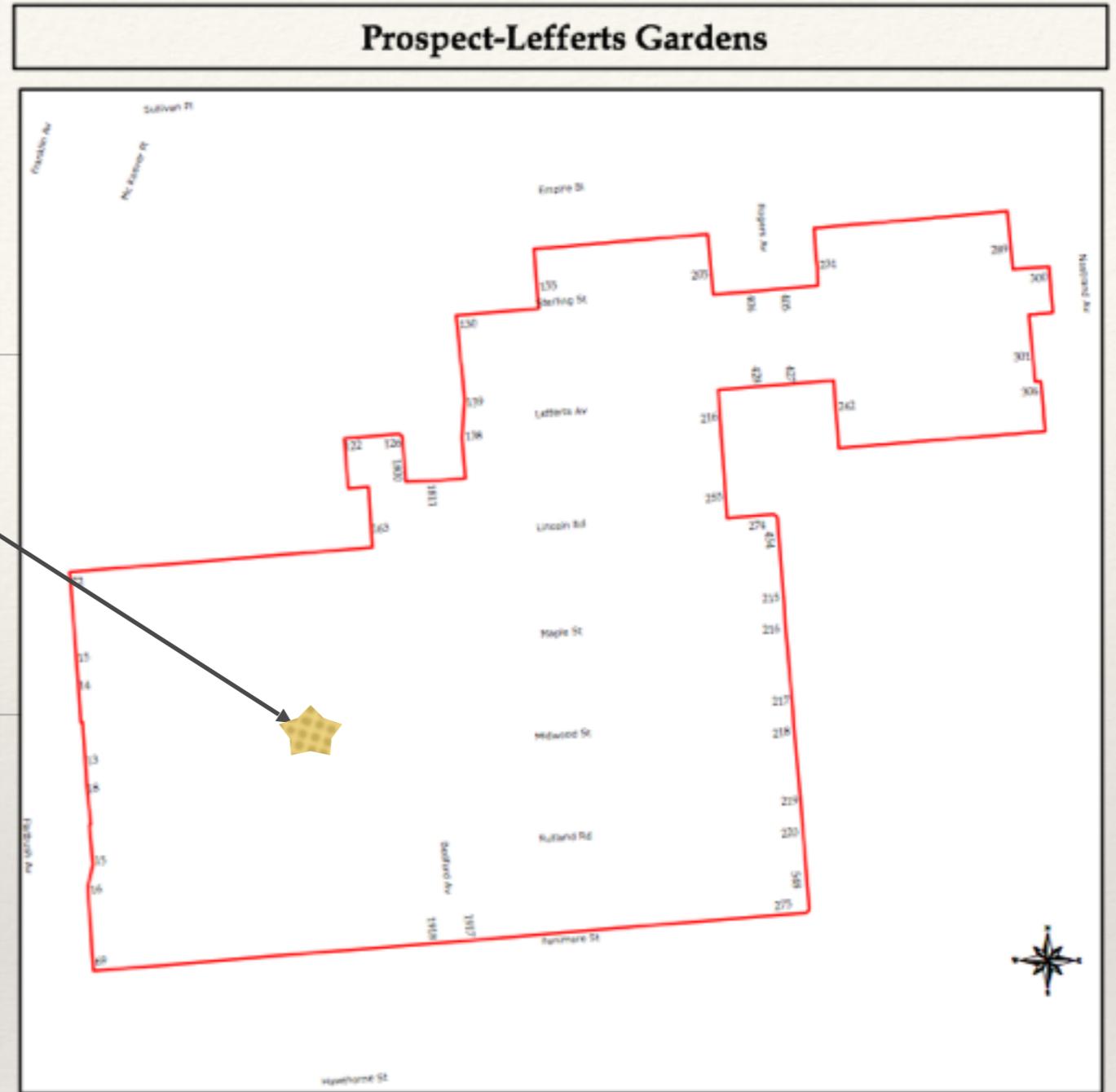


February 16, 2016

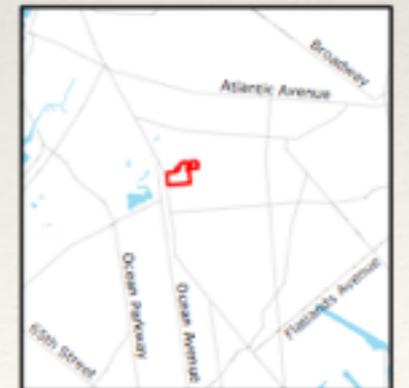
**71 Midwood Street  
Brooklyn, NY**

**Legalization of Windows**



Prospect-Lefferts Gardens  
Historic District  
Brooklyn  
Designated: October 9, 1979

 Historic District Boundaries



# Midwood Street, Block 1



Midwood Street

Looking West towards Flatbush Avenue



71 Midwood Street

# Midwood Street, Block 1



South Side of Street  
Even Numbered Buildings

Bedford Avenue to left



North Side of Street  
Odd Numbered Buildings

Bedford Avenue to right

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# 1940s Tax Photo

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NYC Municipal Archives

Block: 5031

Lot: 75



71 Midwood Street



Third & Fourth Floors



Details of 3rd Floor

# Window Specifications



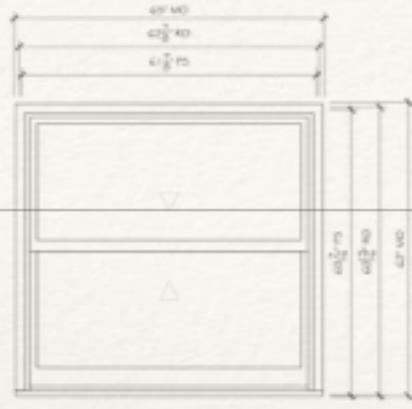
ORDERING PRODUCTS WITH REFERENCE TO THESE DRAWINGS:  
 Before ordering the Marvin window and door products indicated on an  
 order drawing, a copy of these drawings must be submitted to an  
 authorized Marvin distributor for review and approval. The Marvin  
 Division of Marvin Windows & Doors, P.O. Box 100, Akron, Ohio 44316.  
 If the Marvin products indicated on an order drawing are not available  
 in the approved stock drawings, Marvin Windows and Doors reserves the  
 right to substitute an equivalent product without notice.

