



Historic Photograph of both Buildings - Circa 1900's

WINDOW REPLACEMENT

- Building A = #754 Broadway & #9 Astor Place - a 12 story, steel frame, L-shaped building.
- Building B = #1 Astor Place - a 7 story, ornate brick bearing wall building, these two buildings were substantially renovated and converted into single multi-family residential use in 1981, 18 years before the Landmark District was established.

BLOCK: 545 **LOT:** 59

ZONE: C6-2 General Central Commercial District

NOHO HISTORIC DISTRICT, MANHATTAN

Designated 29 June 1999

Substantially Renovated / Converted 1981

Mullen Palandrani, Architects
165 Lexington Avenue
New York, N.Y. 10016
212-260-6880

Overview

The subject property is comprised of two historic buildings, which were converted from commercial uses and combined into a single, multi-family residential use in 1981. The combined structure is known as #1 Astor Place with its main, residential entry on that street.

The two historic building are:

Building “A”

- The “Sinclair Building”, a 1908, 12 story, L-shaped, steel framed, classic revival style office building with primary facades on Broadway, East 8th St., and Astor Place. This 12 story L-shaped building surrounds the 7 story brick structure on two sides. A small interior courtyard is formed between the two buildings at the intersection of the legs of the L-shaped building, and

Building “B”

- A seven-story, red brick, Noe-Grecco style, bearing wall building at the intersection of Broadway and Astor Place.

Historic and Existing Windows

As illustrated in the by historic photos, the “original” windows in both buildings were one-over-one, double hung. The typical existing opening in the shorter, red brick, residential, “B” Building are consistently 4’ – 0” wide on the two street elevations, and lend themselves to the installation of standard double-hung units with a fixed lower, A/C panel or insulated glass. The typical existing opening in the taller, white terracotta building “A” are significantly larger, with opening widths starting at 4’ – 0” and increasing to 6’ – 0” wide. Because of the sash size, these wider masonry openings do not lend themselves to a double-hung configuration. In the 1980 conversion, 18 years before District designation, new sliding glass windows with fixed transoms “above” and “below” the active sliding units were installed. This window configuration provided space in the lower transom for room air conditioning units to be installed without any modifications to the architecturally significant, original, primary facades. The placement of the air conditioning units within the custom window units (and not thru the historic facades) provides for their easy maintenance and repair, and the independent use of generous natural ventilation provided by the sliding glass units above. There is no central air condition system in the building, each unit is self contained and controlled by the tenant.

Proposed Windows

We have divided our window replacement program into two major “window types”: Casement Type Windows- which are most appropriate for the large masonry openings (in excess of 4’ - 0” wide) in the taller steel frame, terra cotta “A” Building, and

Double Hung Windows in the shorter, brick masonry, “B” Building, both types will have a fixed bottom panel to accept air conditioning units or insulating glass (where there are no A/C units).

Building “A” – Because the existing masonry openings start at 4’ – 0” wide x 8’ – 6” high and range in size to 6’ – 0” wide 9’ – 6” high, we have proposed at double casement window with an insulated glass transom above and below it. Below the active sash, which is approximately 5’ – 6” high, is a fixed glass panel that will accommodate a room air conditioner at some locations.

Building “B” within the consistent 4’ – 0” wide by 7’ - 6” - 8’ - 6” high masonry openings, we propose to replace the existing windows, with 1-over-1, double hung windows with a fixed glass panel at the bottom. This bottom panel will accommodate room air conditioners in some locations or fixed insulating glass panels (where there are no air conditioners), This configuration will closely match the Historic 1-over-1 double hung window, and seen from street level, the bottom transom will be partially concealed from view, in the deep set masonry openings.

Conclusion

Because of the dramatically different exterior appearance of these two buildings, (“A” & “B”) the installation of these two window types is quite appropriate.

The newer more modern building “A” with larger openings (where double hung windows would be far to big for operation and cleaning) the window openings are sub-divided vertically to provide more manageable, self supporting operating sash (casements). The older brick building, with smaller openings, will maintain the historic character of the horizontally divided double hung window. These installations will have no affect on any significant architectural feature, will dramatic improve the energy efficiency of the building envelop, and will provide manageable window sizes for window operation and cleaning.

