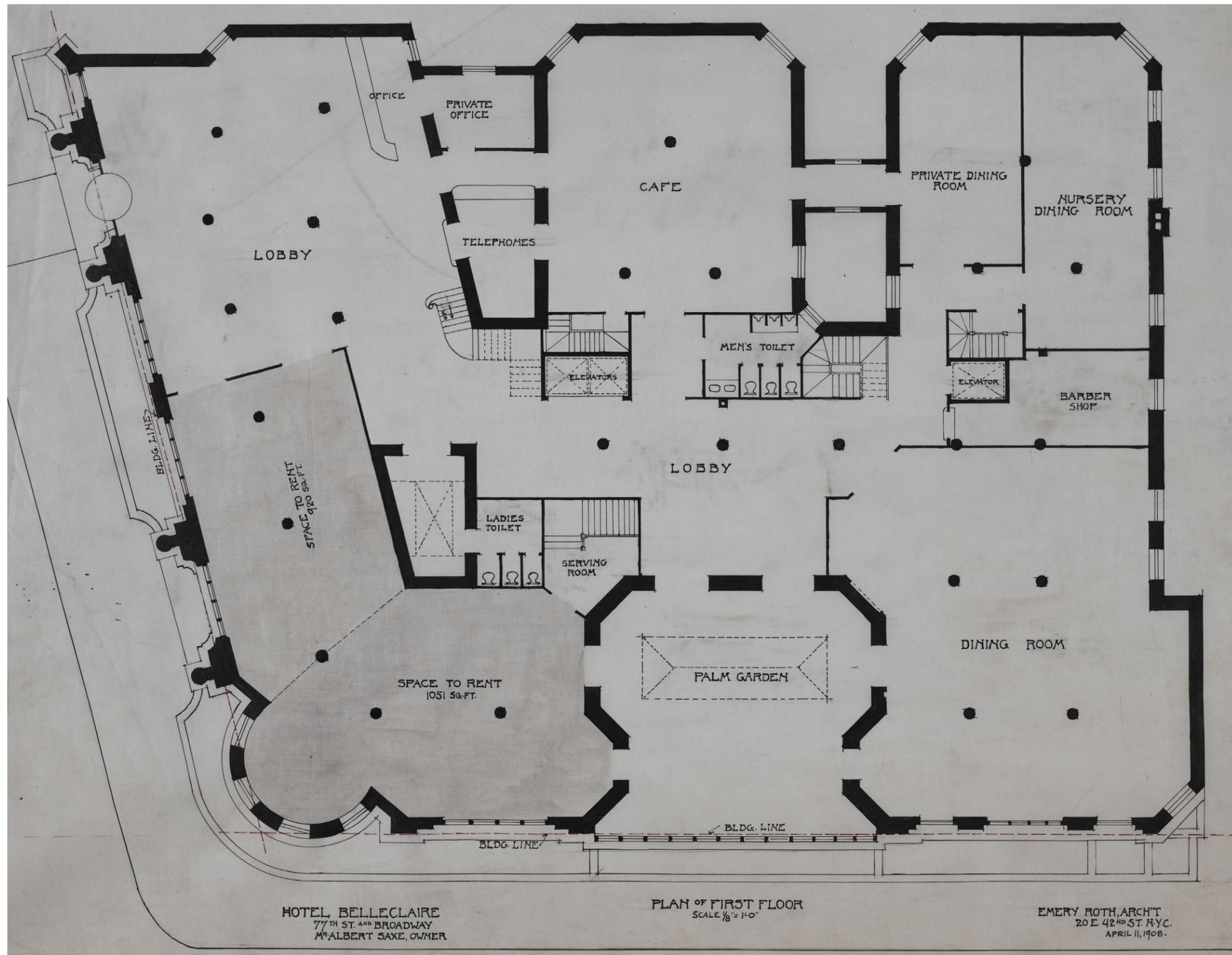
PHOTOGRAPH OF STOREFRONT C.1970



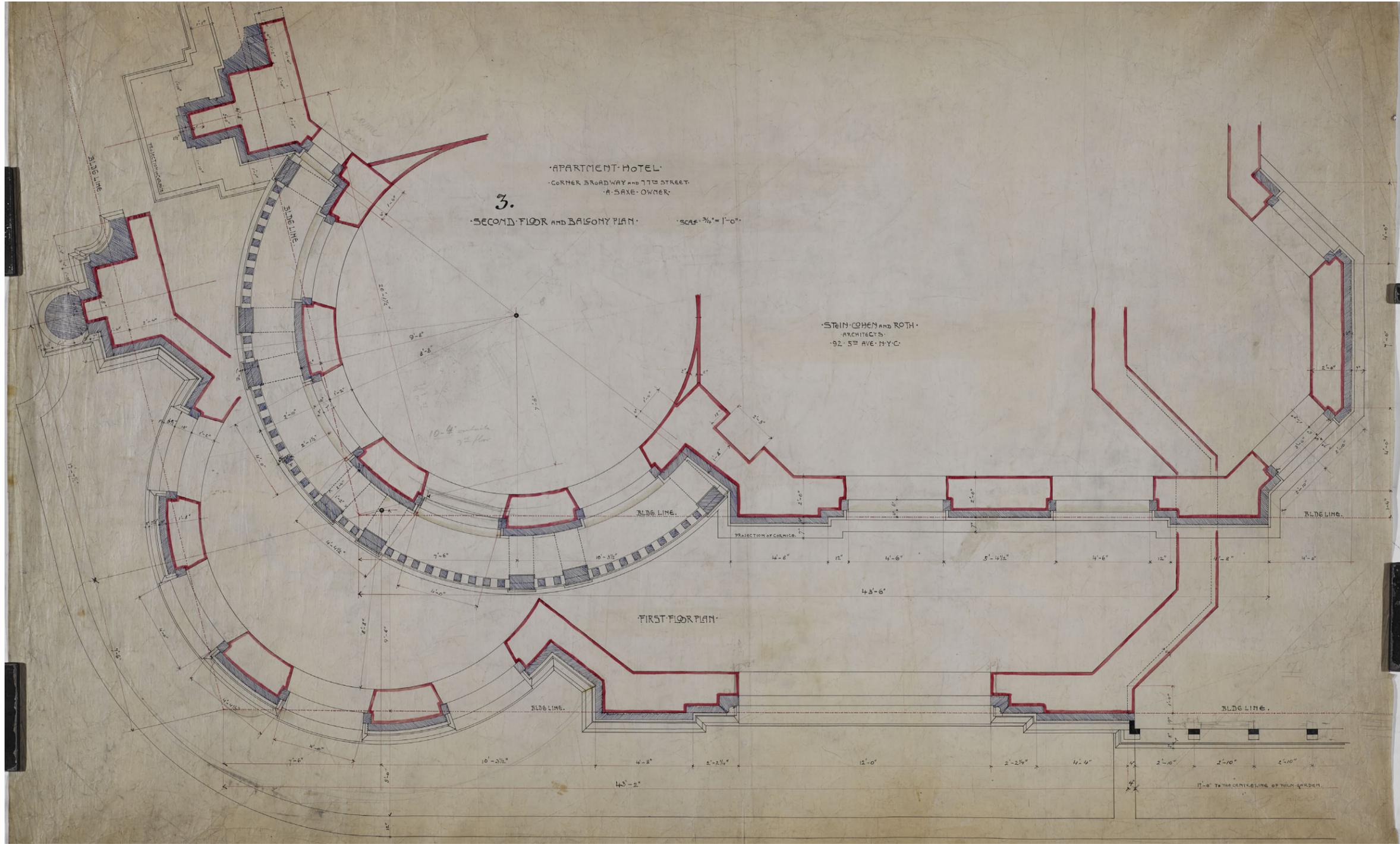
PHOTOGRAPH OF STOREFRONT C.2015



POSTCARD C. 1930s  
New York Public Library



HISTORICAL DRAWING - PLAN OF FIRST FLOOR



HISTORICAL DRAWING - CORNER BROADWAY AND 77TH STREET



EXISTING STOREFRONT PHOTOGRAPHS ON BROADWAY



EXISTING STOREFRONT PHOTOGRAPHS ON BROADWAY



EXISTING STOREFRONT PHOTOGRAPHS ON BROADWAY



EXISTING STOREFRONT PHOTOGRAPHS ON BROADWAY



EXISTING STOREFRONT PHOTOGRAPHS ON BROADWAY



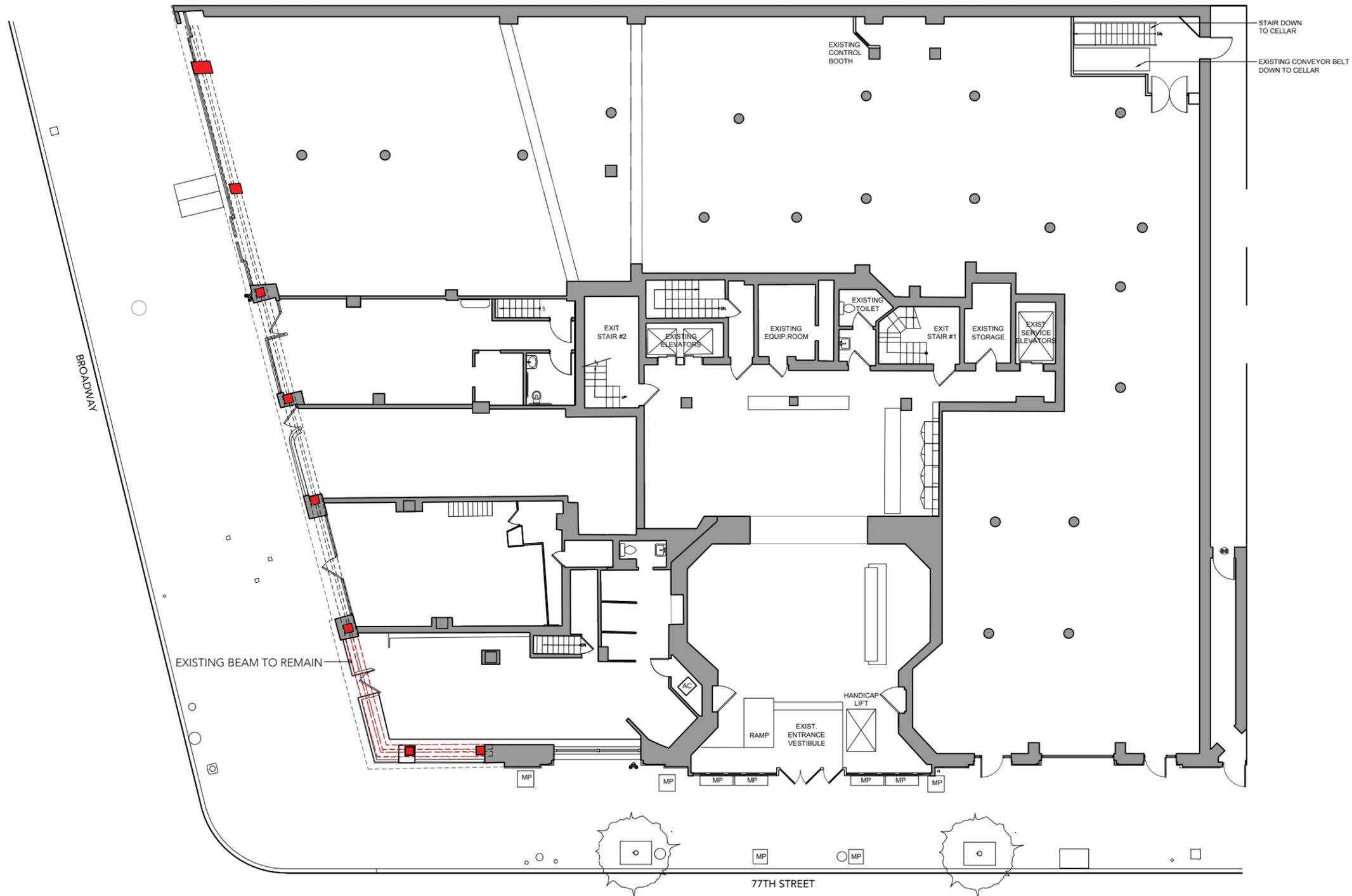
EXISTING STOREFRONT PHOTOGRAPHS ON 77TH STREET



EXISTING STOREFRONT PHOTOGRAPHS ON 77TH STREET



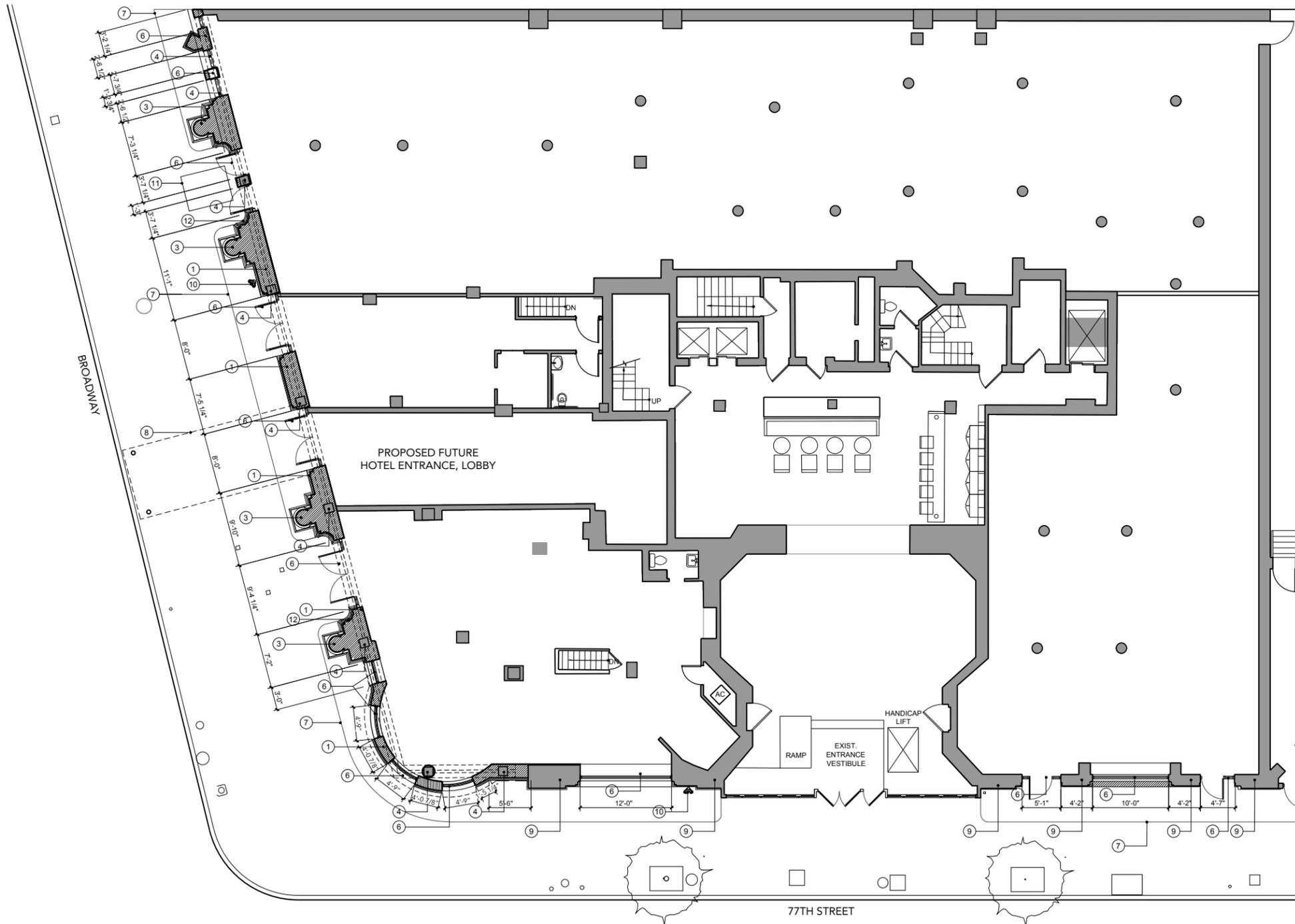
EXISTING STOREFRONT PHOTOGRAPHS ON 77TH STREET



EXISTING COLUMN TO REMAIN

**EXISTING GROUND FLOOR PLAN**  
Scale: 1/16" = 1'-0"





**PROPOSED AMENDMENTS**

- ① NEWLY RECONSTRUCTED STONE PANELED EXTERIOR WALL LIMESTONE FINISH + COLOR TO MATCH EXISTING.
- ② NEW STONE PANEL OR CORNICE AS SHOWN ON PLANS AND ELEVATIONS.
- ③ PROPOSED PROFILE OF RECONSTRUCTED DECORATIVE COLUMNS AND PILASTERS.
- ④ EXISTING COLUMNS TO REMAIN. SIZE AND LOCATIONS OF COLUMNS TO BE VERIFIED IN FIELD.
- ⑤ EXISTING BEAMS TO REMAIN. SIZE AND ELEVATION OF BEAMS TO BE VERIFIED IN FIELD.
- ⑥ NEW WOOD WINDOWS AND DOORS AS SHOWN ON PLANS AND ELEVATIONS.
- ⑦ LINE OF NEW SIDEWALK TREATMENT / STONE
- ⑧ PROPOSED RECONSTRUCTED HOTEL MARQUEE WITH AMBIENT LIGHTING AS SHOWN ON 01/P.19.
- ⑨ AREA OF PATCHING/ REPAIRING EXISTING STONE.
- ⑩ RELOCATED STANDPIPE. LOCATION TO BE VERIFIED WITH ENGINEER.
- ⑪ NEW SIDEWALK AT PREVIOUS HATCH LOCATION.
- ⑫ NEW FROST PROOF HOSE BIB.