WATERS

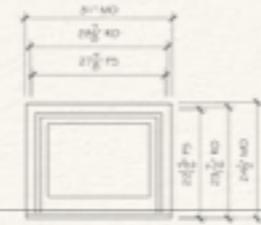
SUM67900/69602

DISTRIBUTOR: SUPER ENTERPRISES  
 DEALER: BAY RIDGE WINDOW & DOOR CORP  
 CONTRACTOR:  
 ARCHITECT:  
 DRAWING NO: 65404-2 DRAWN BY: bccmings  
 DATE: 01/04/16 REVISION DATE:

SHEET  
 1  
 OF 2



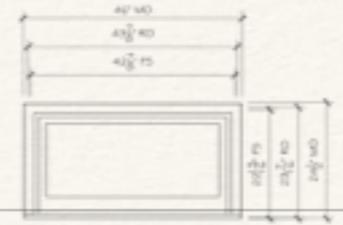
**LINE 1 SUM 67900**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH  
 FULL TRAVEL BOTH SASH  
 HARDWARE: BRONZE SASH LOCK, BRONZE SASH LIFT, BRONZE SASH LIFT SLANT



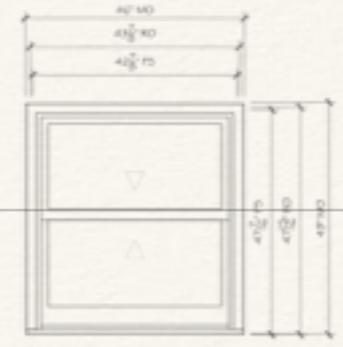
**LINE 2 SUM67900**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH



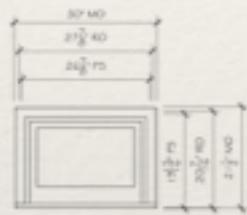
**LINE 3 SUM67900**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH  
 SCREEN: HALF SCREEN, EBONY SURROUND WITH CHARCOAL FIBERGLASS MESH



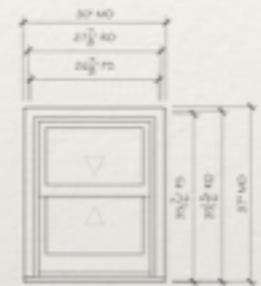
**LINE 4 SUM67900**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH



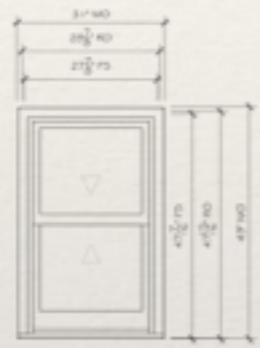
**LINE 5 SUM67900**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH



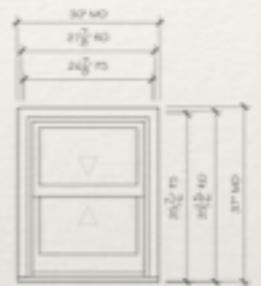
**LINE 6 SUM67900**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH



**LINE 7 SUM67900**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH  
 SCREEN: HALF SCREEN, EBONY SURROUND WITH CHARCOAL FIBERGLASS MESH



**LINE 8 SUM67900**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH



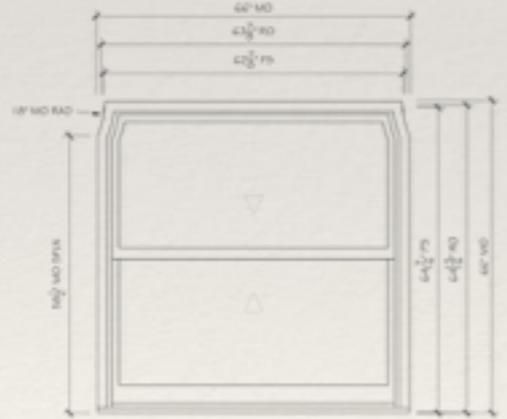
**LINE 9 SUM67900**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH

**GENERAL SPECIFICATIONS**

EXTERIOR: PRIMED PINE  
 INTERIOR: BARE PINE  
 GLAZING: 10 LOW E2 WITH ARGON  
 DIVIDER: NONE  
 JAMBS: 4 3/4"  
 EXT. CSG: 3PC7 CASING  
 W/OW H/WRE: BRONZE SASH LOCK  
 BRONZE SASH LIFT  
 EDGE JAMB HARDWARE  
 W/OW SCREEN: EBONY SURROUND WITH CHARCOAL FIBERGLASS MESH  
 INT. CSG: NONE

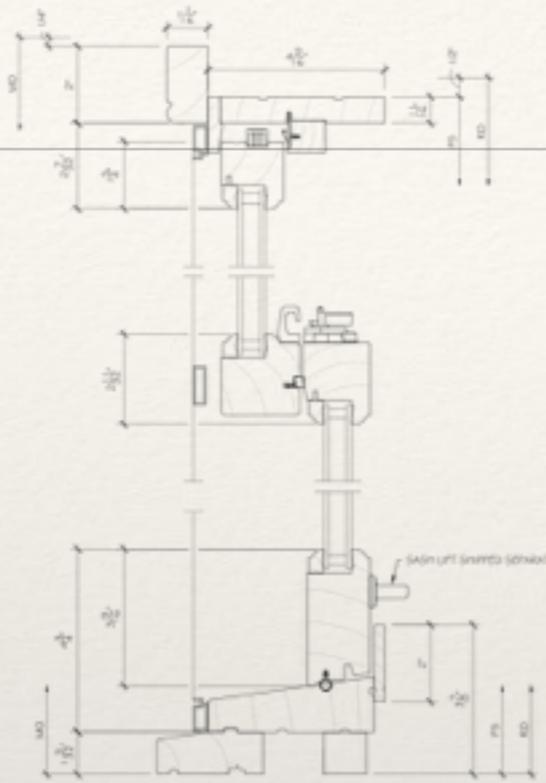
"ALL SPECIFICATIONS APPLY UNLESS OTHERWISE NOTED"  
 "ALL ELEVATIONS ARE EXTERIOR VIEW"

SPECIAL NOTES / EXCEPTIONS  
 NO INSTALLATION METHOD



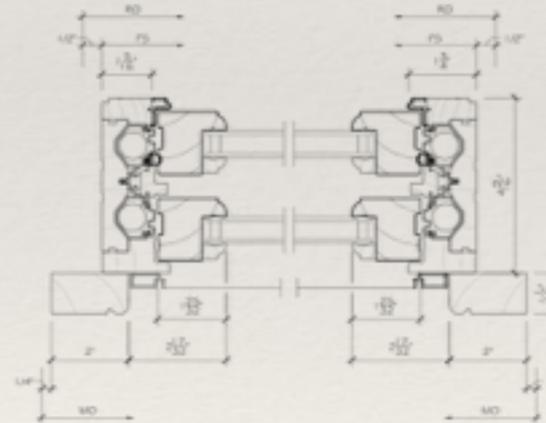
**LINE 1 SUM69602**  
 DIV. 1 SCALE: 3/4"=1'-0"  
 PRODUCT: W/UCH  
 FULL TRAVEL BOTH SASH  
 SCREEN: HALF SCREEN, EBONY SURROUND WITH CHARCOAL FIBERGLASS MESH  
 HARDWARE: BRONZE SASH LOCK, BRONZE SASH LIFT, BRONZE SASH LIFT SLANT

# Window Specifications



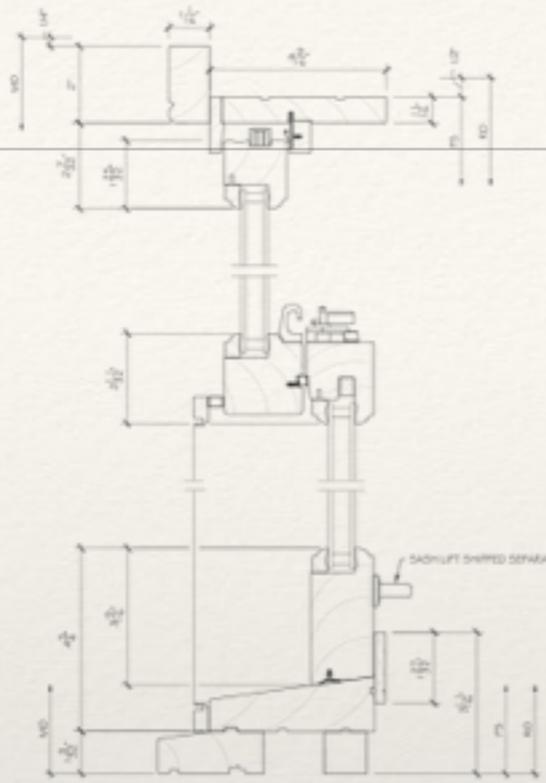
WUDHM VERTICAL DETAIL

SCALE: 1/4" = 1'-0"



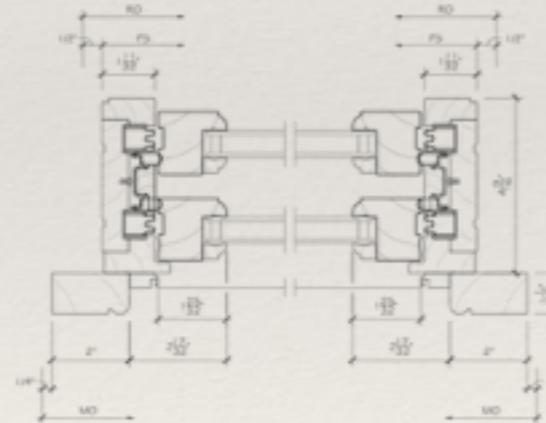
WUDHM JAMB DETAIL

SCALE: 1/4" = 1'-0"



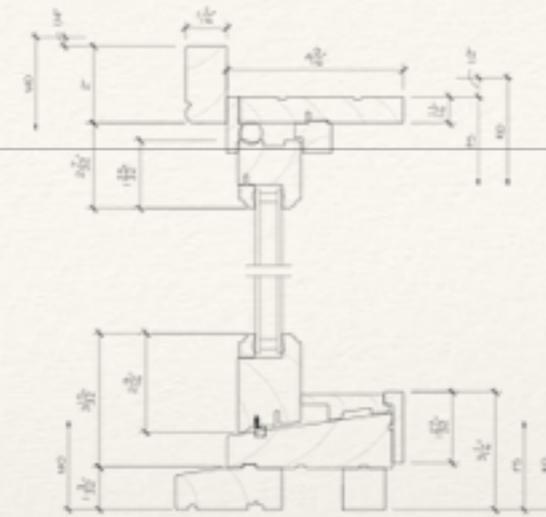
WUDH VERTICAL DETAIL

SCALE: 1/4" = 1'-0"



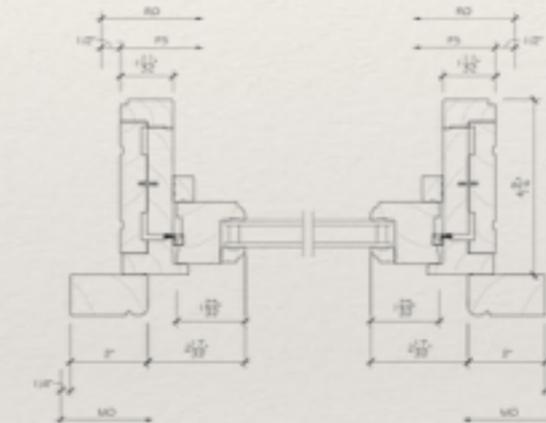
WUDH JAMB DETAIL

SCALE: 1/4" = 1'-0"



WUDHT VERTICAL DETAIL

SCALE: 1/4" = 1'-0"



WUDHT JAMB DETAIL

SCALE: 1/4" = 1'-0"



RESERVA PRODUCTO CON REFERENCIA A SUS OBRAS. Antes de usar los planos de esta obra, consulte con el arquitecto responsable de la obra para obtener los datos de los planos de la obra. Si los planos de esta obra no coinciden con los planos de la obra, se prevalecerán los planos de la obra. Si los planos de esta obra no coinciden con los planos de la obra, se prevalecerán los planos de la obra.

WATERS

SUM67900/69602

DISTRIBUIDOR: SUPREX ENTERPRISES  
 DEALER: BAY RIDGE WINDOW & DOOR CORP.  
 CONTRACTOR:  
 ARCHITECT:  
 DRAWING NO. CS-804-3  
 DATE: 01/04/15  
 DRAWN BY: [unreadable]  
 REVISION DATE:

# Marvin Windows Representative Statement on Vulnerability of Cottage Windows

**BAY RIDGE WINDOWS & DOORS Corp.**  
5717 2nd Avenue, Brooklyn, New York 11220  
T 718.748.2144 F 718.748.2152  
[info@bayridgewindowsanddoors.com](mailto:info@bayridgewindowsanddoors.com)

December 28, 2015

Mr. Jay Rasin-Waters  
71 Midwood Street  
Brooklyn, NY 11225

Dear Mr. Rasin-Waters,

Bay Ridge windows installed several Ultimate Double Hung Windows and Transoms into separate openings. Originally cottage style units were quoted. We informed you that of substantial water leakage and damage if you were to proceed with the cottage style units. Water would penetrate behind the stone façade between the transom and window. If you were to choose that type of unit Bay Ridge window could not be liable for any future damage to the units or the interior of the home.

Sincerely

Mary Ann E.