**CONSTRUCTION LEGEND**

- EXISTING
- ▨ NEW WALL CONSTRUCTION

**PROPOSED GROUND FLOOR PLAN**

Scale: 1/16" = 1'-0"



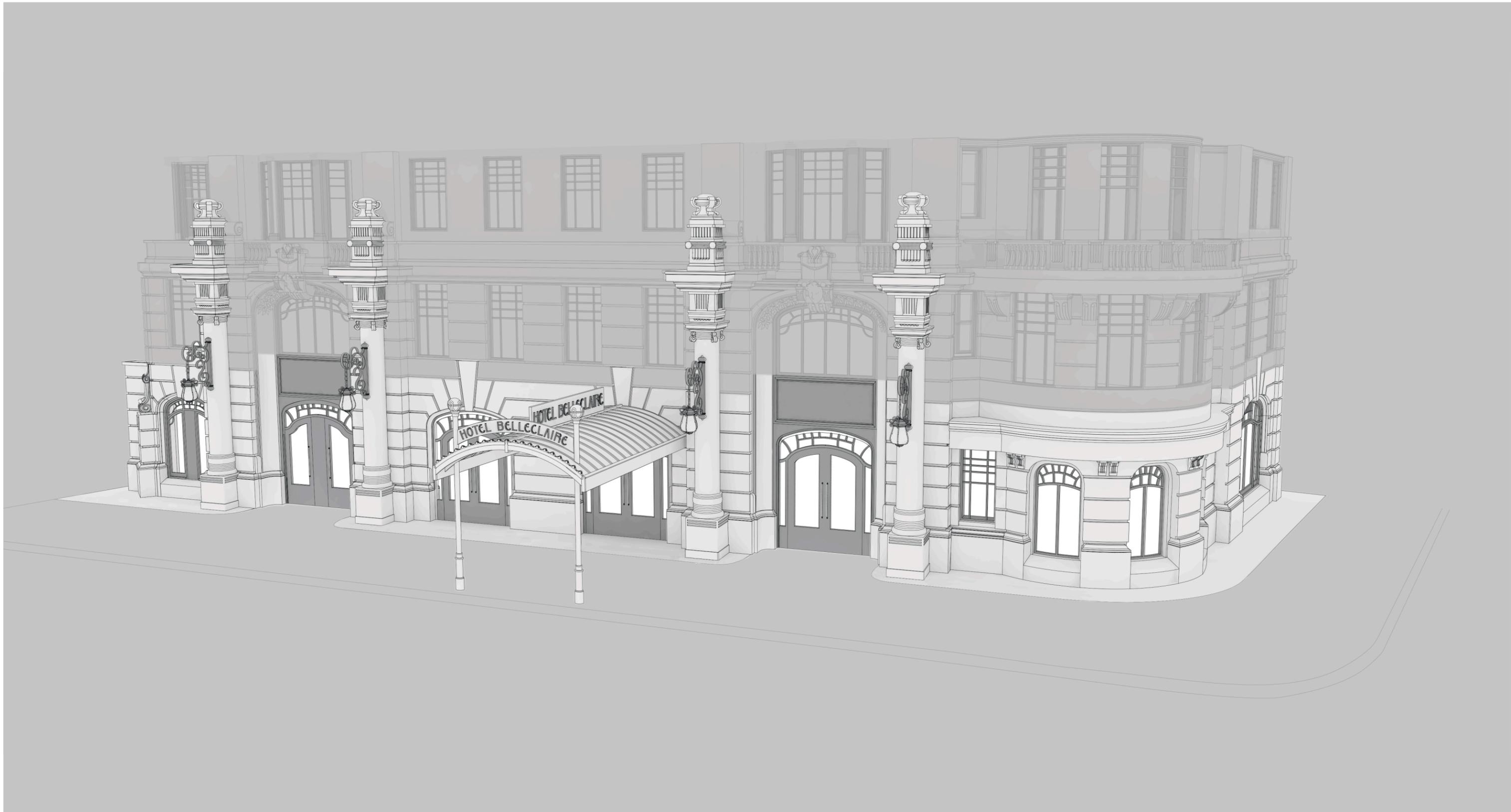


EXISTING

## HOTEL BELLECLAIRE

250 West 77th Street, New York, NY 10024  
Feb 04, 2016

## EXISTING CONDITIONS



PROPOSED SCOPE OF MAJOR RESTORATIVE WORK

## HOTEL BELLECLAIRE

250 West 77th Street, New York, NY 10024  
Feb 04, 2016

## PROPOSED SCOPE OF WORK



PROPOSED STOREFRONT RENDERING

## HOTEL BELLECLAIRE

250 West 77th Street, New York, NY 10024  
Feb 04, 2016

## PROPOSED SCOPE OF WORK

PROPOSED AMENDMENTS

- ① NEWLY RECONSTRUCTED STONE PANELED EXTERIOR WALL - LIMESTONE TO MATCH EXISTING.
- ② NEW STONE PANEL, CORNICE OR COPING AS SHOWN ON DRAWINGS - LIMESTONE TO MATCH EXISTING.
- ③ PROPOSED PROFILE OF RECONSTRUCTED DECORATIVE COLUMNS AND PLASTERS. REFER ELEVATION.
- ④ NEW WOOD WINDOWS AND DOORS AS SHOWN ON PLANS AND ELEVATIONS.
- ⑤ PROPOSED FUTURE RECONSTRUCTED HOTEL MARQUEE AS SHOWN ON PLANS AND ELEVATIONS.
- ⑥ NEW LIGHT FIXTURE AS SHOWN ON PLANS AND ELEVATIONS.
- ⑦ RELOCATED STANDPIPE. LOCATION TO BE VERIFIED BY ENGINEER.
- ⑧ AREA OF CLEANING/ PATCHING + REPAIR OF EXISTING LIMESTONE. CLEAN LIMESTONE TO BE FREE OF PAINT COATING, SOOT AND ALGAE USING GENTLEST MEANS POSSIBLE. INCONSPICUOUS SAMPLE PAINT/ TAR/ ALGAE REMOVAL AREAS ARE TO BE MADE BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT AND THE HISTORIC PRESERVATION CONSULTANT. SEE INSTRUCTIONS FOR MASONRY RESTORATION AND CLEANING.
- ⑨ NEW PRESSED METAL PANEL - PAINTED BLACK TO MATCH WOOD FRAMED WINDOWS AND DOORS.
- ⑩ NEW GFRP CORNICE @ ROUNDED CORNER - FINISH COLOR AND TEXTURE TO MATCH STONE.
- ⑪ NEW 4" STONE COPING CAP.

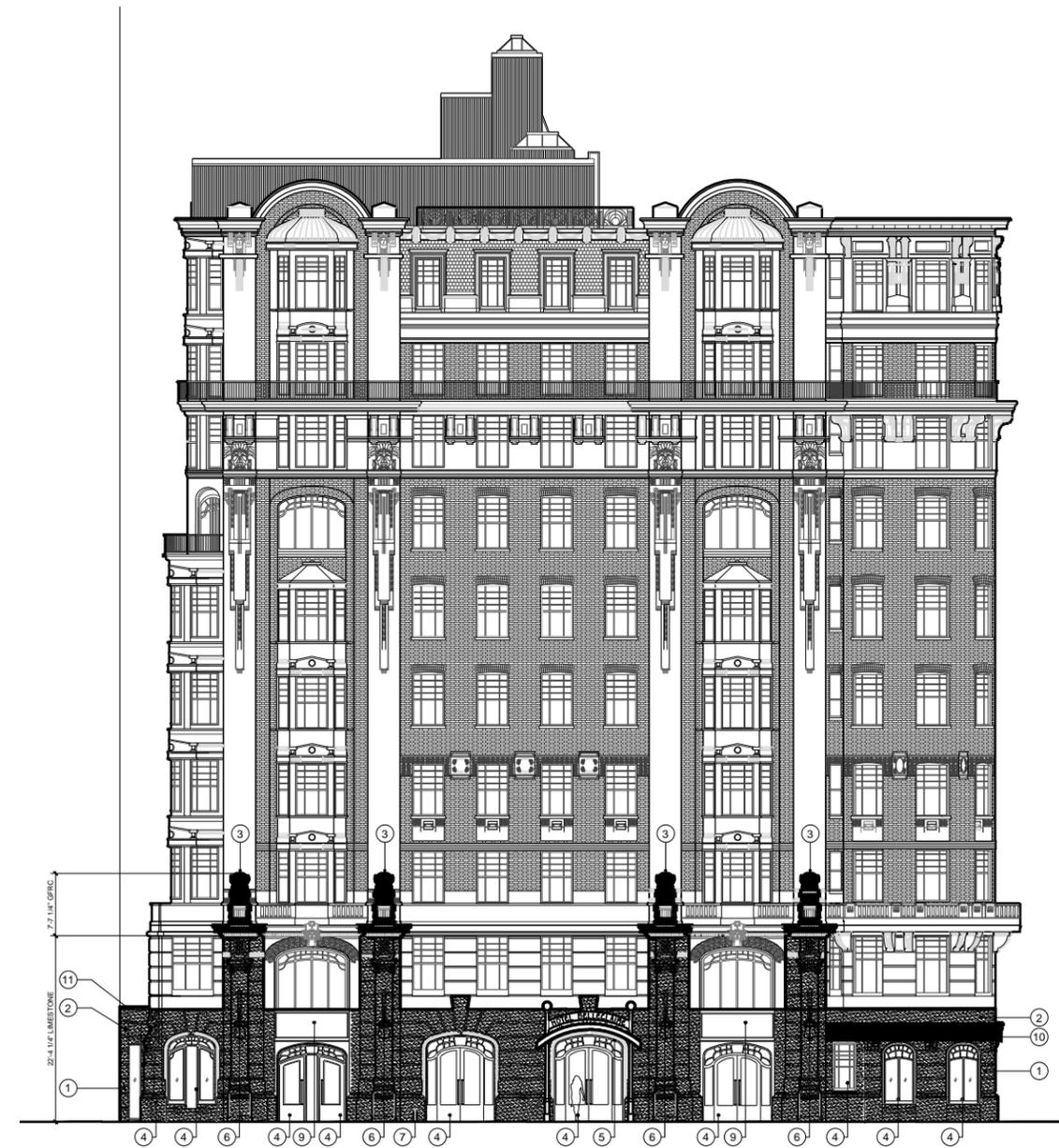
INSTRUCTIONS FOR MASONRY RESTORATION AND CLEANING

- ① ALL NEW STONE WALL PANELS AT GROUND FLOOR TO BE 6" INDIANA LIMESTONE AND DIMENSIONED AS REQUIRED AT EXTERIOR COLUMNS AND MASONRY OPENING DETAILS. SANDBLASTED FINISH ALL COLOR MATCHED TO EXISTING. ALL JOINT LINES TO BE 3/16" THICK TO MATCH EXISTING.
- ② ALL LIMESTONE RESTORATION AND CLEANING WORK SHOULD BE CONFORM TO NYC LANDMARKS PRESERVATION COMMISSION REQUIREMENTS AS FOUND IN APPLICATION GUIDELINES IN RESTORING ARCHITECTURAL FEATURES.
  - a. REFER P.6 OF THE GUIDELINES FOR THE RECOMMENDED METHODS OF STONE REPAIR AND RESURFACING SPECIFICATIONS.
  - b. REFER P.7 OF THE GUIDELINES FOR RECOMMENDED RE-POINTING AND MORTAR REMOVAL TECHNIQUES AS WELL AS A SOFT MORTAR MIX RECIPE FOR USE WITH THE LIMESTONE.
- ③ ALL LIMESTONE AND MASONRY COMPONENTS INCLUDING MORTAR TO MATCH THE EXISTING IN COLOR, TEXTURE, HARDNESS AND THE PROFILE OF THE FINISHED MORTAR JOINT.
- ④ CLEAN LIMESTONE TO BE FREE OF PAINT COATING, SOOT AND ALGAE USING GENTLEST MEANS POSSIBLE. INCONSPICUOUS SAMPLE PAINT/TAR/ALGAE REMOVAL AREAS ARE TO BE MADE BY THE CONTRACTOR AND APPROVED BY THE ARCHITECT AND THE HISTORIC PRESERVATION CONSULTANT.
- ⑤ PERFORM TEST CLEANING TO DEMONSTRATE/SELECT APPROPRIATE CLEANING MATERIALS, MIXES AND METHODS.
- ⑥ REPOINTING
  - a. EXISTING DEFECTIVE JOINTS TO BE SCRAPED OUT BY HAND BY SKILLED WORKERS. SPECIAL CARE TO BE TAKEN NOT TO CHIP THE EDGES OF THE STONE BLOCKS OR BRICKS OR ENLARGE THE ORIGINAL SPACING BETWEEN THEM. THE JOINTS MUST BE WETTED BEFORE REPOINTING AND THE MORTAR PRESSED WELL BACK INTO THE JOINTS.
  - b. PER NYC LPC GUIDELINES NEW SOFT MORTAR MIX FOR MOST 19TH CENTURY BUILDINGS TO CONSIST OF
    - 1 PART WHITE PORTLAND CEMENT,
    - 2-1/2 PARTS LIME
    - 5-6 PARTS SAND
 PARTS ARE BY VOLUME. MIX DRY INGREDIENTS FIRST, BEFORE ADDING POTABLE WATER. USE DRY PIGMENTS (NATURAL OR SYNTHETIC STABLE OXIDE PIGMENTS) TO TINE OR COLOR MORTAR. MIX ALL INGREDIENTS THOROUGHLY.
  - c. PER NYC LPC GUIDELINES NEW SOFT MORTAR MIX FOR 20TH CENTURY BUILDINGS, MORTAR MIX SHOULD CONSIST OF 1 PART LIME, OR THE EQUIVALENT OF TYPE N MORTAR.
- ⑦ THE FINISHED MORTAR SURFACE SHOULD BE TOOLED SO THAT THE MORTAR IS SLIGHTLY RECESSED BEHIND THE STONE OR BRICK SURFACE. ANY EXCESS MORTAR SHOULD BE CLEANED OFF THE FACE OF THE MASONRY, ALONG WITH THE FILM OF CEMENT OR LIME WHICH COMES TO THE SURFACE OF THE MORTAR. CLEANING SHOULD BE DONE WITH A STIFF BRISTLE BRUSH AFTER THE INITIAL SET HAS OCCURRED BUT BEFORE THE MORTAR IS FULLY HARDENED.
- ⑧ MASONRY CLEANERS, IN DILUTIONS SUITABLE FOR PROJECT CONDITIONS:
  - 1 MATERIALS:
    - a. ACIDIC CLEANER: SUREKLEAN HEAVY DUTY RESTORATION CLEANER BY PROSOCO, INC.
    - b. CHEMICAL PAINT REMOVER: THE CONTRACTOR SHALL TEST THE FOLLOWING PRODUCTS FOR EFFICACY AND SUITABILITY:
      - b.1 PEEL AWAY 1
      - b.2 PEEL AWAY 7
      - b.3 SMART STRIP
 TESTS SHALL BE PERFORMED AT TWO (2) LOCATIONS PER PRODUCT AND ON EACH TYPE OF EXISTING SURFACE AND COATING.
  - c. PREPARATION:
    - c.1 COVER AND PROTECT AREAS WHERE REMOVAL IS NOT DESIRED, INCLUDING ADJOINING SURFACES. USE POLYETHYLENE AND MASKING TAPE TO CREATE A BARRIER.
    - c.2 COVER PLANTS AND OTHER FOLIAGE DURING MATERIAL APPLICATION.
  - d. COMPLY WITH MANUFACTURER'S REQUIREMENTS AND TEST PATCH RESULTS FOR APPLICATION, DWELL TIME, REMOVAL, CLEANING, ETC.



EXISTING ELEVATION ON BROADWAY

Scale: 3/64" = 1'-0"



PROPOSED ELEVATION ON BROADWAY

Scale: 3/64" = 1'-0"

ELEVATION LEGEND

- NEW LIMESTONE
- NEW GFRP OR GFRP AS NOTED
- PATCH AND REPAIR EXISTING LIMESTONE

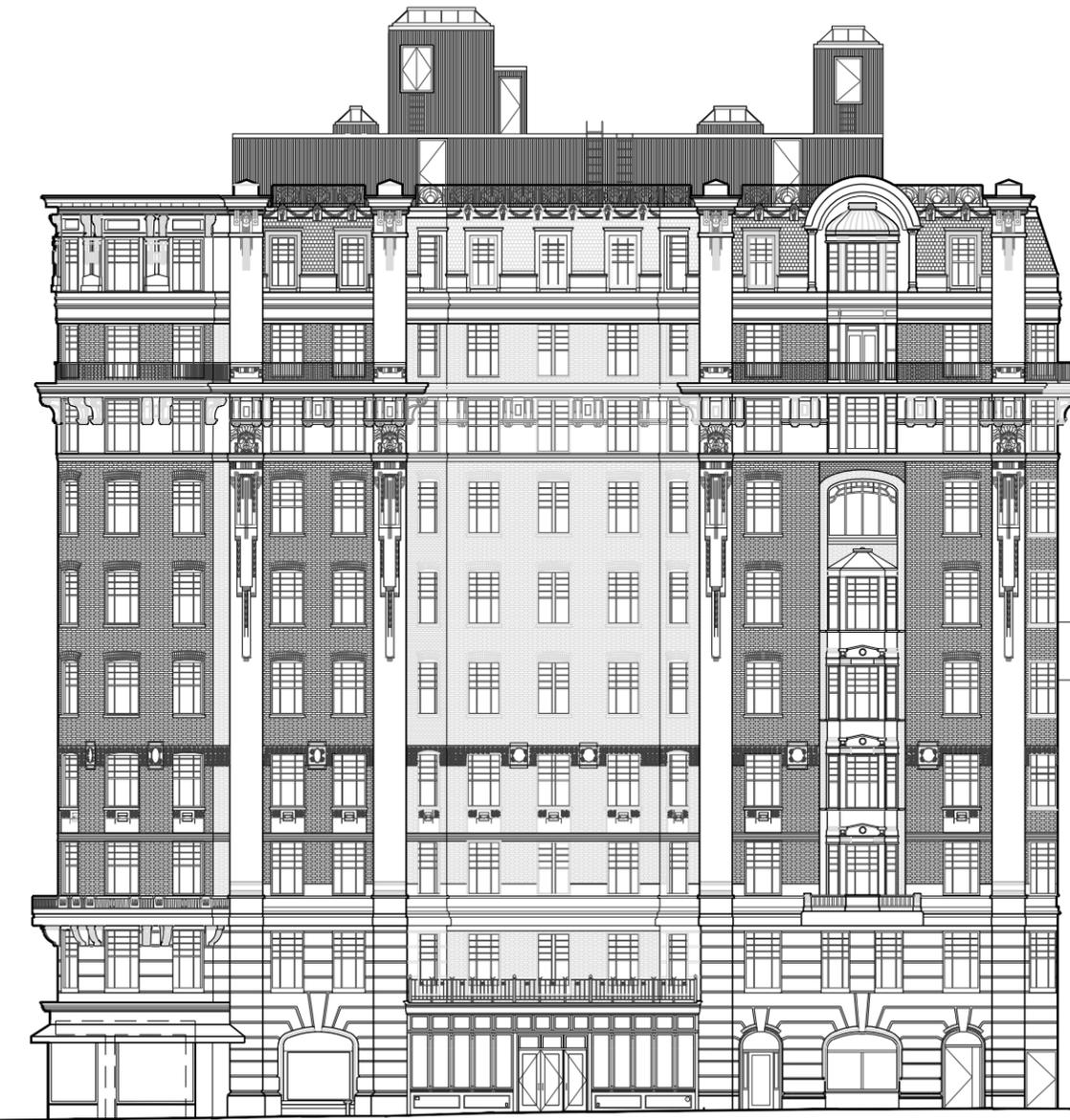


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  - c. PER NYC LPC GUIDELINES NEW SOFT MORTAR MIX FOR 20TH CENTURY BUILDINGS, MORTAR MIX SHOULD CONSIST OF 1 PART LIME, OR THE EQUIVALENT OF TYPE N MORTAR.
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EXISTING ELEVATION ON 77TH STREET  
Scale: 3/64" = 1'-0"



PROPOSED ELEVATION ON 77TH STREET  
Scale: 3/64" = 1'-0"

ELEVATION LEGEND

-  NEW LIMESTONE
-  NEW GFRP OR GFRP AS NOTED
-  PATCH AND REPAIR EXISTING LIMESTONE



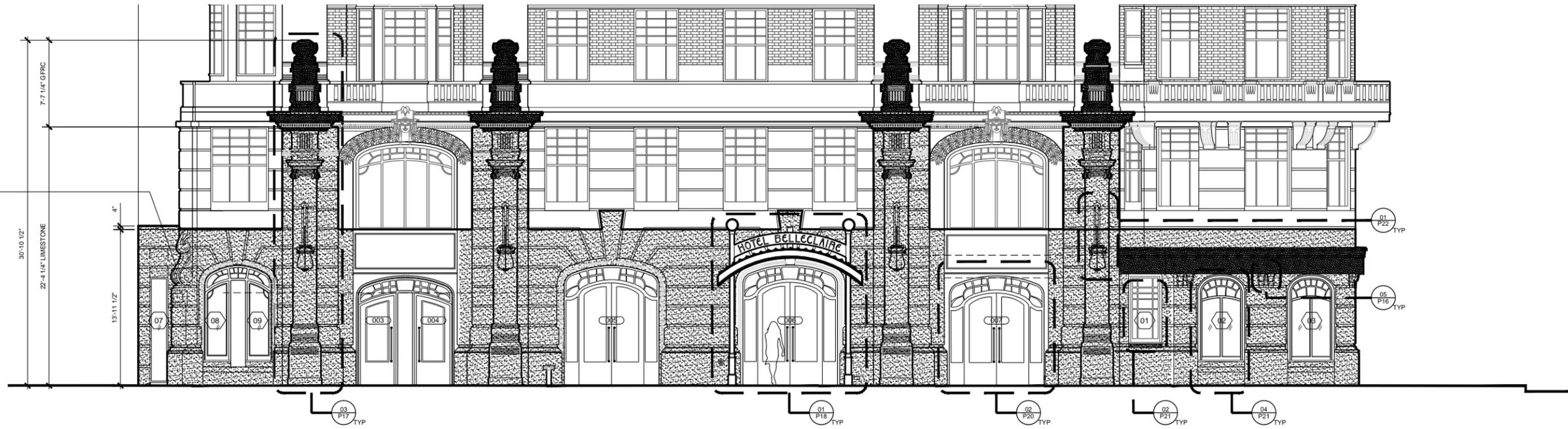
HOTEL BELLECLAIRE

250 West 77th Street, New York, NY 10024  
Feb 04, 2016

BUILDING ELEVATION ON 77TH STREET

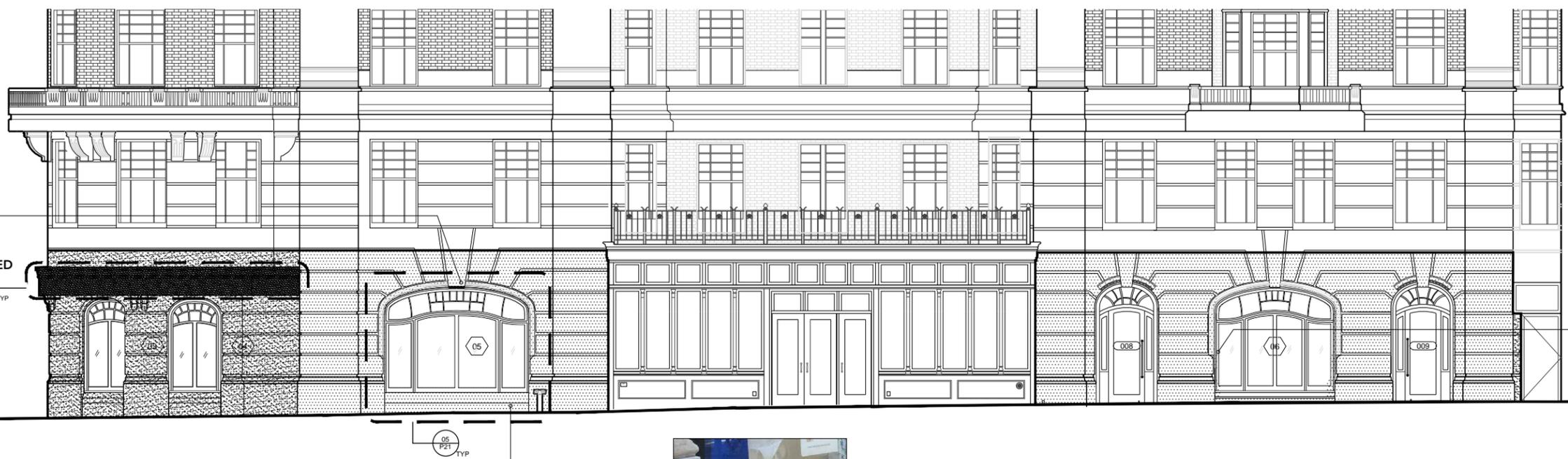


STONE DETAIL AT HISTORICAL DOME TO BE SCALED DOWN AT CORNER



**PARTIAL PROPOSED ELEVATION ON BROADWAY**

Scale: 3/32" = 1'-0"



EXISTING DETAIL AT KEYSTONE TO BE REPLICATED AS NOTED



EXISTING DETAIL TO BE REPLICATED AT NEW DOOR OPENINGS AS NOTED



EXISTING STONE WINDOW BASE TO BE REPLICATED AS NOTED

**PARTIAL PROPOSED ELEVATION ON 77TH STREET**

Scale: 3/32" = 1'-0"

**ELEVATION LEGEND**

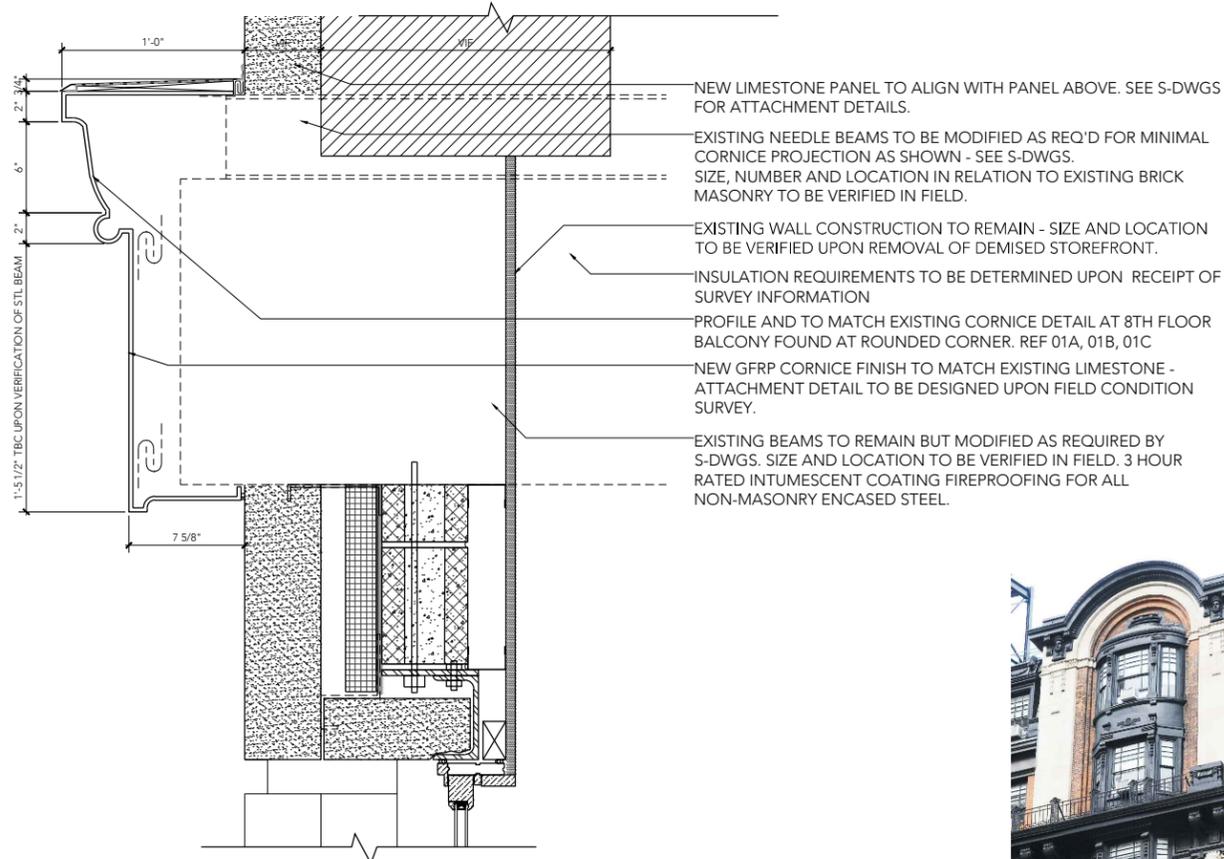
-  NEW LIMESTONE
-  NEW GFRP OR GRFP AS NOTED
-  PATCH AND REPAIR EXISTING LIMESTONE

**HOTEL BELLECLAIRE**

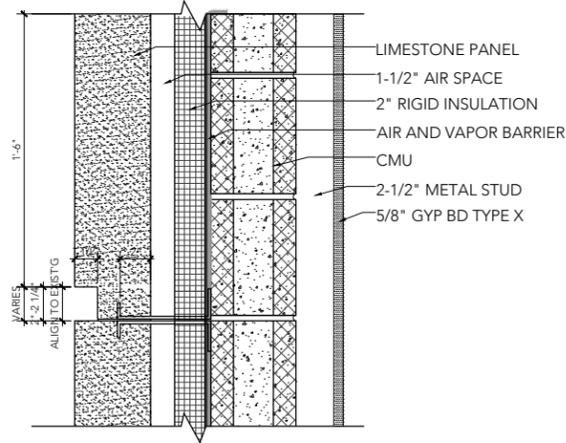
250 West 77th Street, New York, NY 10024  
Feb 04, 2016

**PARTIAL PROPOSED BUILDING ELEVATIONS**

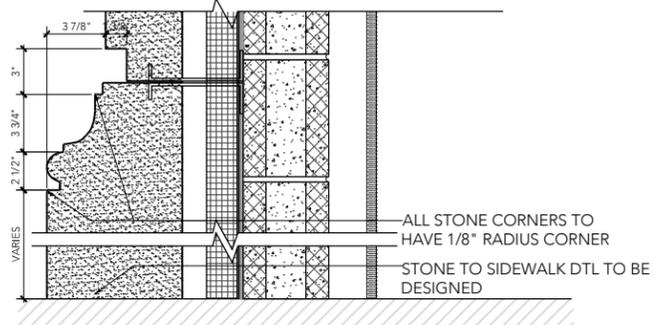
**SC** STUDIO CASTELLANO  
+t 1 212 777 0706  
+f 1 212 777 0709  
165 East Broadway, 3 fl.  
New York, NY 10002



**01 NEW CORNICE DETAIL**  
Scale: 1" = 1'-0"



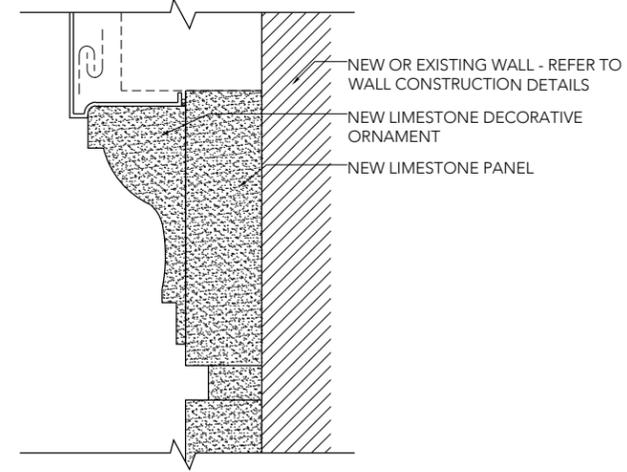
**02 TYP NEW WALL CONSTRUCTION**  
Scale: 1" = 1'-0"



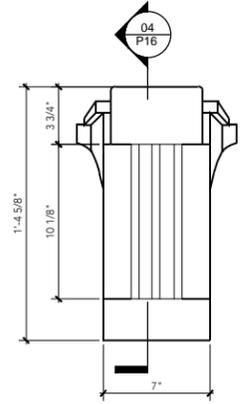
**03 TYP NEW STONE BASE MOLDING TO STREET DETAIL**  
Scale: 1" = 1'-0"



**04A EXISTING UPPER DECORATIVE DETAIL**  
Scale: n/s



**04 NEW STONE DECORATIVE DETAIL @ ROUNDED CORNICE**  
Scale: 1" = 1'-0"



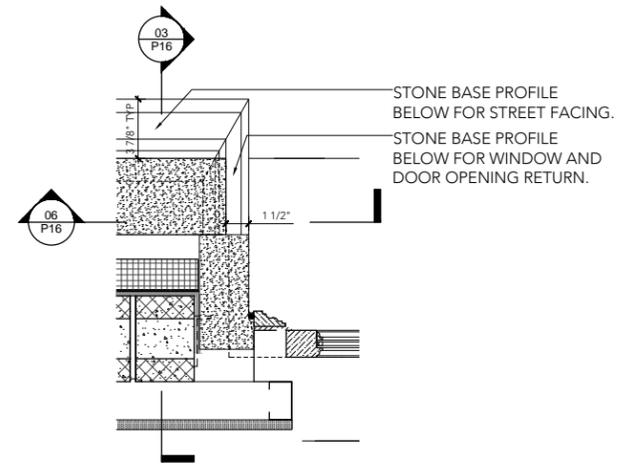
**07 NEW STONE DECORATIVE DETAIL @ ROUNDED CORNICE**  
Scale: 1" = 1'-0"



**01A EXISTING UPPER BALCONY CORNICE**  
Scale: n/s



**01B EXISTING UPPER BALCONY CORNICE**  
Scale: n/s



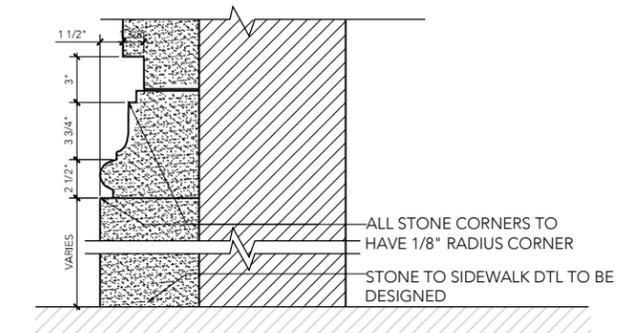
**05 TYP NEW STONE BASE MOLDING PLAN**  
Scale: 1" = 1'-0"



**08 NEW STONE DECORATIVE RENDERING**



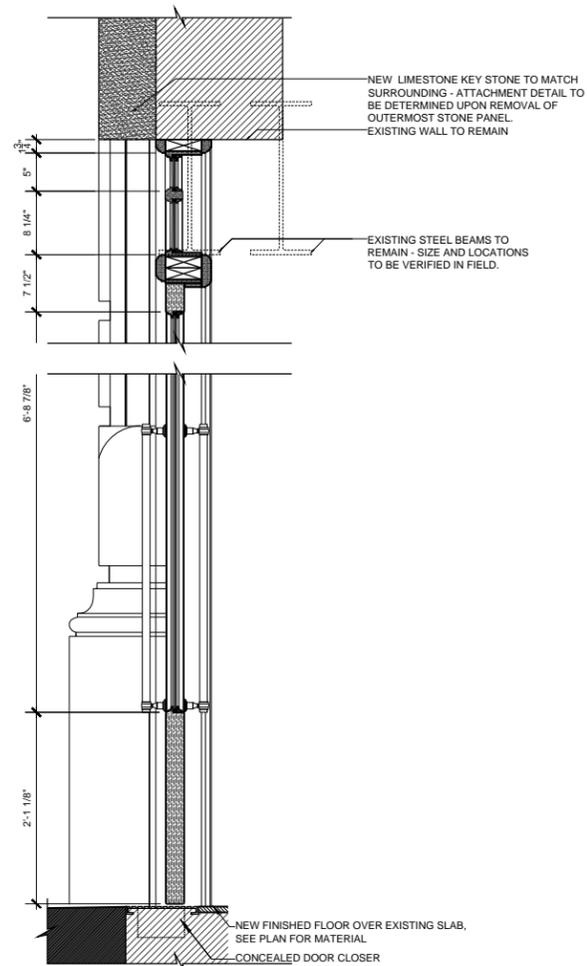
**01C EXISTING UPPER BALCONY CORNICE**  
Scale: n/s