## BAY RIDGE WINDOWS AND DOORS

5717 2nd Avenue, Brooklyn, NY 11220

PHONE (718) 748-2144 FAX (718) 748-2152

[www.bayridgewindowsanddoors.com](http://www.bayridgewindowsanddoors.com)  
Lic. #1120088

PROPOSAL SUBMITTED TO <b>Jay Waters</b>	PHONE <b>718-208-3324</b>	DATE <b>June 12, 2015</b>
Street <b>71 Midwood Street</b>	JOB NAME <b>Marvin Window Units</b>	
CITY, STATE AND ZIP <b>Brooklyn, NY 11225</b>	JOB LOCATION <b>Same</b>	

We hereby propose to furnish materials and labor necessary for the completion of:

**Supply Deliver & Install,**

**Marvin Double Hung Windows, Primed Pine Exterior, Bare Pine Interior, Beige Jamb Liner, Insulated Low-e w/Argon Glass, Satin Taupe Sash Lock & Lift, Ebony Half Screens w/Charcoal Fiberglass Mesh, 4 9/16" Jamb, Special Exterior Brick Mold Casing # 7.**

1st Fl: 1 Magnum Double Hung Variation Unit	\$ 4,190.00	2 lock, 2 lift
2nd Fl: 1 Magnum Double Hung	\$ 2,985.00	2 lock, 2 lift *
3rd Fl: 2 - Cottage Style	\$ 1,850 ea.	\$ 3,700.00
1 - Cottage Style		\$ 2,070.00
4th Fl: 4 - Cottage Style	\$ 1,700 ea.	\$ 6,800.00
Paint Window Exteriors Black	\$ 1,350.00	Total \$ 21,095.00

\* Magnum Used As Replacement Window

Includes Caulking, Removal Of All Debris.

**One (1) Year Labor Warranty. All Products Under Manufacturers Warranty.**  
**\*Low-E w/Argon Glass has Slight Tint.\***

WE PROPOSE hereby to furnish material—complete in accordance with above specifications, for the sum of:

Twenty One Thousand Ninety Five 00 / 00 dollars \$ 21,095.00

Payment to be made as follows:

**50% Deposit, 40% at Delivery, 10% Balance at Completion Payable in Cash Only.**

**Thank You! 3% May Be Added For Credit Card Purchases** **\*All Quote Valid for 30 Days\***

All material is purchased to be as specified. All work to be completed in a substantial and workmanlike manner according to specifications submitted, per standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, theft and other necessary insurance. Our workers are fully covered by workman's Compensation insurance.

Authorized Signatory: \_\_\_\_\_

Note: This proposal may be withdrawn by us if not accepted within **3** days

ACCEPTANCE OF PROPOSAL The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified. Payment will be made as outlined above.