**06 TYP NEW STONE BASE MOLDING TO OPENING DETAIL**  
Scale: 1" = 1'-0"



**09 TYP EXISTING STONE BASE PHOTO**



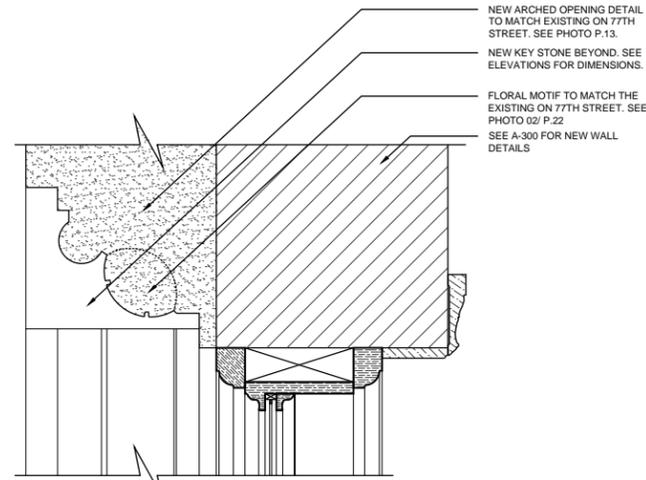
**01 DOOR TYPE A DETAILS**  
Scale: 1/2" = 1'-0"



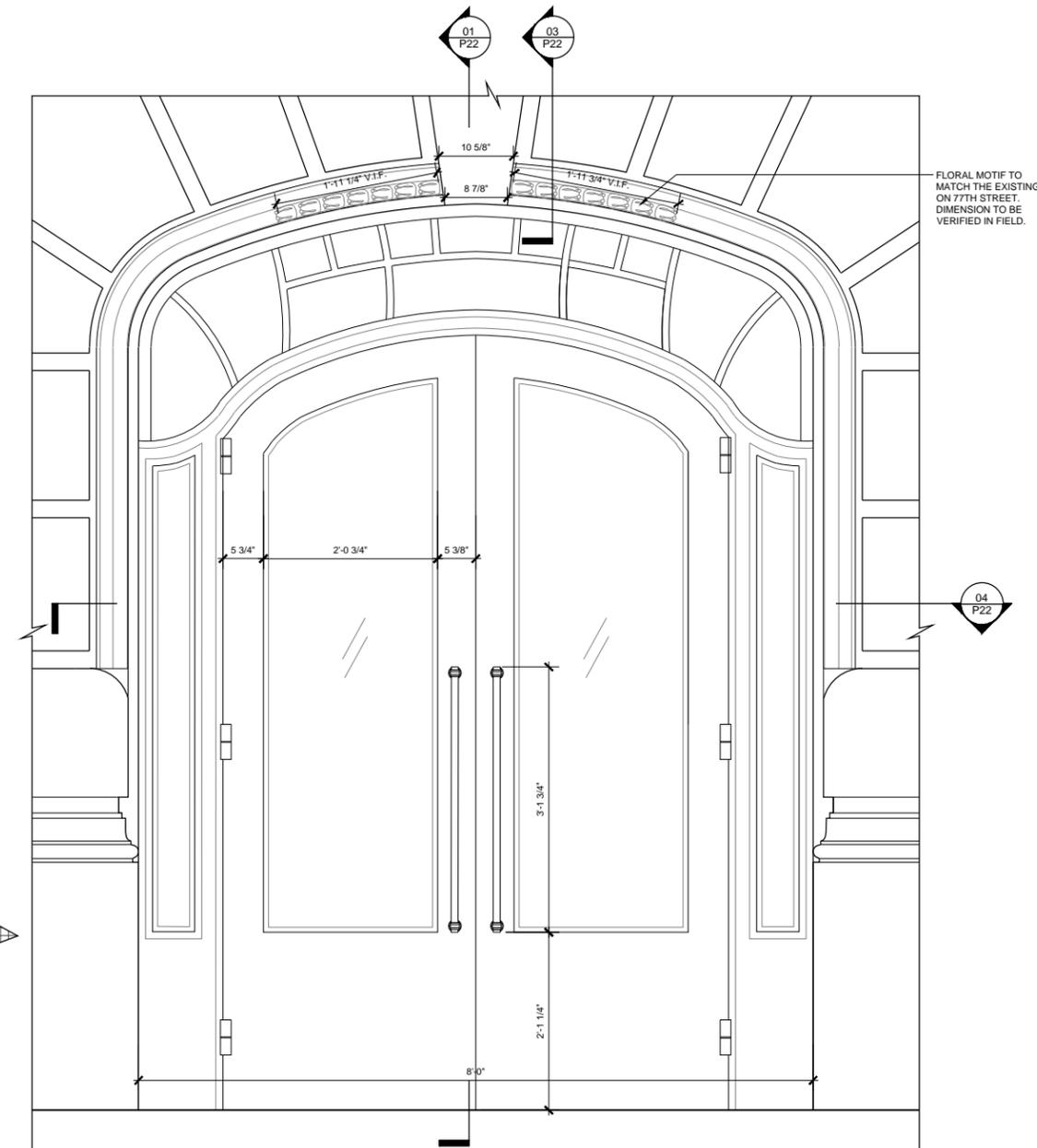
**02 FLORAL MOTIF DETAIL**  
Scale: n/s



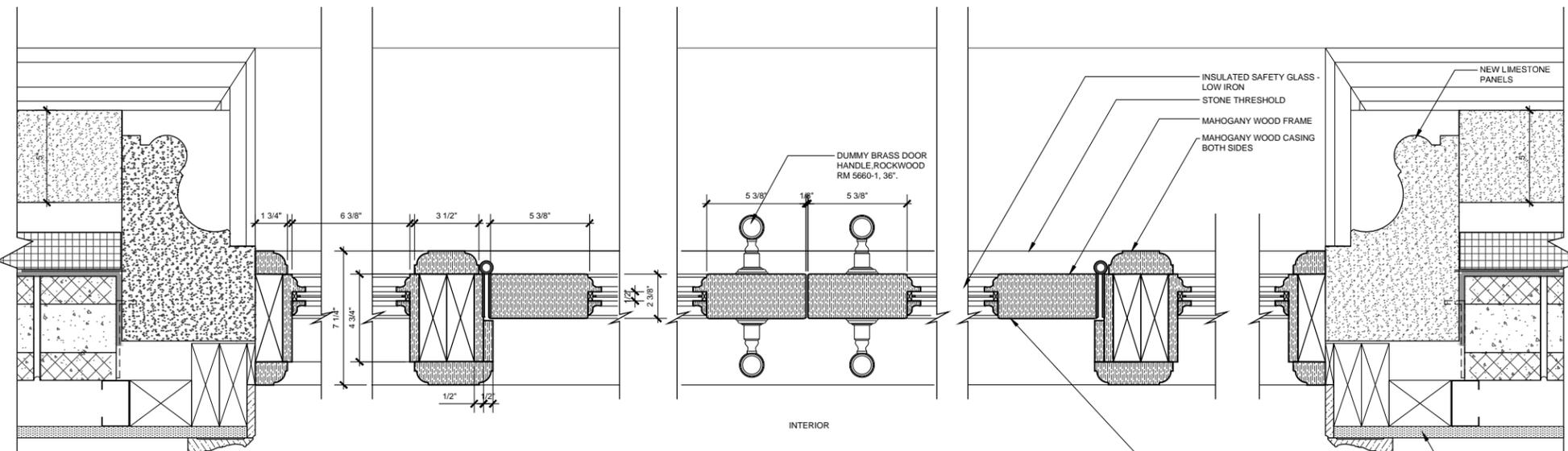
**02A EXISTING BASE DETAIL**  
Scale: n/s



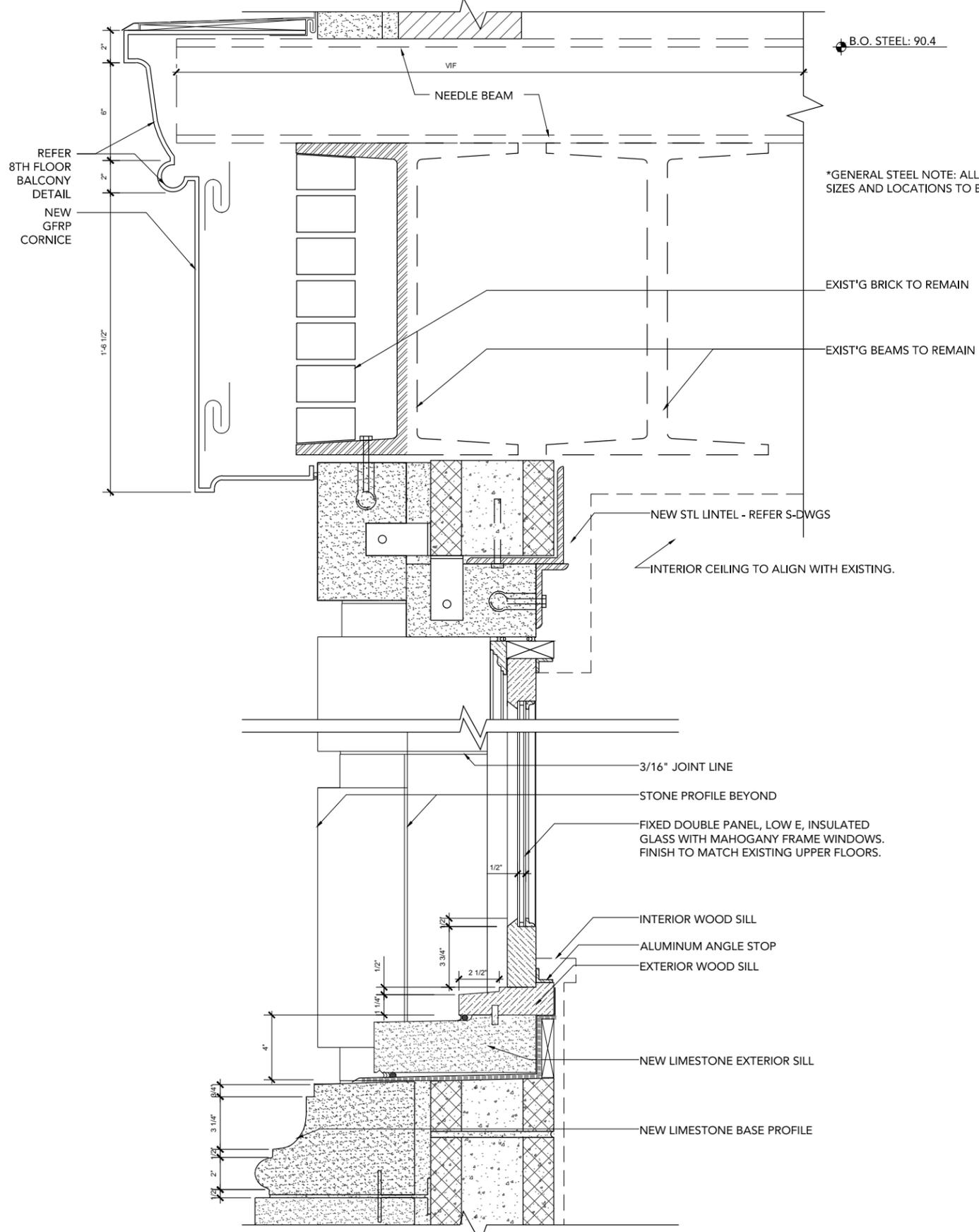
**03 FLORAL MOTIF DETAIL**  
Scale: 1-1/2" = 1'-0"



**05 DOOR TYPE A ELEVATION**  
Scale: 1/2" = 1'-0"



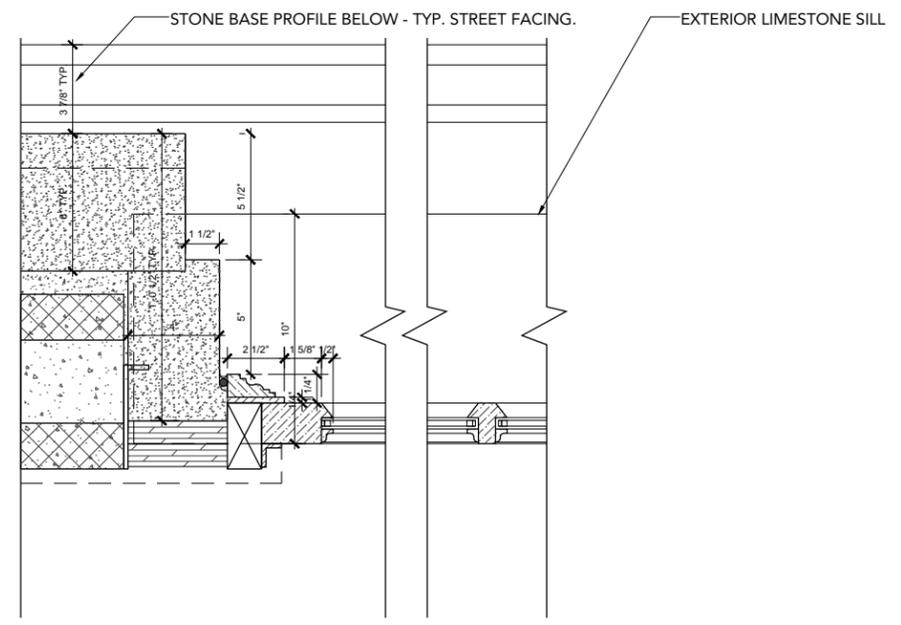
**04 PROPOSED DOOR PLAN DETAIL**  
Scale: 1-1/2" = 1'-0"



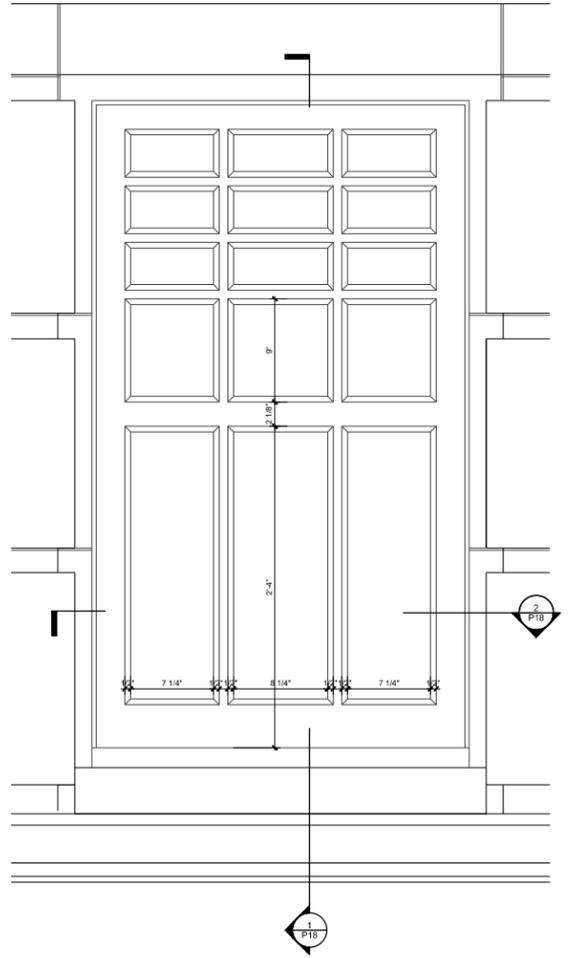
**01 WINDOW 01 DETAIL - TO MATCH UPPER FLOOR**  
Scale: 1-1/2" = 1'-0"



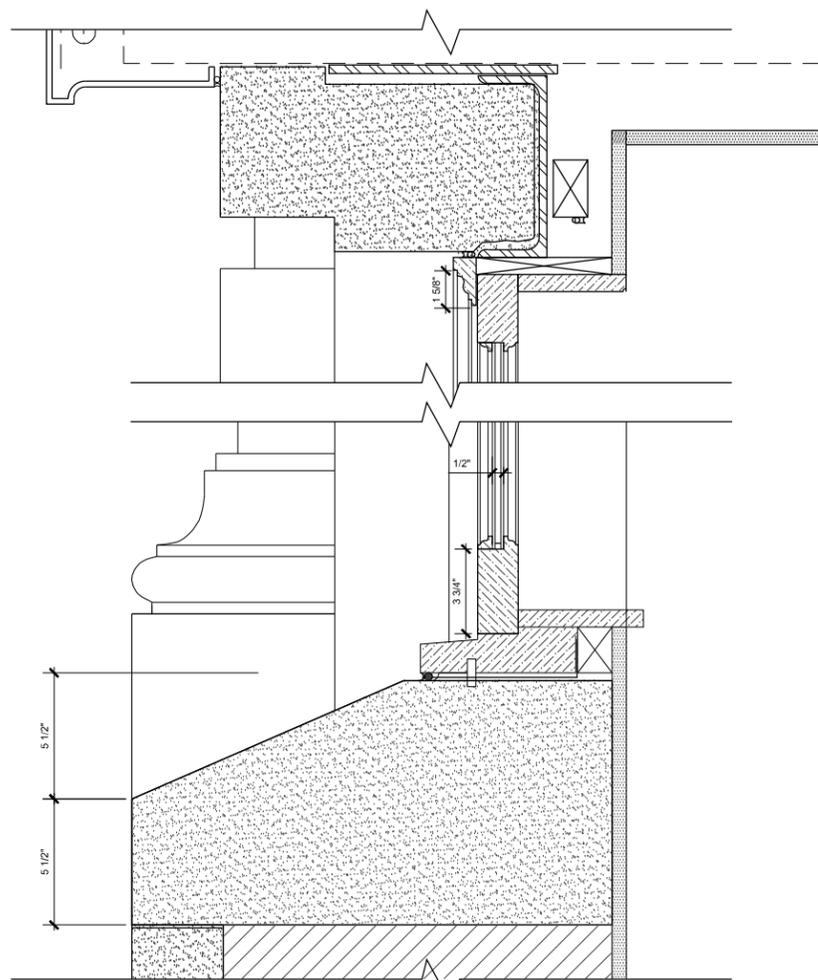
**01A EXISTING 8TH FLOOR BALCONY CORNICE**  
Scale: n/s



**02 WINDOW 01 DETAIL - TO MATCH UPPER FLOOR**  
Scale: 1-1/2" = 1'-0"



**03 WINDOW 01 ELEVATION**  
Scale: 1-1/2" = 1'-0"



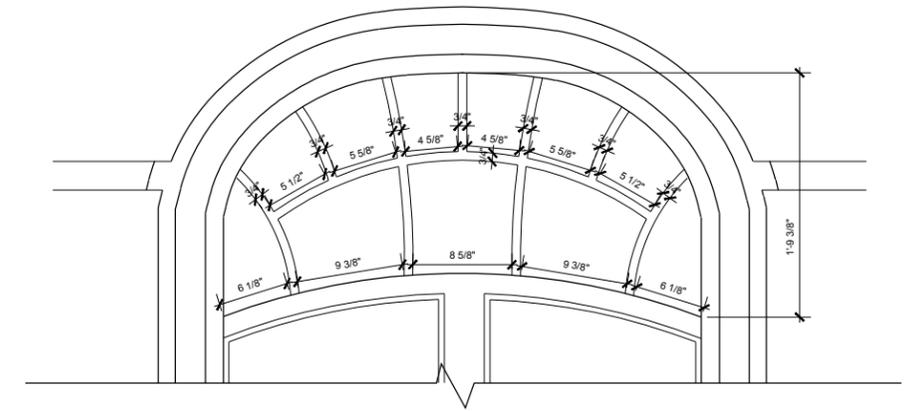
**01 WINDOW 02-04 DETAIL SECTION**  
Scale: 1-1/2" = 1'-0"



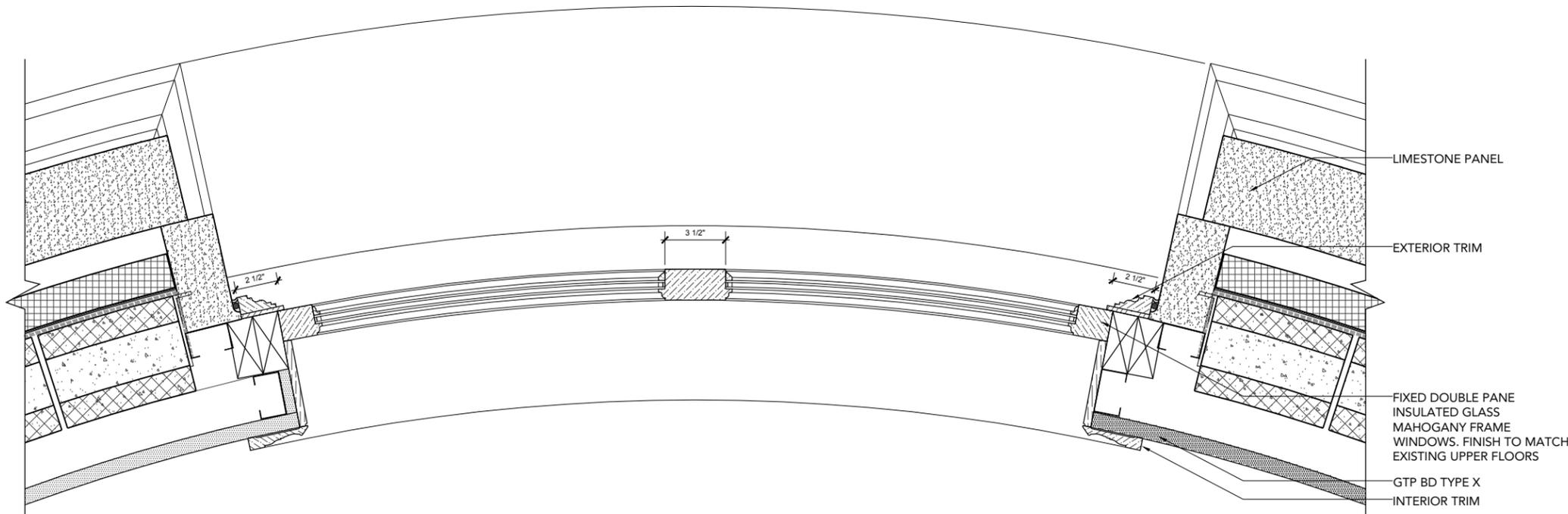
**03 TYP HISTORICAL NARROW TRANSOM PHOTO**  
Scale: n/s



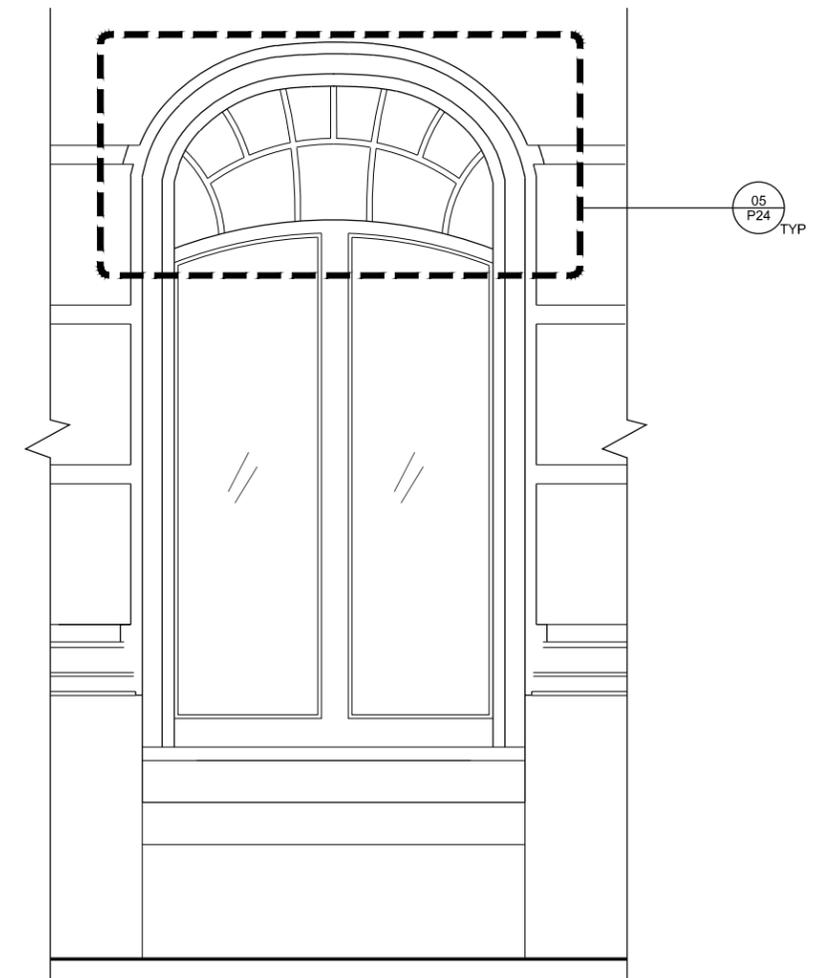
**04 TYP EXISTING STONE BASE**  
Scale: n/s



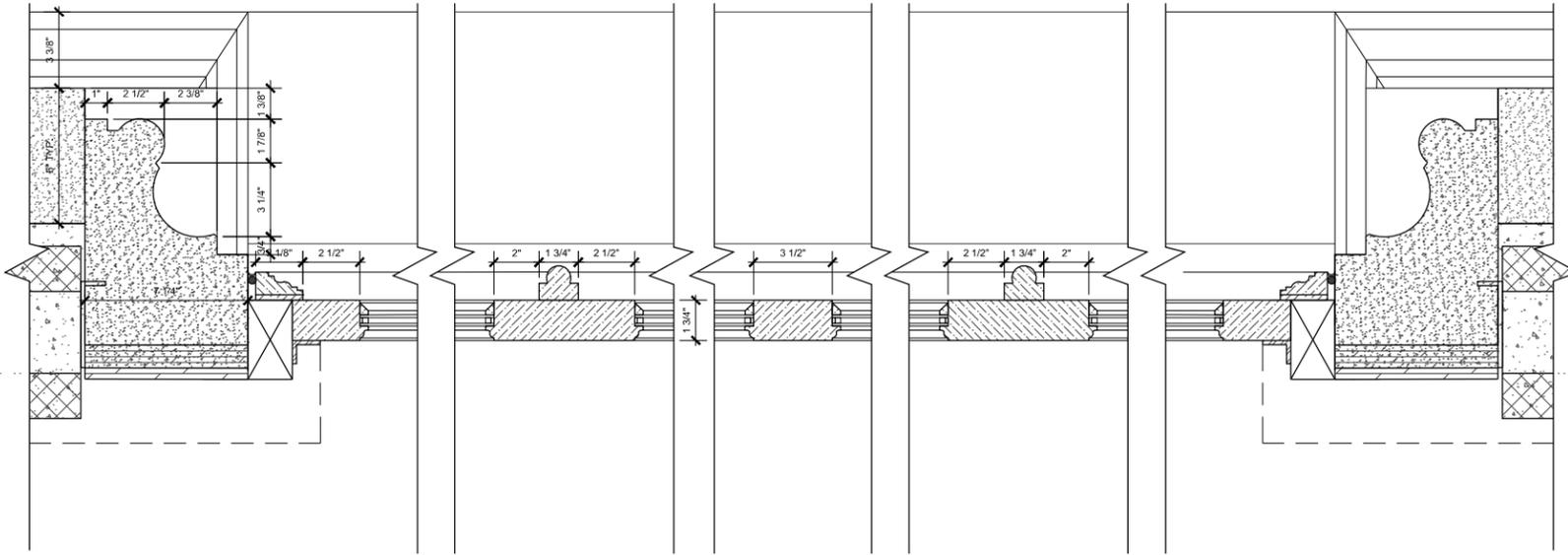
**05 WINDOW 02-04 ELEVATION**  
Scale: 3/4" = 1'-0"



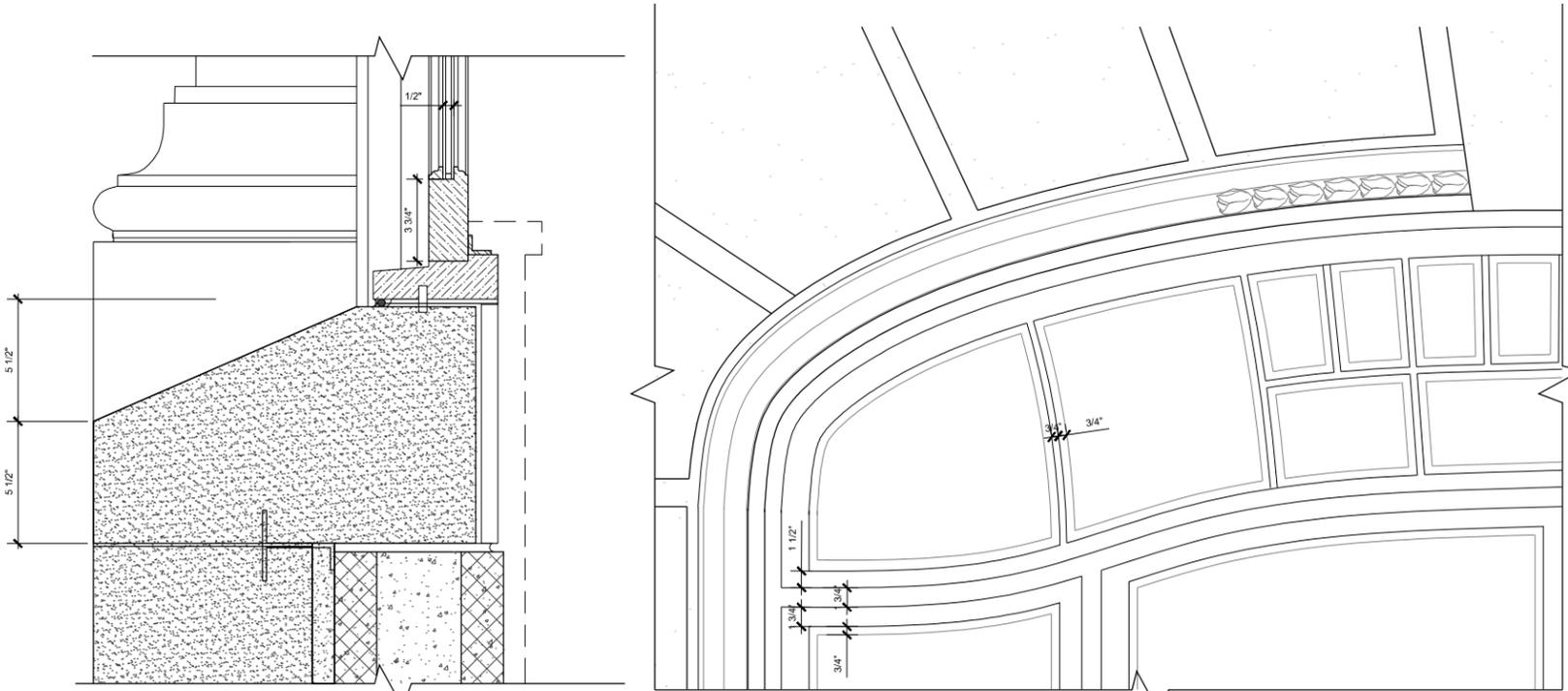
**02 WINDOW 02-04 DETAIL PLAN**  
Scale: 1-1/2" = 1'-0"