Signature \_\_\_\_\_

Date of Acceptance \_\_\_\_\_

Signature \_\_\_\_\_

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# Paired Houses Comparison

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52 Midwood



71 Midwood

# 52 Midwood Street



3rd Floor Left Sash  
Deterioration



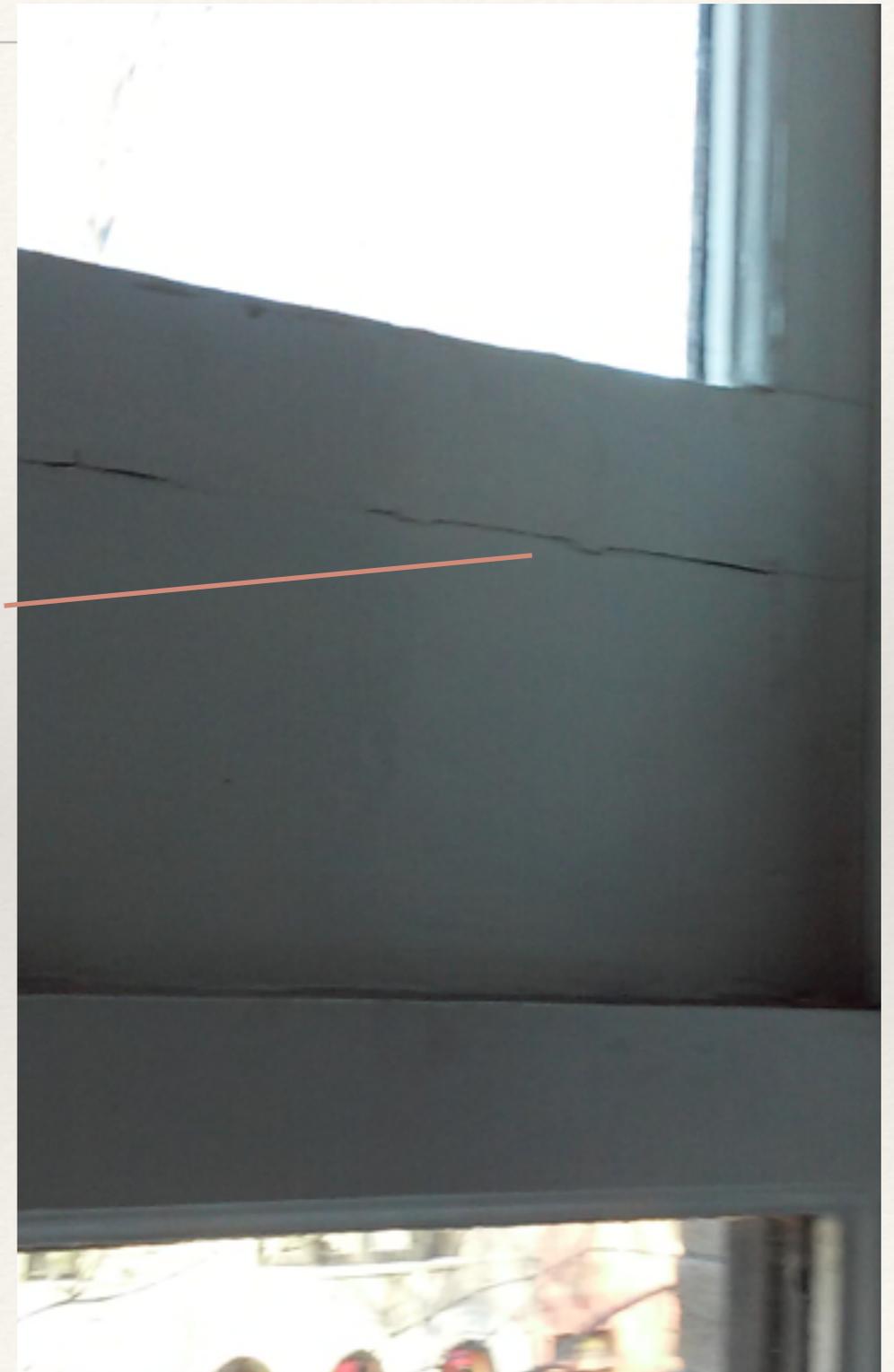
3rd Floor Right Sash  
Deterioration

Deterioration

# 52 Midwood Street



4th Floor Sash Deterioration



# Paired Houses Comparison

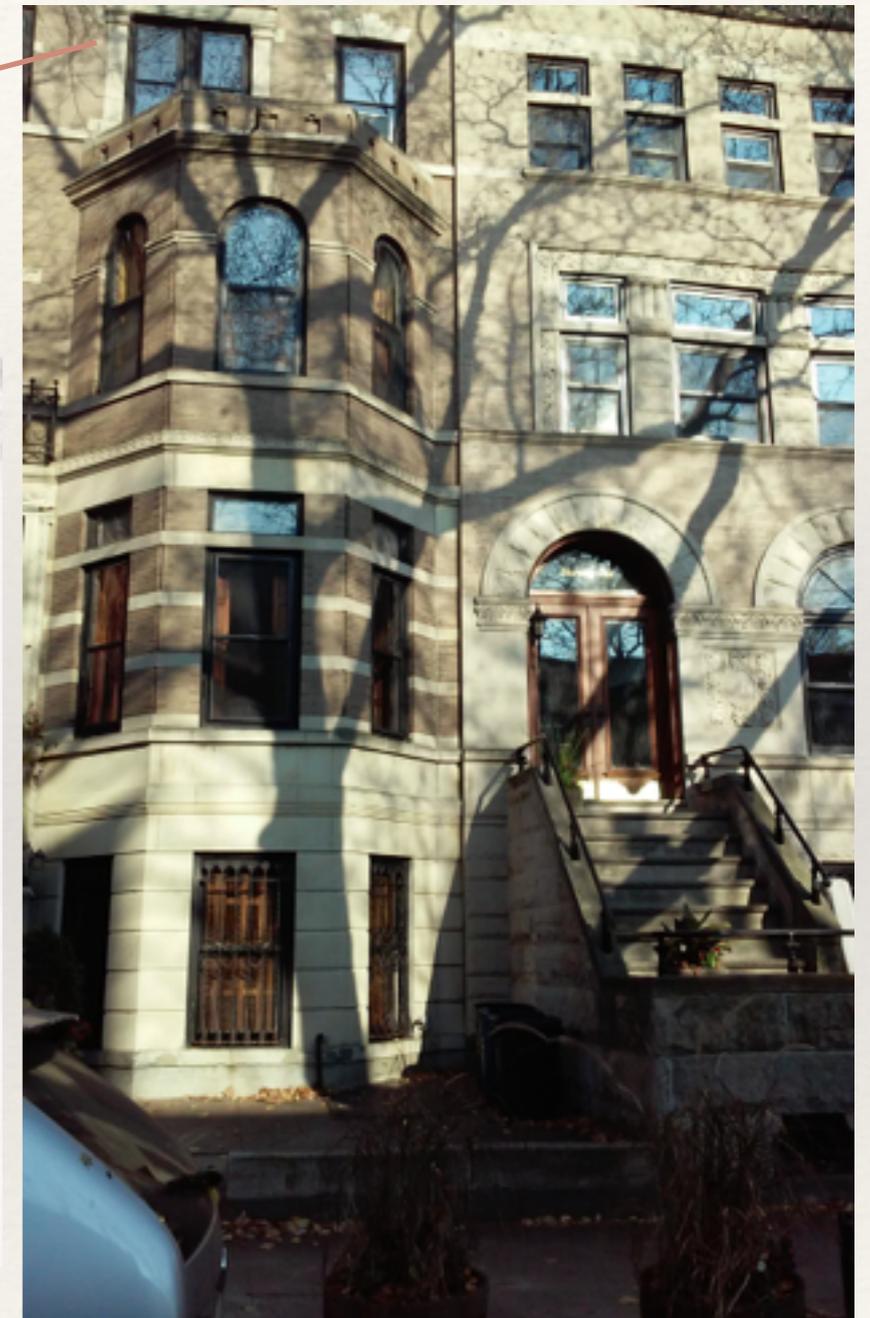


54 & 52 Midwood Street

Note absence of  
stone transom  
on "sister house"