**06 WINDOW 02-04 ELEVATION**  
Scale: 1/2" = 1'-0"



**01 WINDOW 05-06 DETAIL**  
Scale: 1-1/2" = 1'-0"

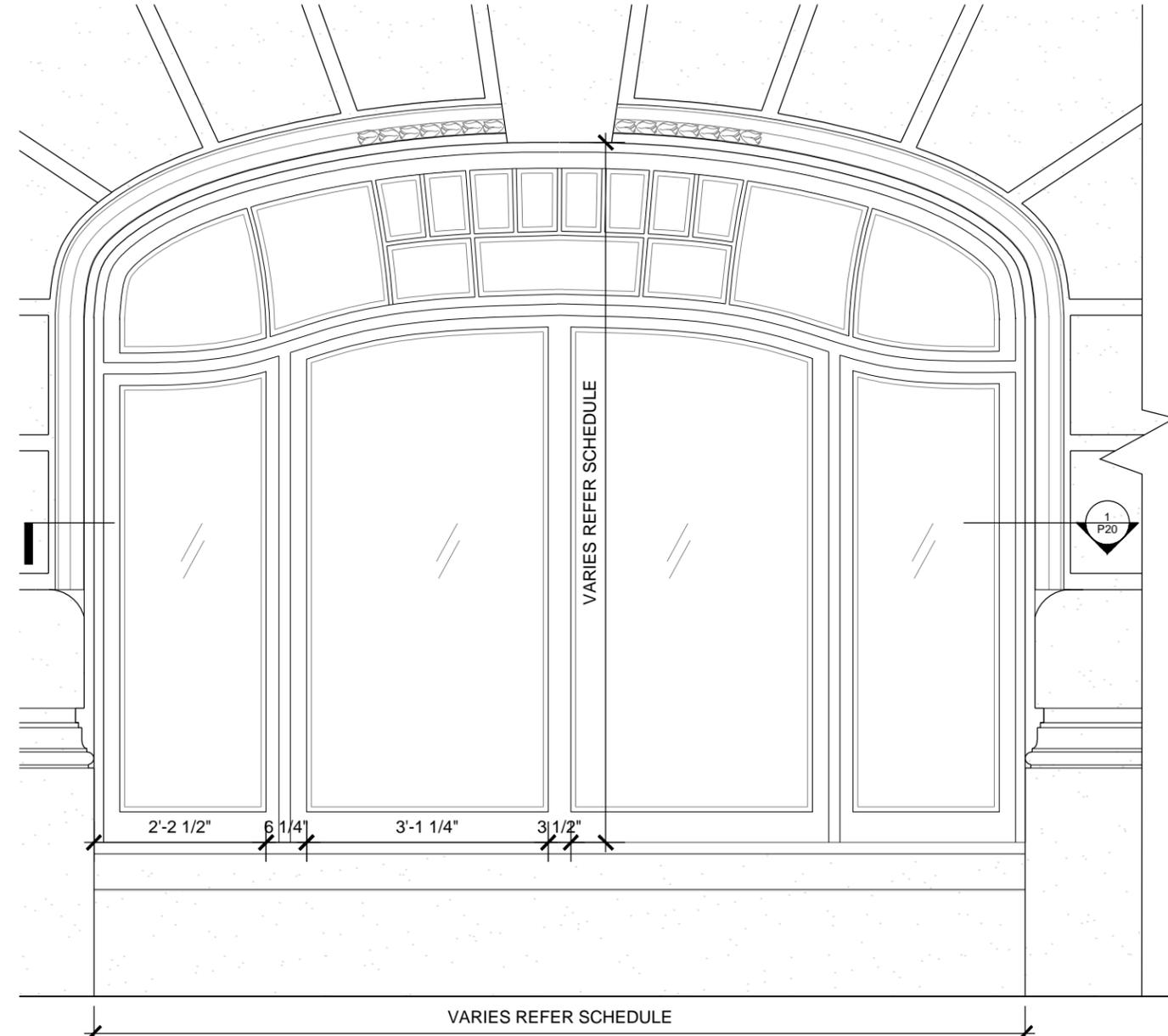


**02 WINDOW 05-06 STONE BASE**  
Scale: 1-1/2" = 1'-0"

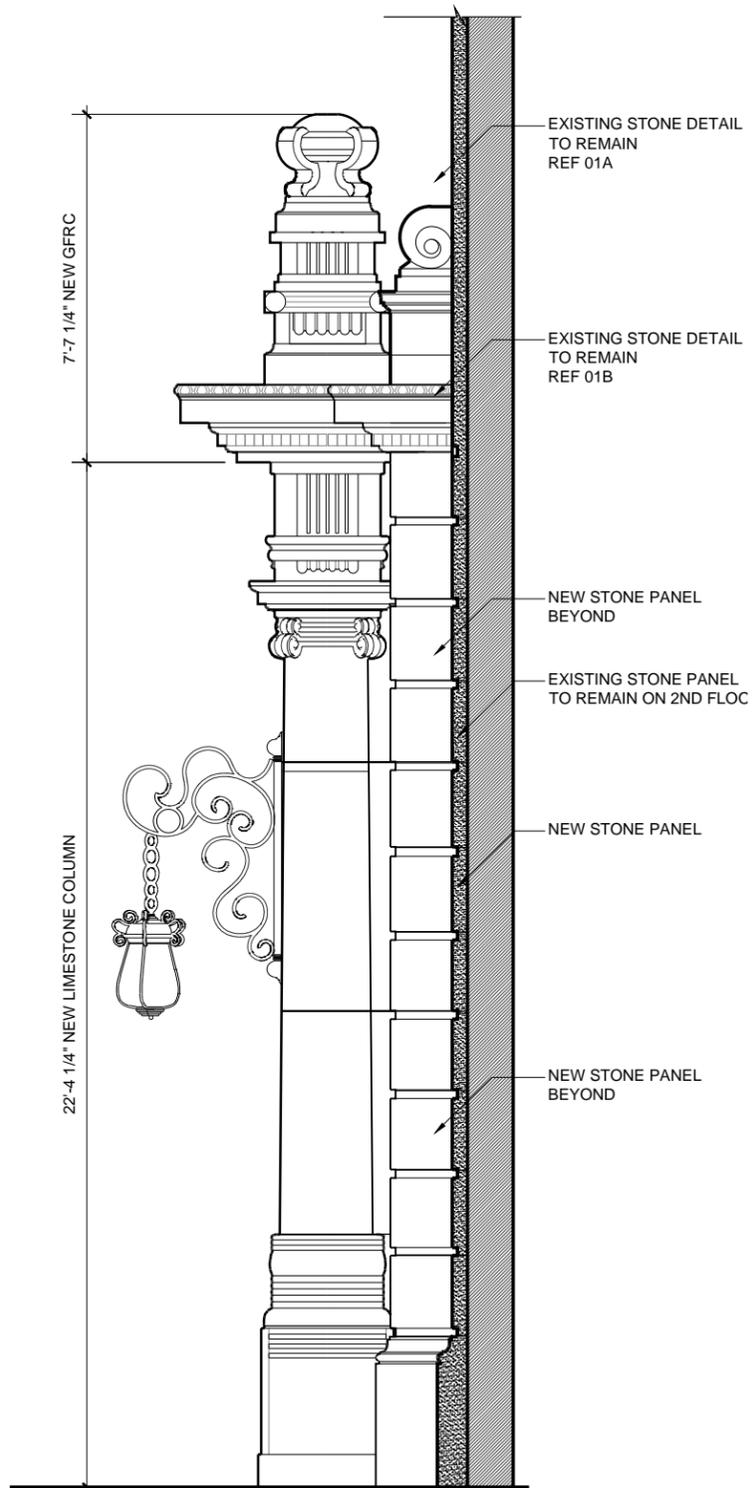
**03 WINDOW 05-06 ELEVATION**  
Scale: 3/4" = 1'-0"



**04 TYP EXISTING WIDE TRANSOM PHOTO**  
Scale: n/s



**05 WINDOW 05-06 ELEVATION**  
Scale: 1/2" = 1'-0"



**01 PROPOSED EXTERIOR COLUMNS SIDE ELEVATION**  
Scale: 1/4" = 1'-0"



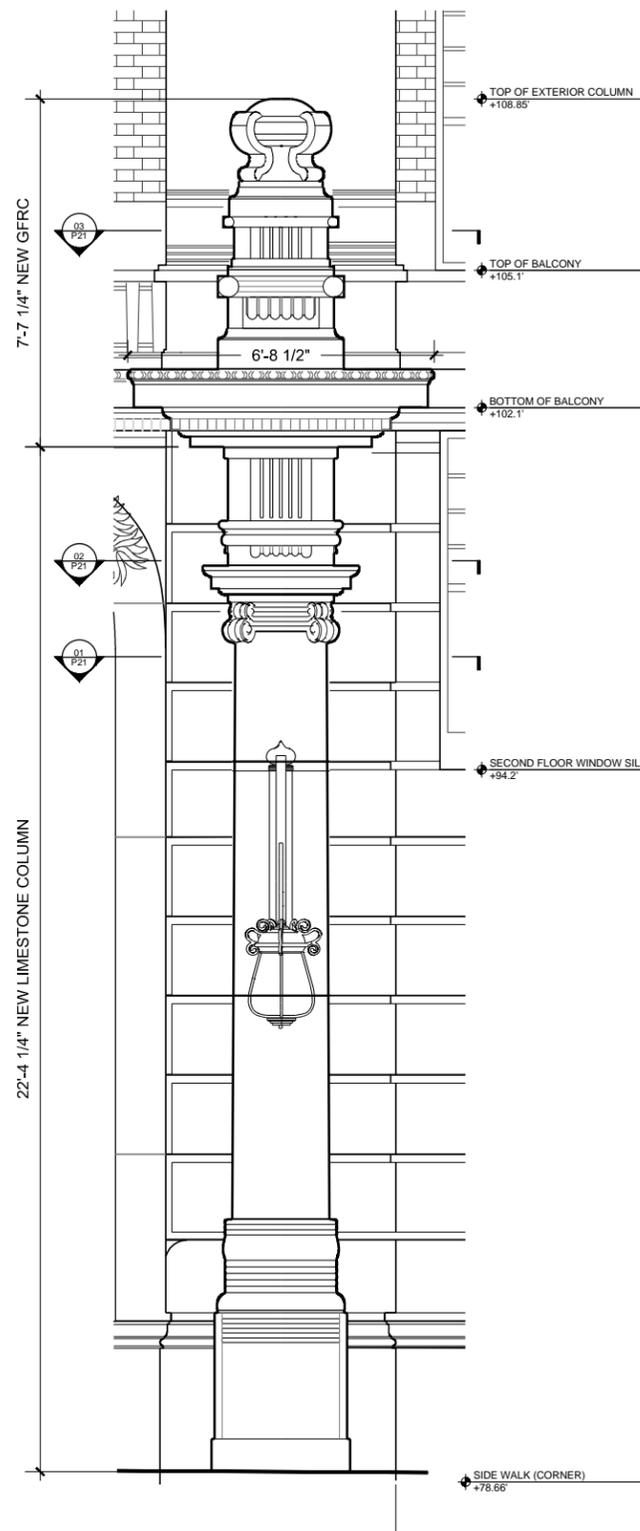
**01A EXISTING TO REMAIN**  
Scale: n/s



**01B EXISTING TO BE REPLICATED**  
Scale: n/s



**01C EXISTING CORNICE DETAIL**  
Scale: n/s



**02 PROPOSED EXTERIOR COLUMNS ELEVATION**  
Scale: 1/4" = 1'-0"



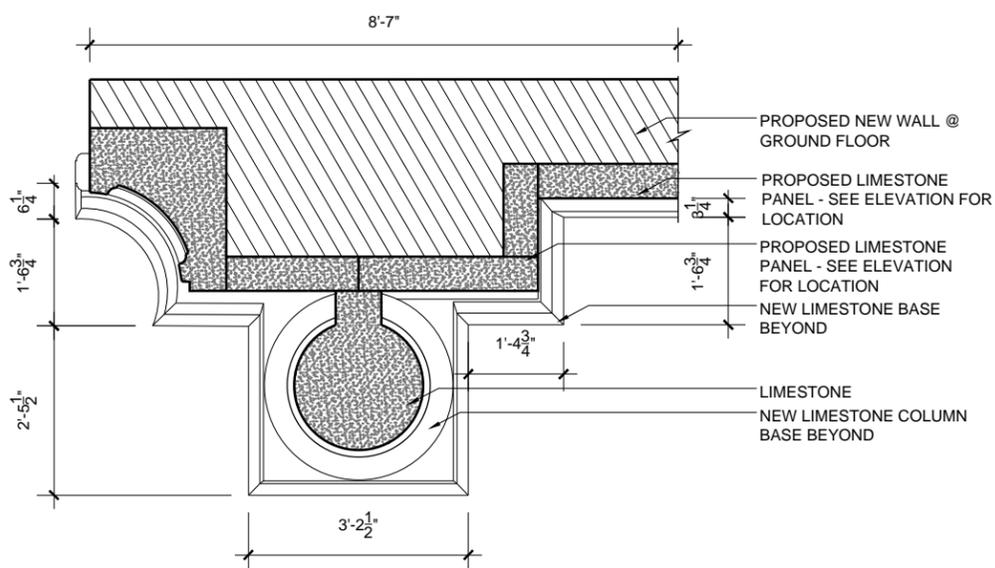
**03 PROPOSED EXTERIOR COLUMNS RENDERING**



**04 PROPOSED EXTERIOR COLUMNS RENDERING**

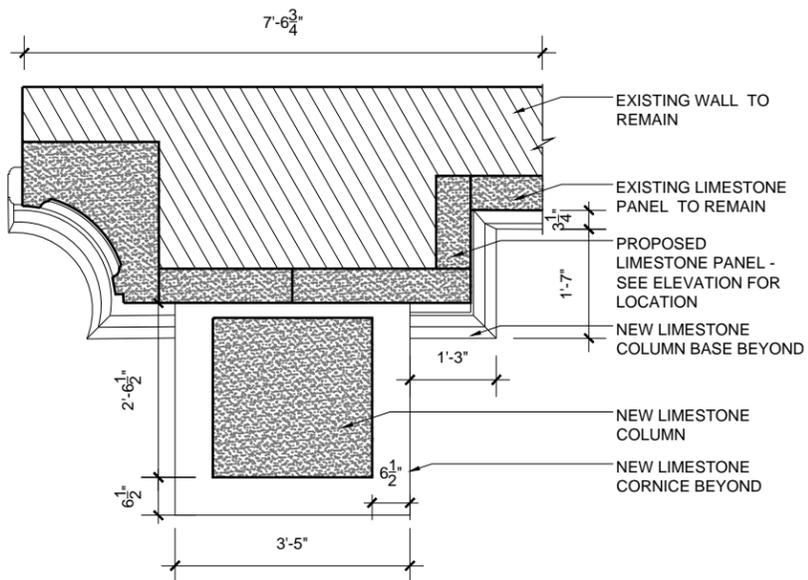


**05 PHOTO C.1914**



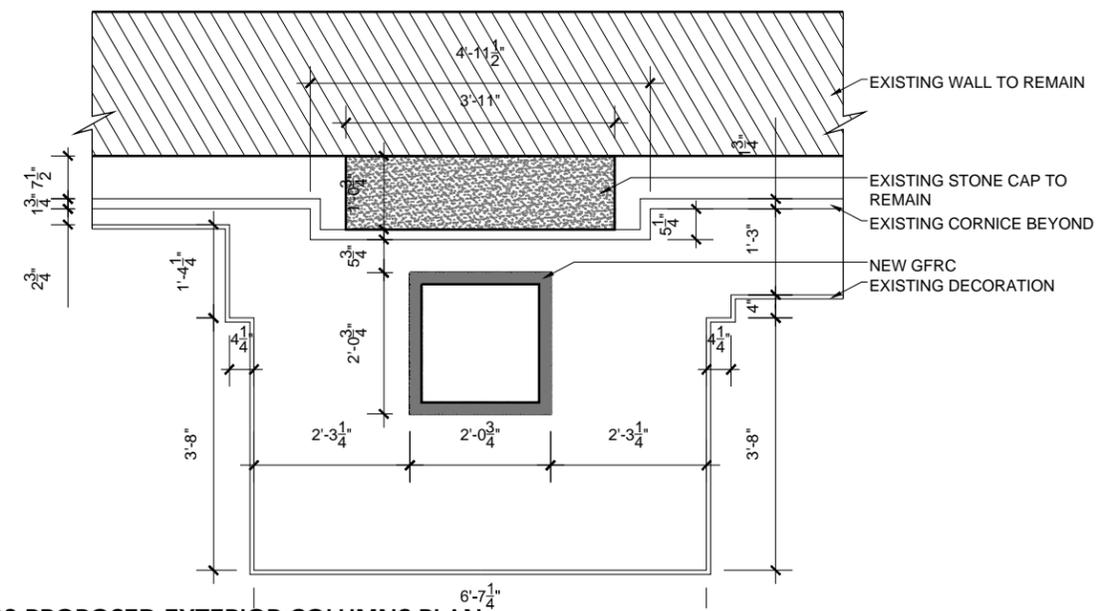
**01 PROPOSED EXTERIOR COLUMNS PLAN**

Scale: 3/8" = 1'-0"



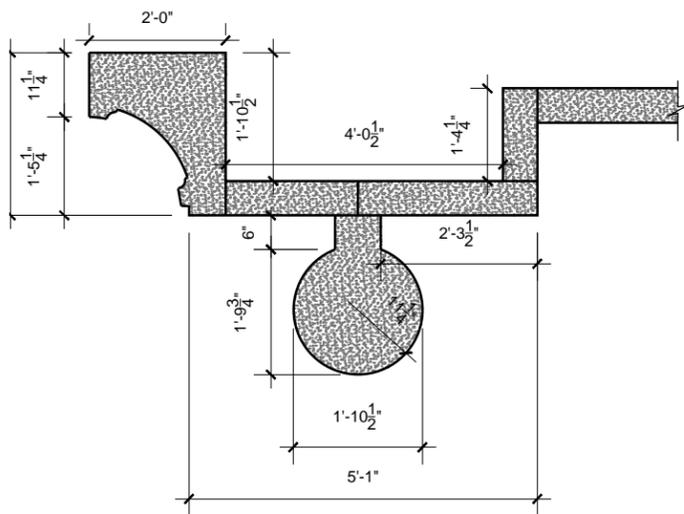
**02 PROPOSED EXTERIOR COLUMNS PLAN**

Scale: 3/8" = 1'-0"



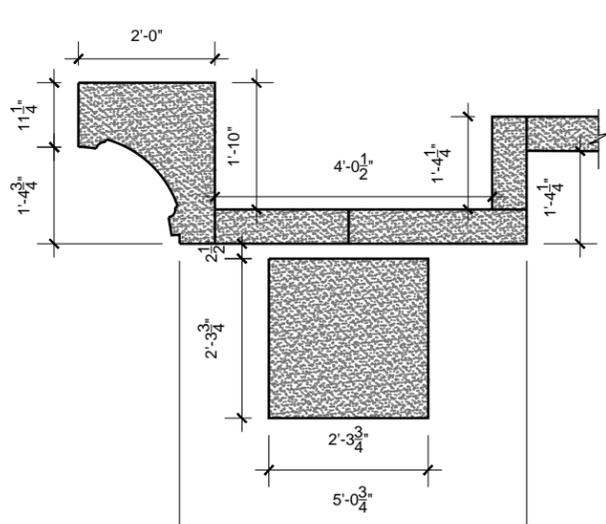
**03 PROPOSED EXTERIOR COLUMNS PLAN**

Scale: 3/8" = 1'-0"



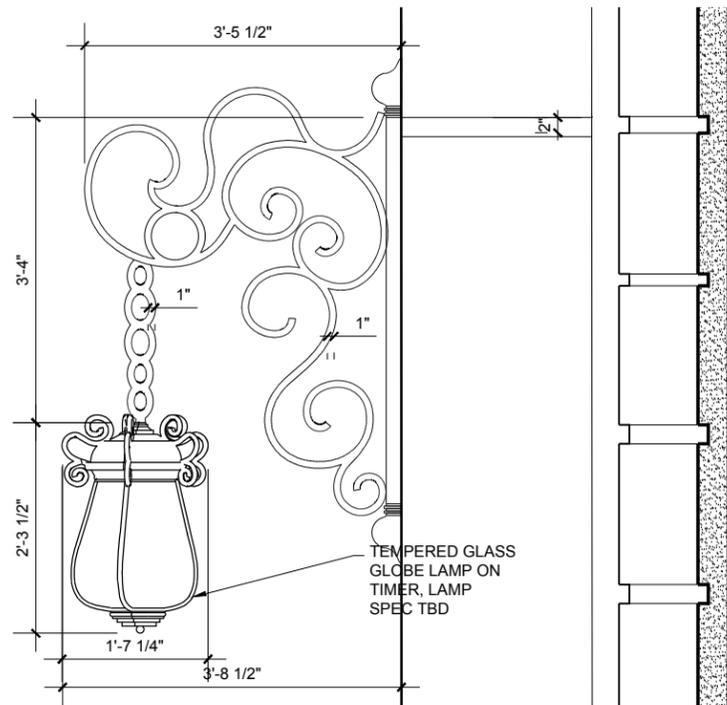
**01A PROPOSED EXTERIOR COLUMNS PLAN - LIMESTONE DIMENSION**

Scale: 3/8" = 1'-0"