69 Midwood  
1940s Tax Photo



69 & 71 Midwood Street

# Paired Houses Comparisons

## 51 Midwood Street



Transom



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# Paired Houses Comparison

## 72 Midwood

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# Paired Houses Comparison

51 Midwood

72 Midwood



Double Sash  
& Transom

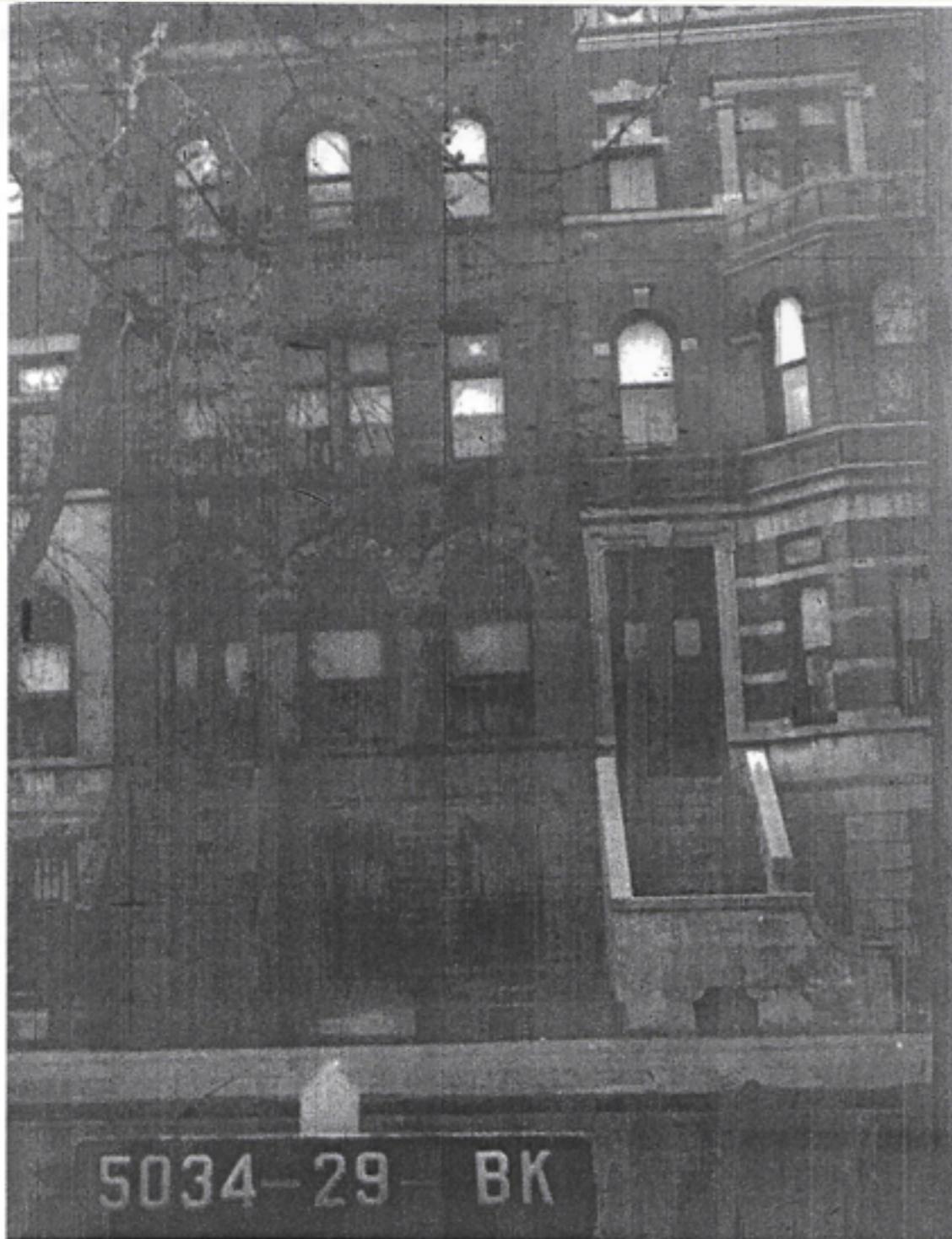


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# Paired Houses Comparison

## 56 Midwood Street

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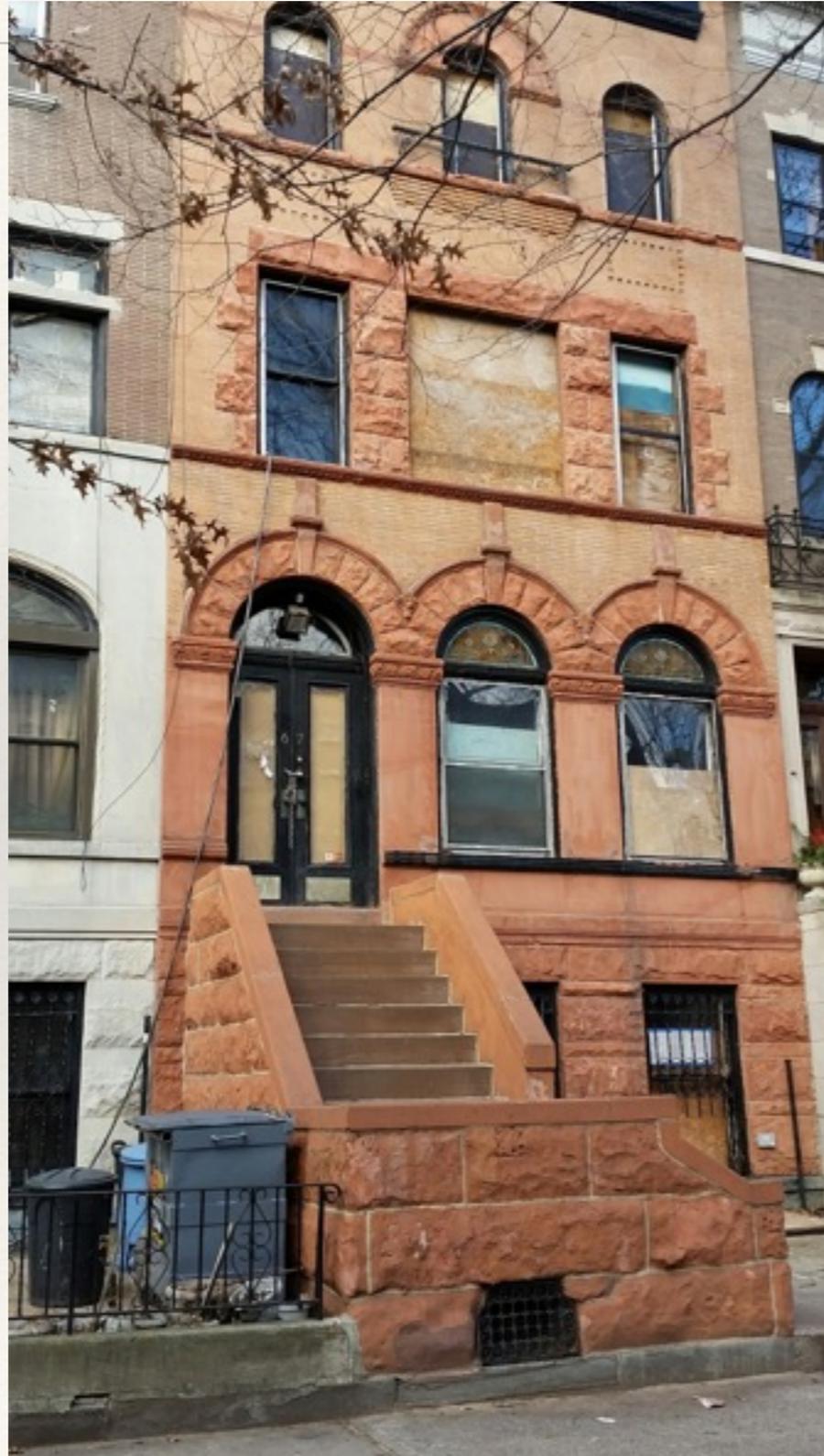


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# Paired Houses Comparison

## 67 Midwood

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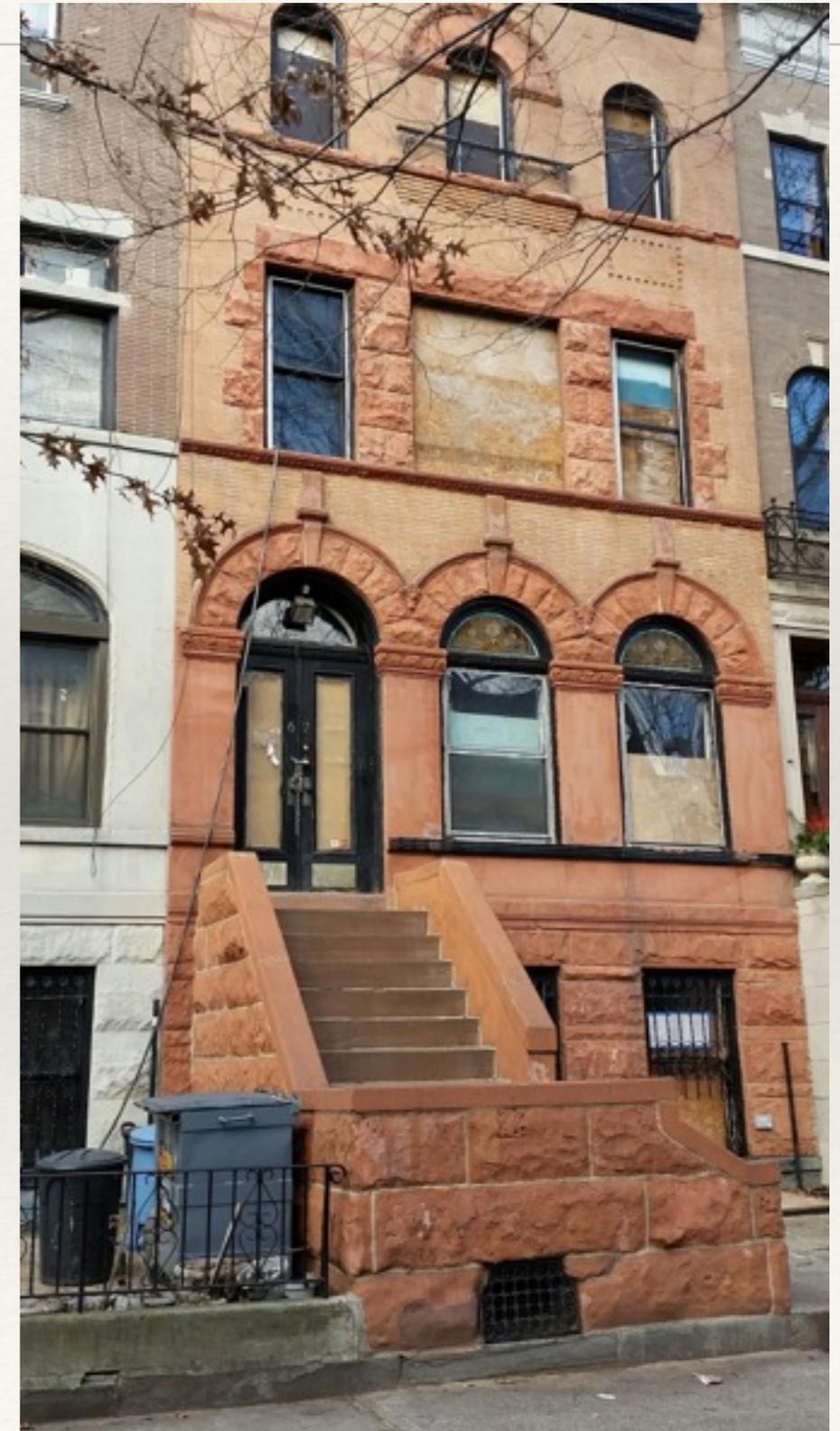
# Paired Houses Comparison