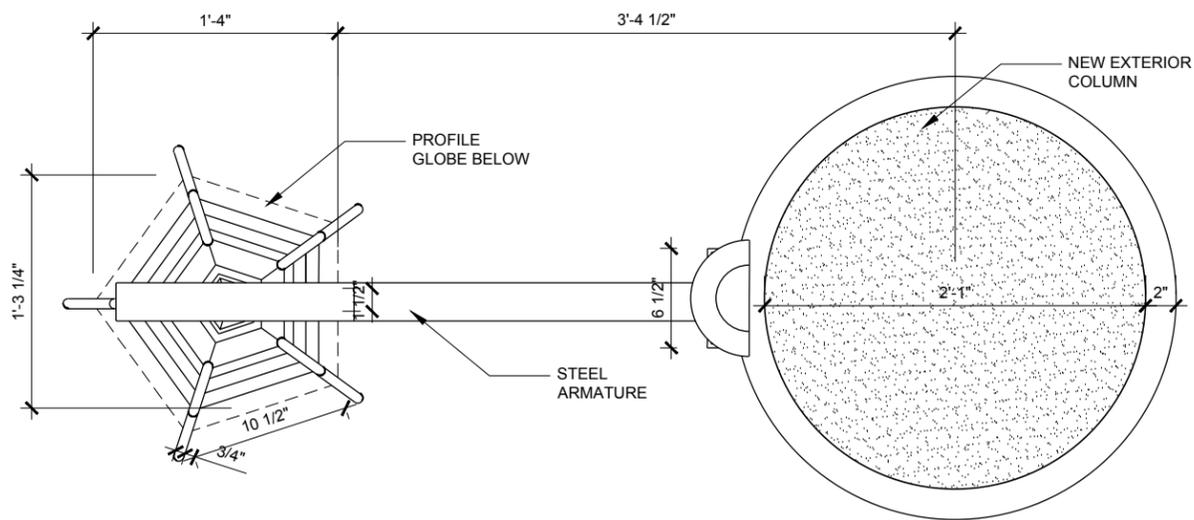


**02A PROPOSED EXTERIOR COLUMNS PLAN - LIMESTONE DIMENSION**

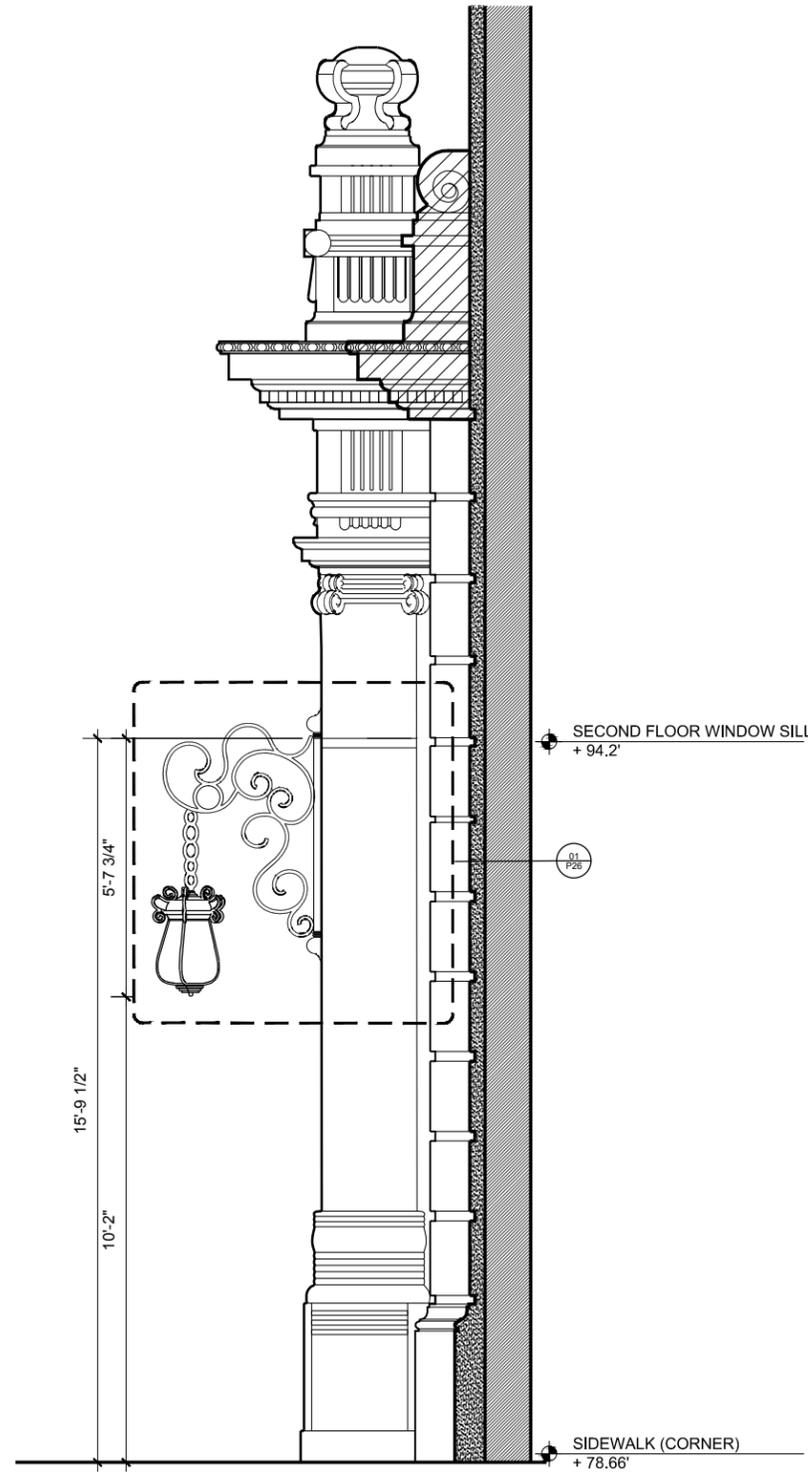
Scale: 3/8" = 1'-0"



**01 PROPOSED LIGHT ELEVATION**  
Scale: 1/2" = 1'-0"



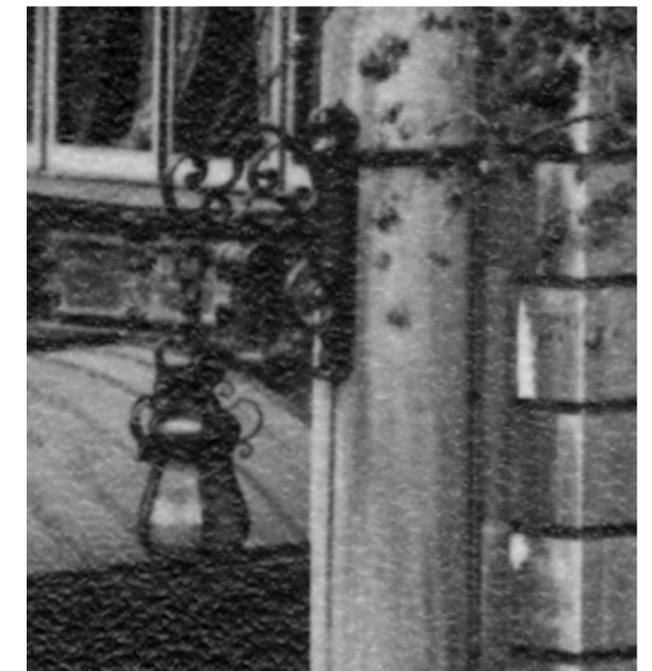
**02 PROPOSED LIGHT PLAN**  
Scale: 1" = 1'-0"



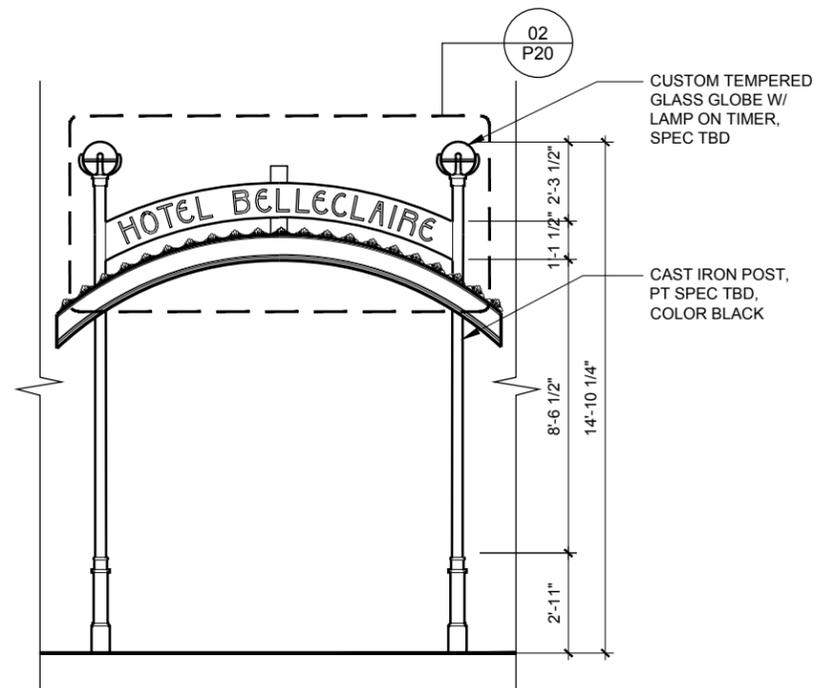
**03 PROPOSED LIGHT ELEVATION**  
Scale: 1/4" = 1'-0"



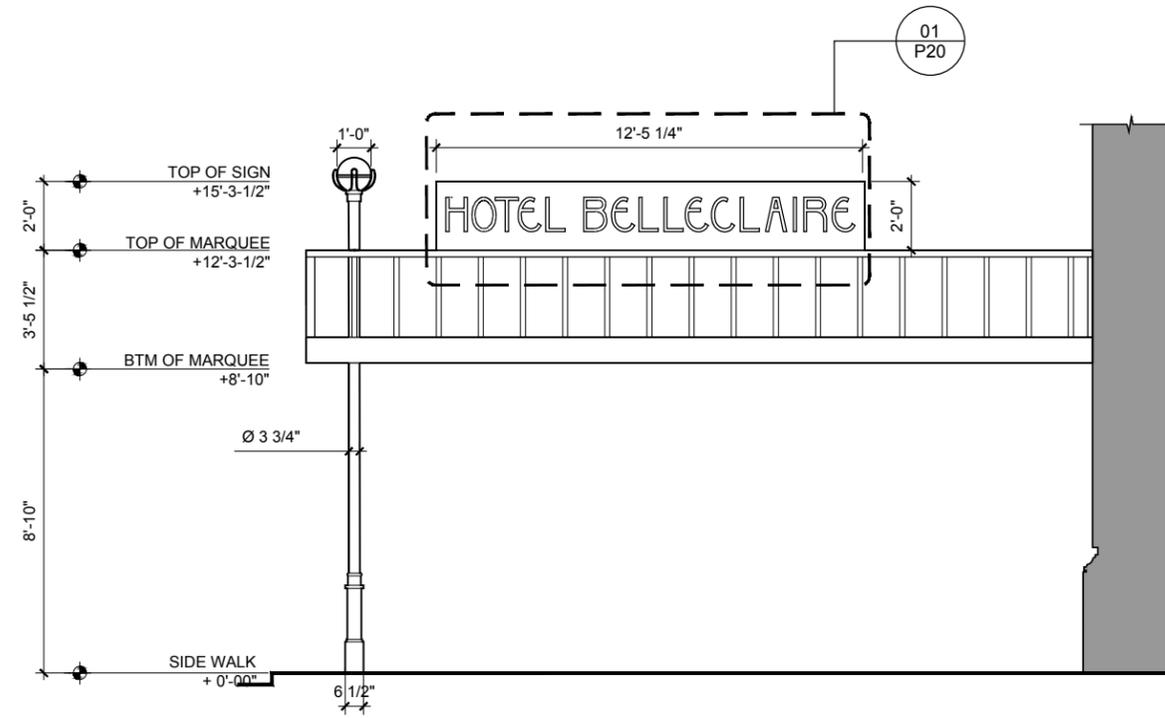
**04 PROPOSED LAMP RENDERING**



**05 PHOTO C.1910**



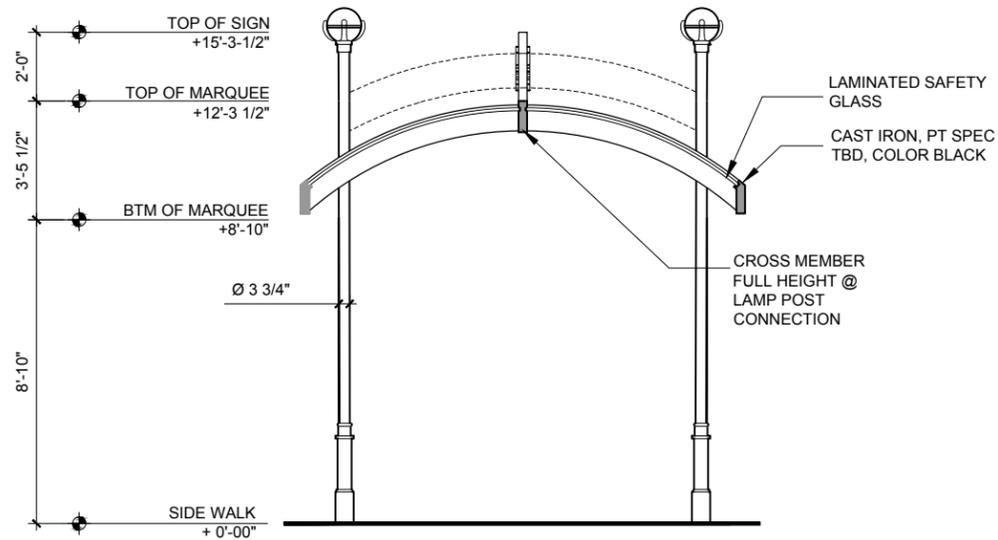
01 PROPOSED MARQUEE ELEVATION  
Scale: 3/16" = 1'-0"



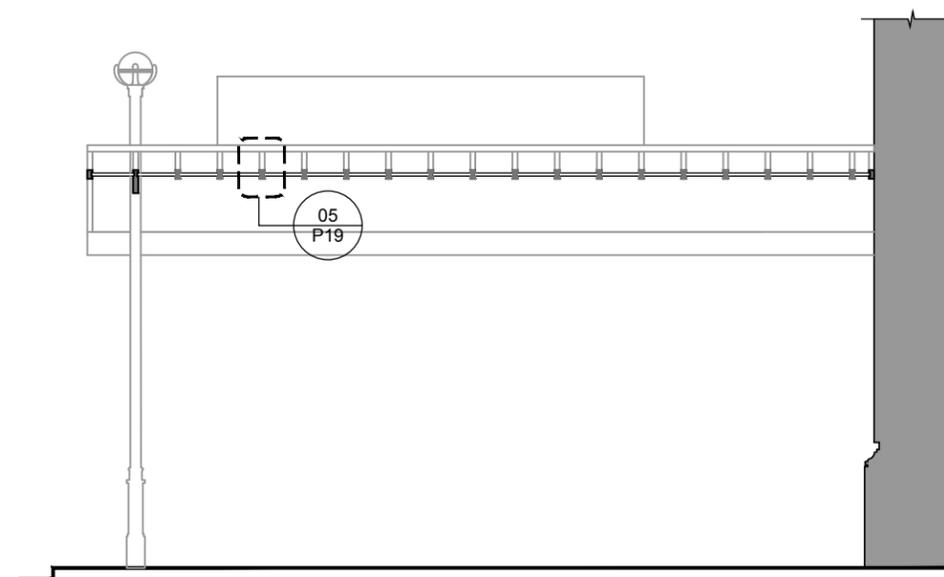
03 PROPOSED MARQUEE ELEVATION  
Scale: 3/16" = 1'-0"



06 PHOTO C.1914



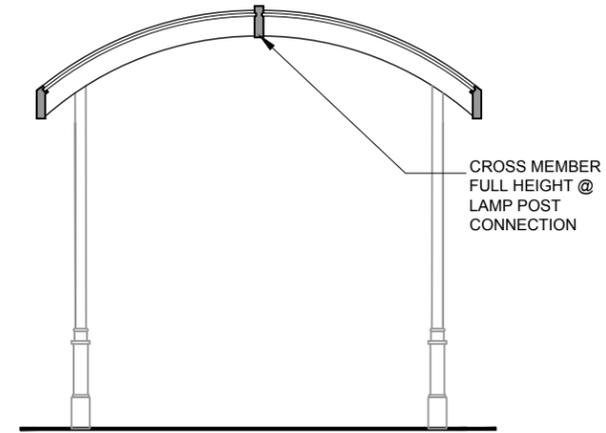
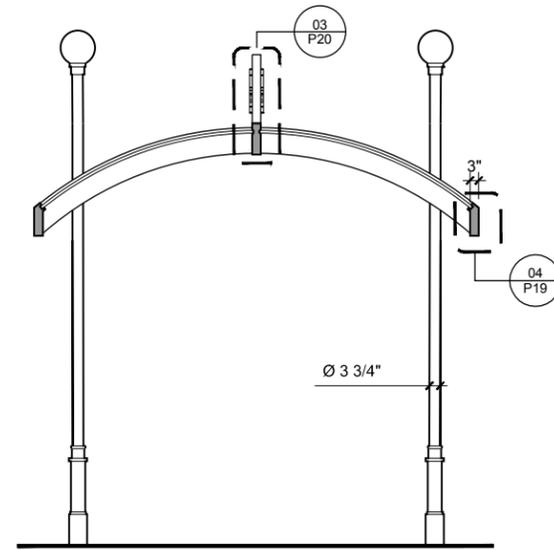
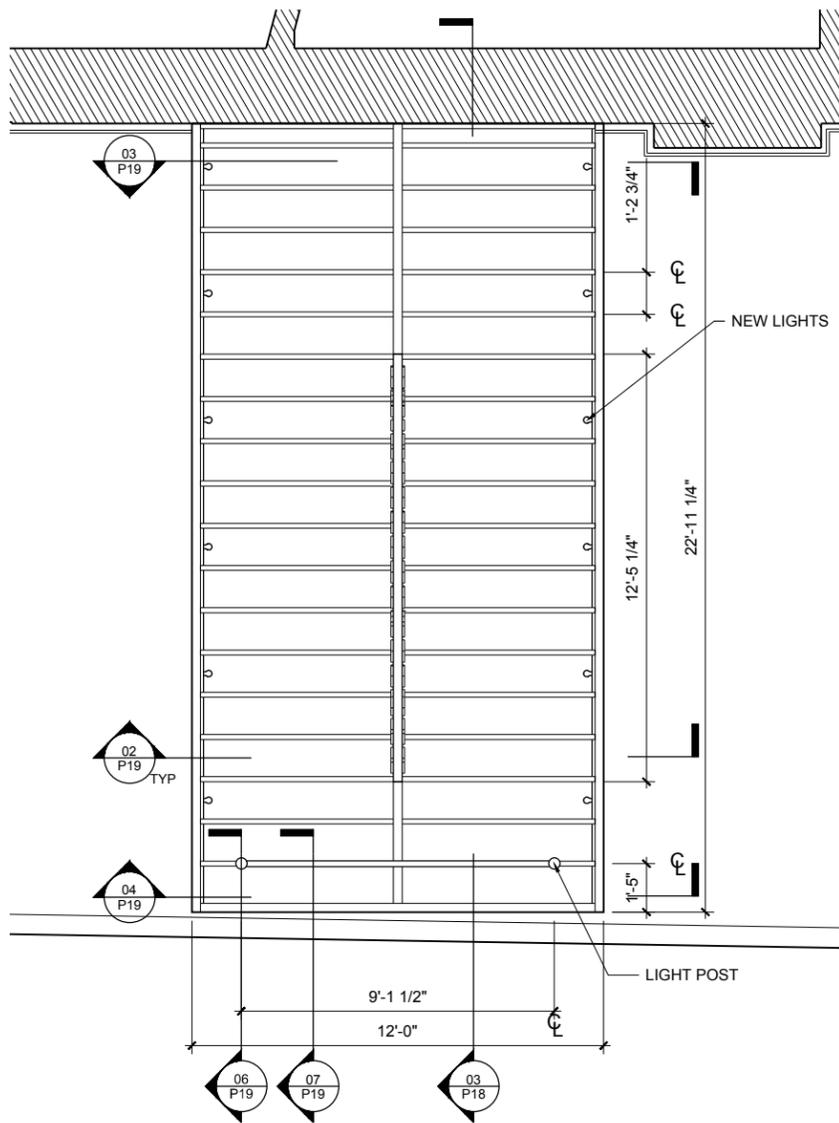
02 PROPOSED MARQUEE SECTION  
Scale: 3/16" = 1'-0"



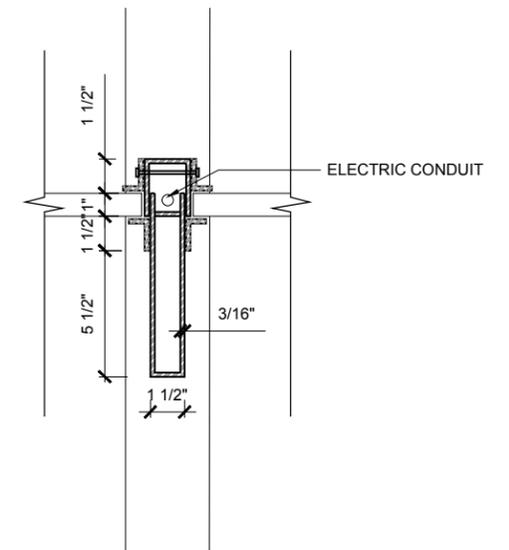
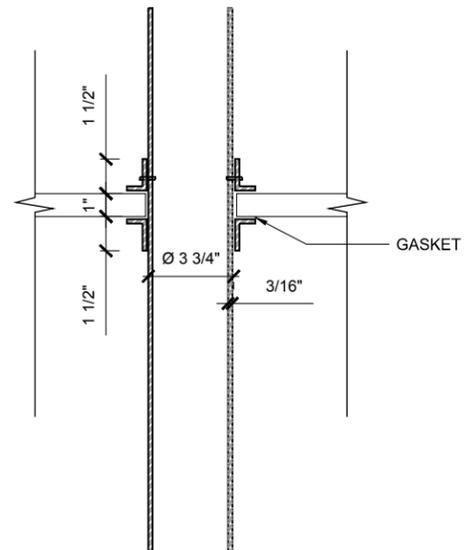
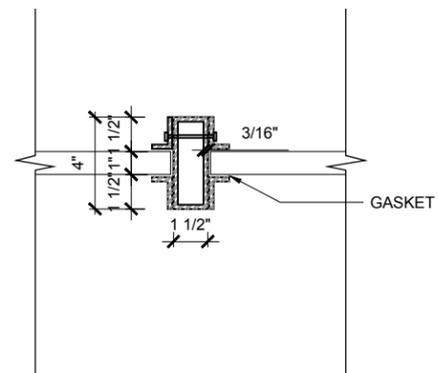
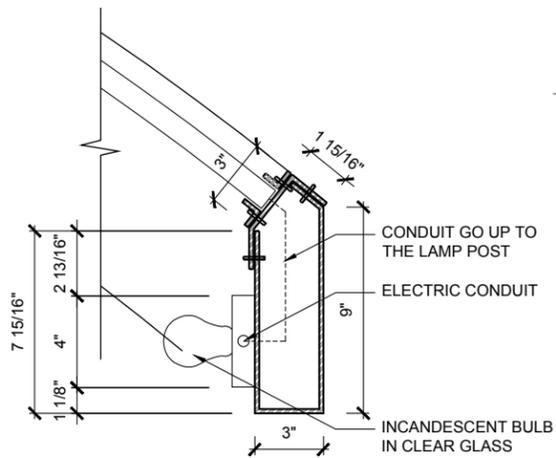
04 PROPOSED MARQUEE SECTION  
Scale: 3/16" = 1'-0"

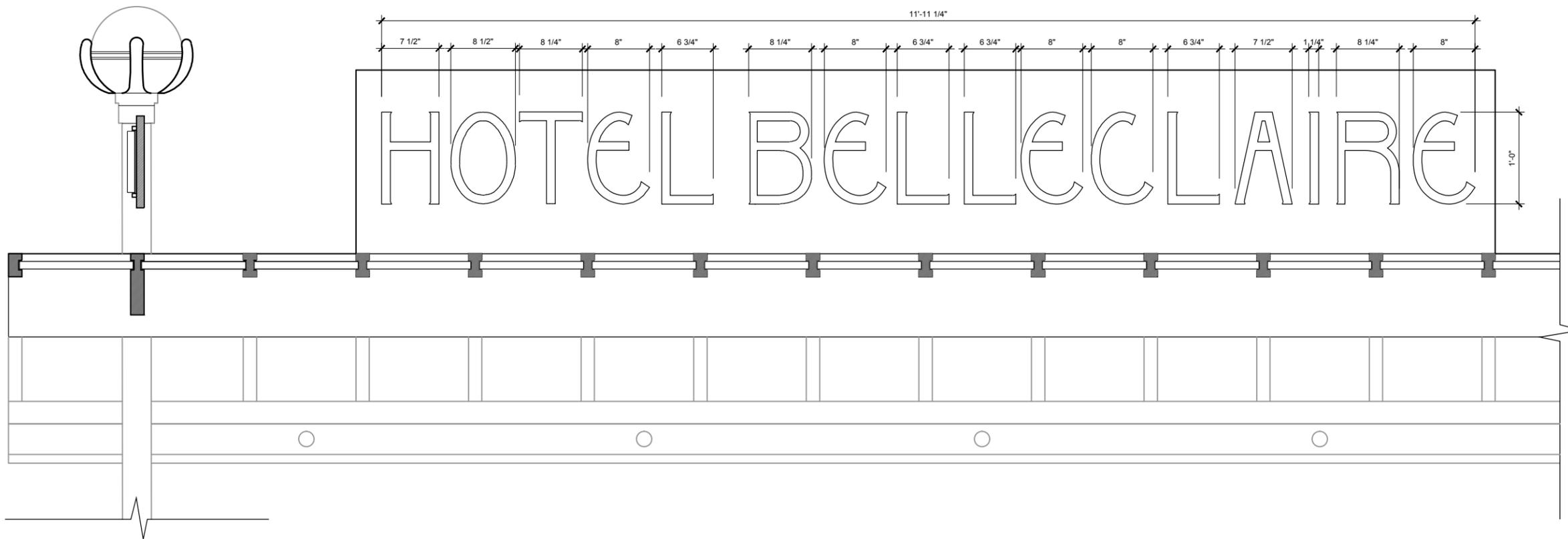


05 PROPOSED MARQUEE RENDERING



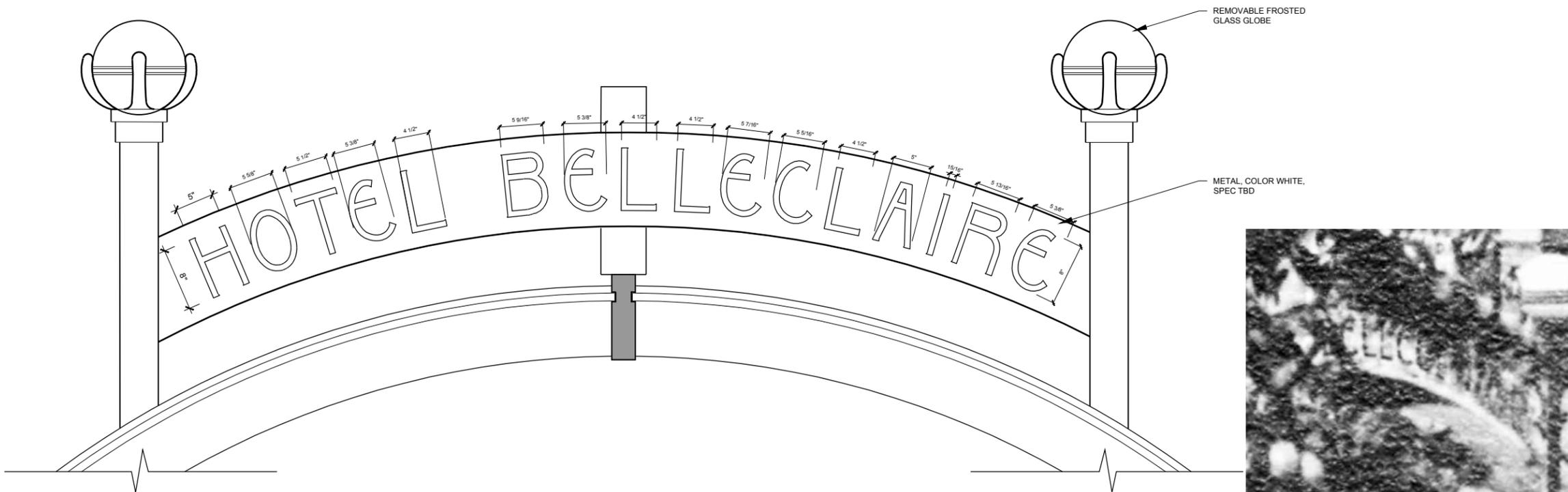
01 PROPOSED MARQUEE RCP  
Scale: 3/16" = 1'-0"





**01 SIGN DETAIL - PERPENDICULAR TO BROADWAY**

Scale: 3/4" = 1'-0"



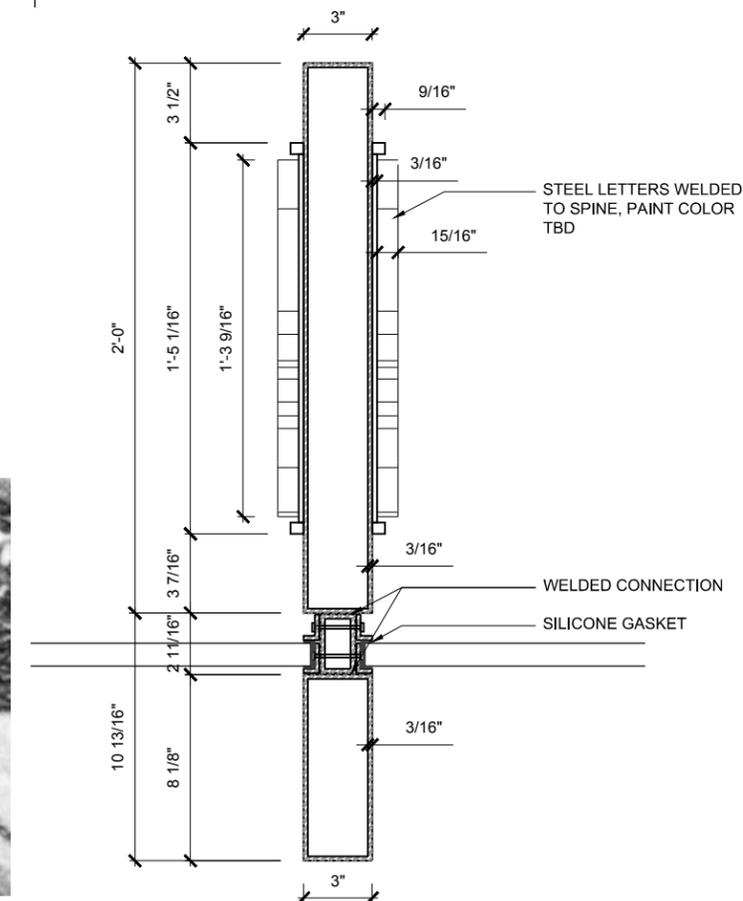
**02 SIGN DETAIL - PARALLEL TO BROADWAY**

Scale: 3/4" = 1'-0"



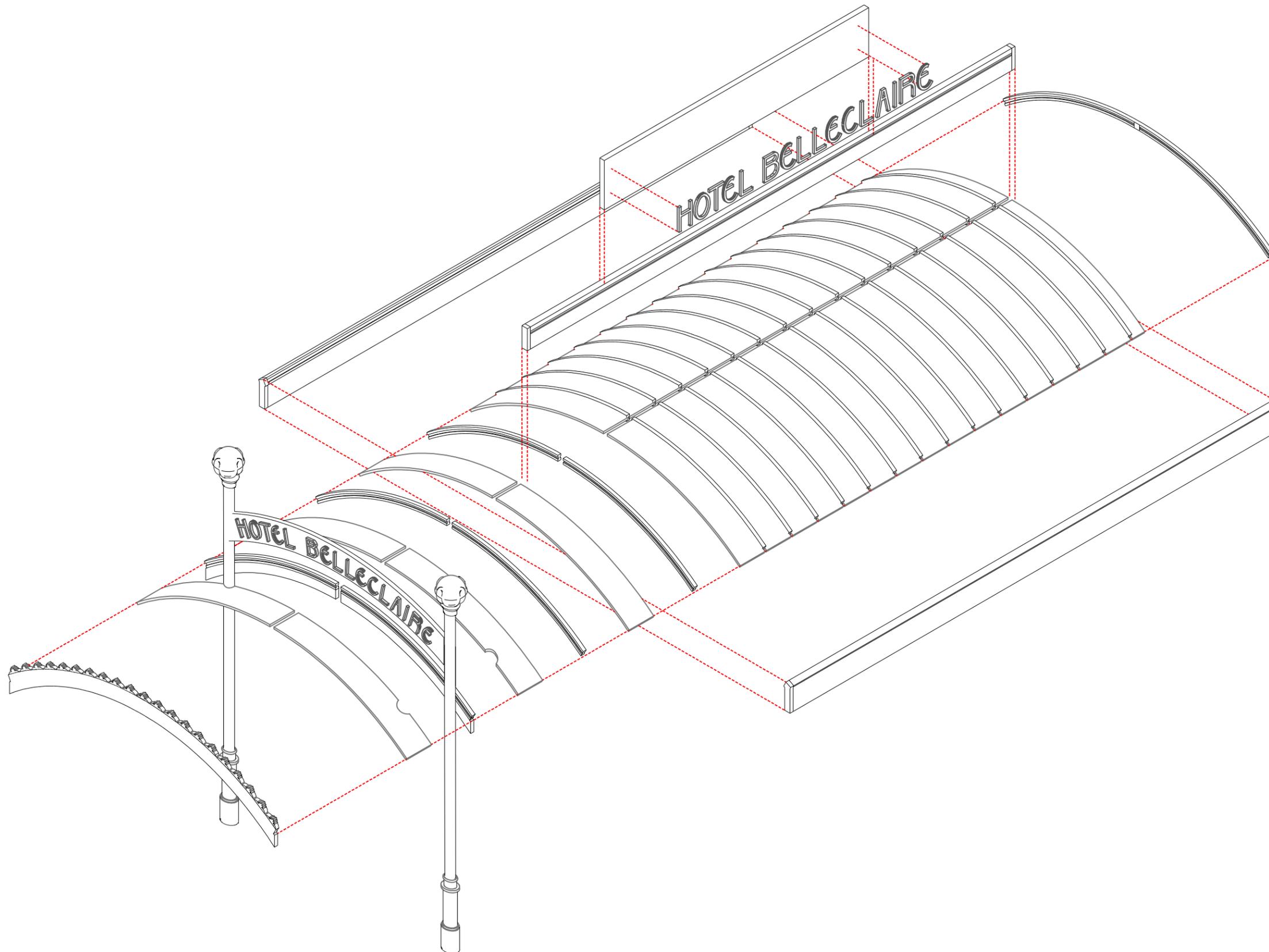
**04 HISTORICAL ADVERTISING**

Scale: n/s



**03 DETAIL SECTION @ SIGN**

Scale: 1-1/2" = 1'-0"



01 EXPLODED AXONOMETRIC  
Scale: n/s



3D MODEL



## HOTEL BELLECLAIRE

250 West 77th Street, New York, NY 10024  
Feb 04, 2016

## HISTORIC RESTORATION AND PRESERVATION