56 Midwood

67 Midwood

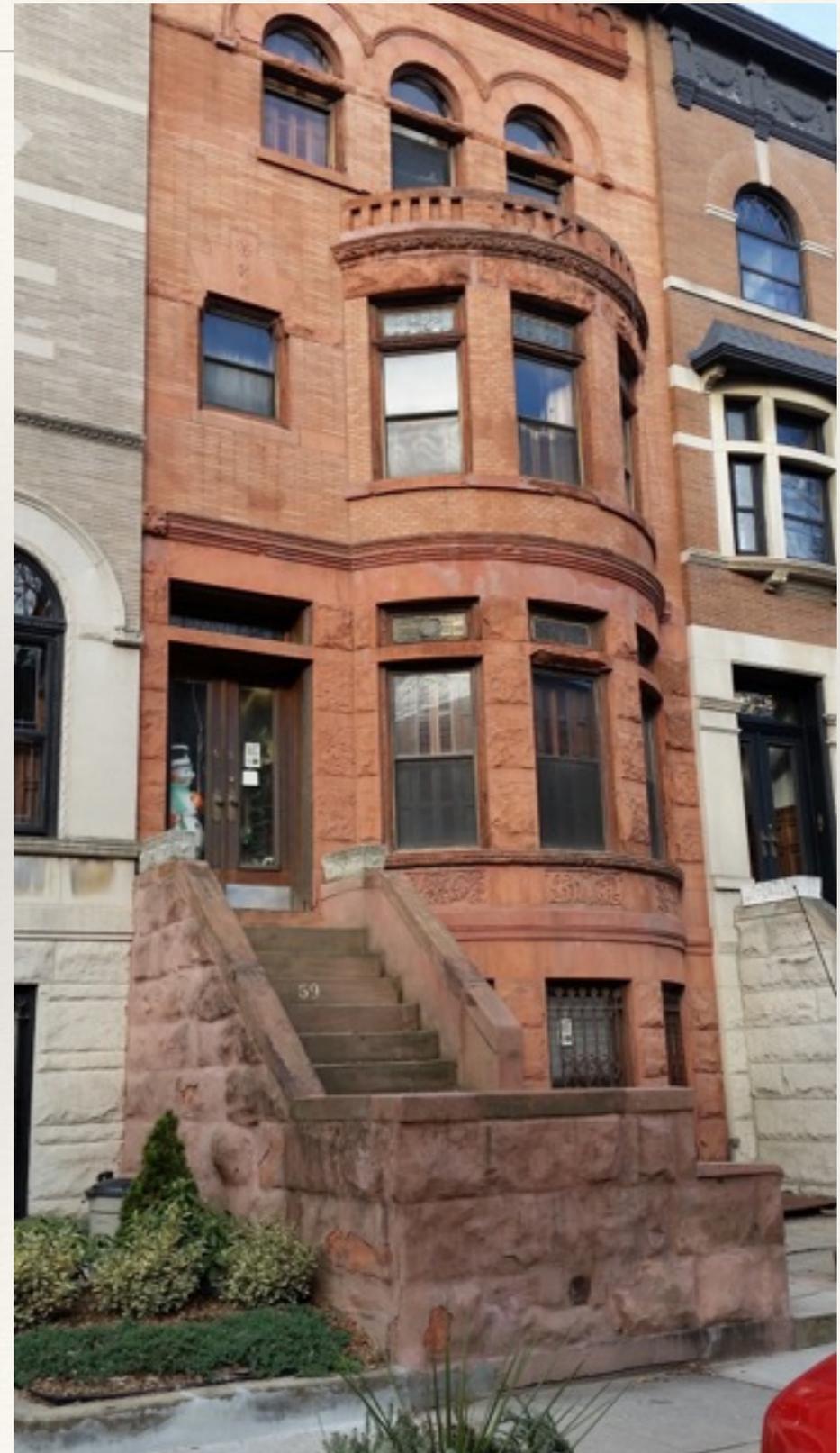
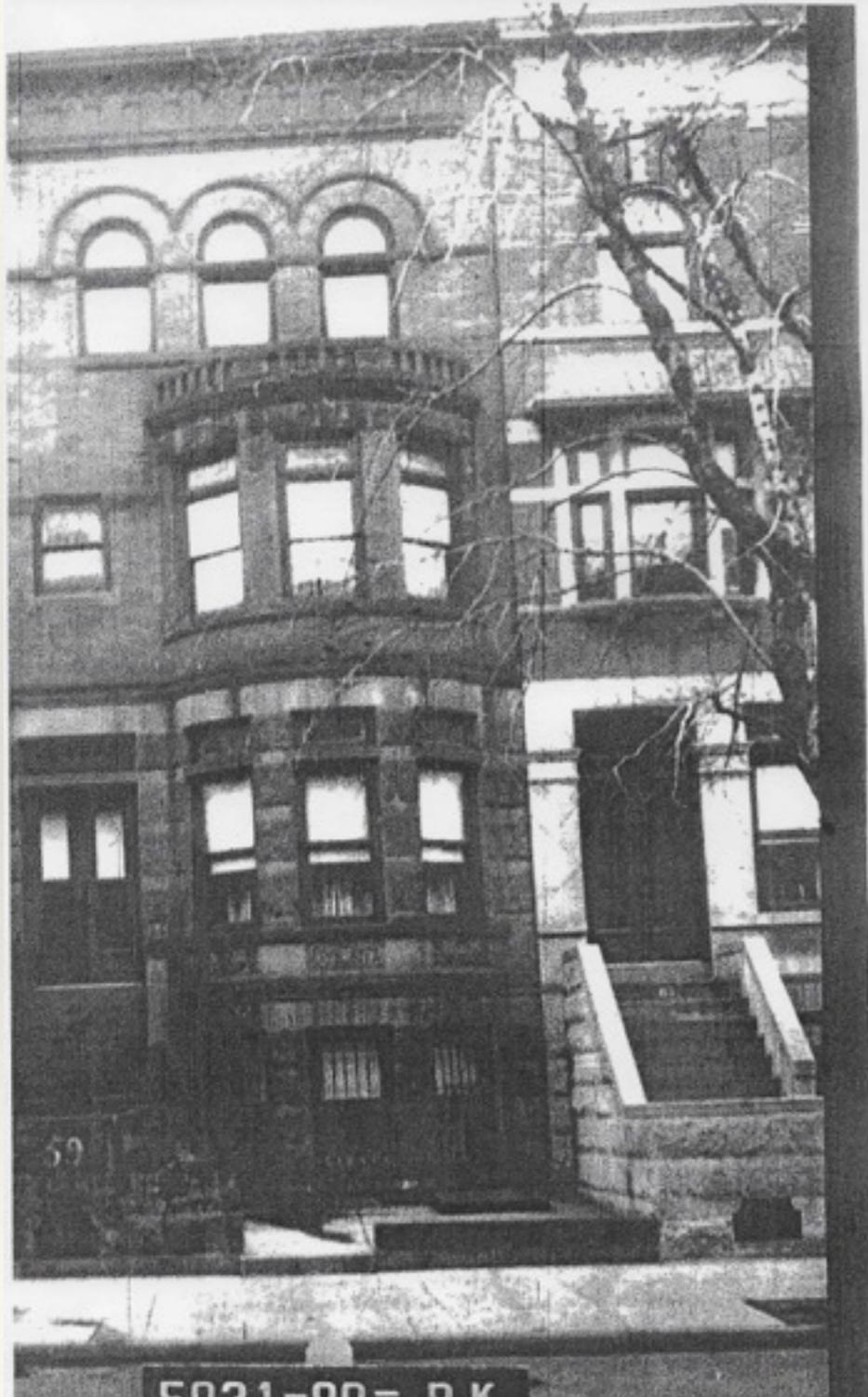


Double Sash  
& Transom



# Paired Houses Comparison

## 59 Midwood



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# Paired Houses Comparison

## 62 Midwood

---



# Paired Houses Comparison

59 Midwood

62 Midwood



Double Sash  
& Transom

---

# Paired Houses Comparison

## 60 Midwood

---



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# Paired Houses Comparison

## 61 Midwood

---



# Paired Houses Comparison

60 Midwood

61 Midwood



Double Sash  
& Transom



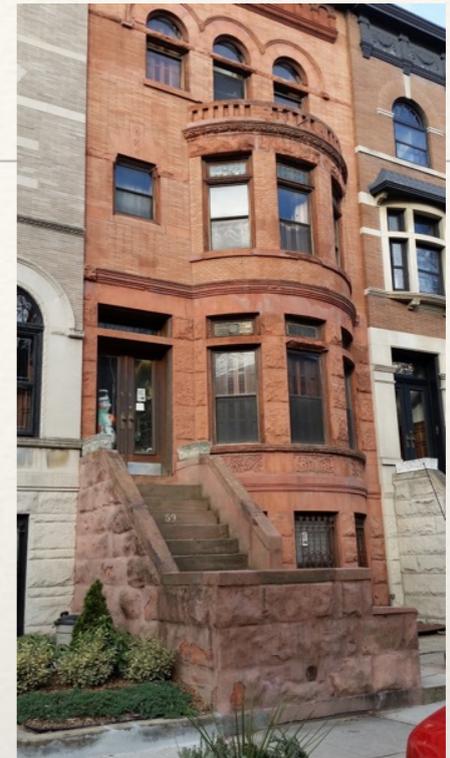
# Houses with Double Sash and Transom



56 Midwood



61 Midwood



59 Midwood



62 Midwood



68 Midwood



72 Midwood

# 71 Midwood Street Windows



Bucken  
Design  
Architects  
9 Murray St. Suite 4 SW  
New York, NY 10007  
212.474.3440

3rd Floor:  
Brick to Brick  
Replacement  
(4) Transoms  
(4) DH windows

2nd Floor:  
Brick to Brick  
Replacement  
(3) Transoms  
(3) DH windows

1st Floor:  
Brick to Brick  
Replacement  
(1) DH window

Basement:  
DH sash replacement  
only

1 Front Facade - Existing Condition  
71 Midwood Street, Prospect Lefferts Gardens Hist. District

05/18/15

Before



After