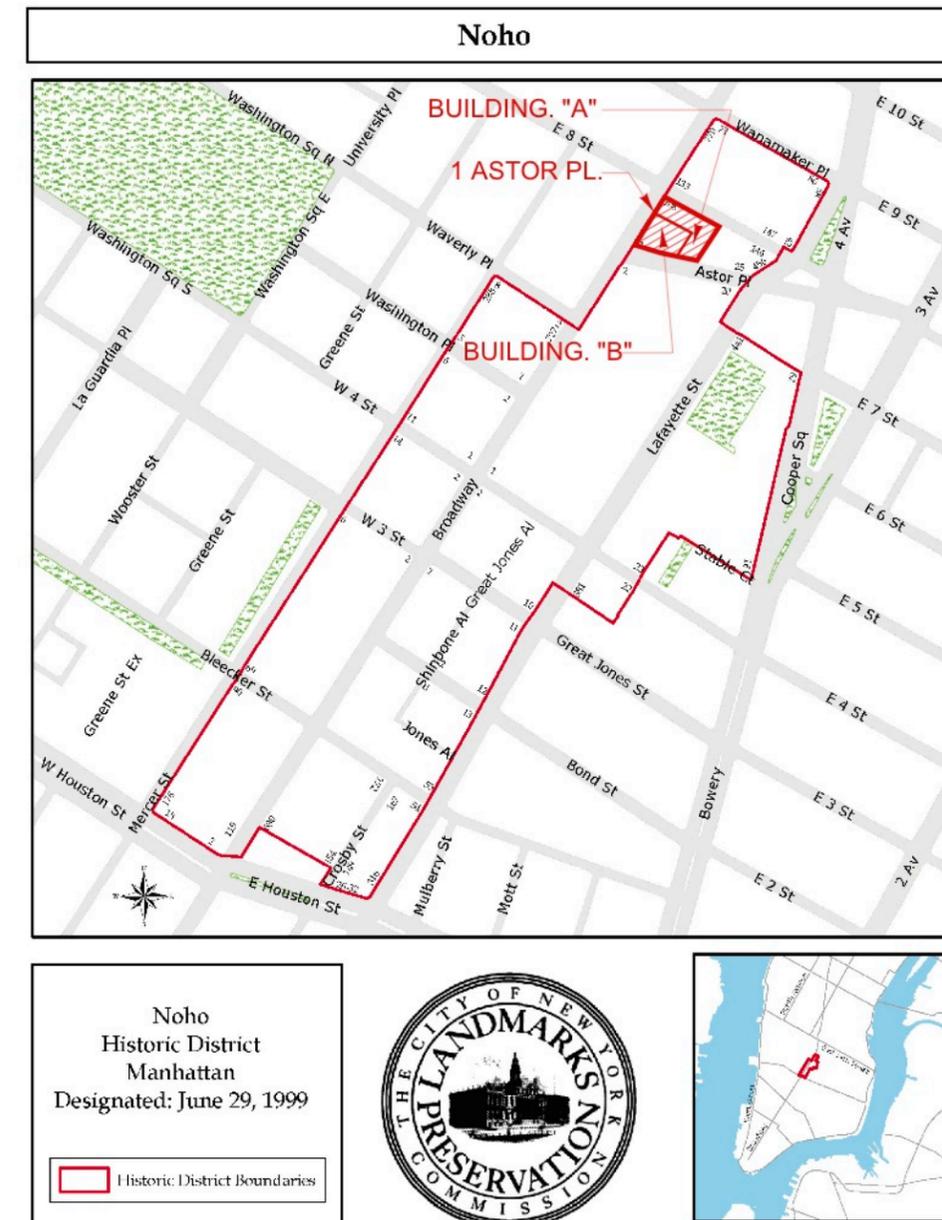


PHOTO #7
PHOTO #11

PHOTO #8

EAST 8TH STREET
(60' WIDE STREET)

PHOTO #4

BUILDING "A"
A 12 STORY BUILDING

#21 ASTOR PLACE
11 STORY BUILDING
HEIGHT = 130' (11 STORIES)

BROADWAY
(100' WIDE STREET)

PHOTO #5

STAIR #2

STAIR #3

COURT

PHOTO #6

STAIR #1

BUILDING "B"
A 7 STORY BUILDING

PHOTO #9

PHOTO #3
PHOTO #10

ASTOR PLACE
(70' WIDE STREET)

PHOTO #1

PHOTO #2

1 TYPICAL APARTMENT FLOOR PLAN

SCALE: 1/8" = 1'-0"



LEGEND		REVISION	
	BUILDING "A" 12 STORY BUILDING / STEEL FRAME.	NO.	DESCRIPTION
	BUILDING "B" 7 STORY BUILDING / BRICK BEARING WALL BUILDING.		DATE
	APARTMENTS.	MULLEN / PALANDRANI ARCHITECTS 165 LEXINGTON AVE. NEW YORK, NY 10016 TEL: 212 260-6880 FAX: 212 260-7690 EMAIL: MULLENARCHITECTS@NYC.RR.COM	
	APARTMENTS.		
	AIR CONDITIONER LOCATIONS.		
	COURTYARD (NOT VISIBLE FROM STREET).	PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM	
	VIEWS FROM PHOTOS.	TITLE: TYPICAL APARTMENT FLOOR PLAN AND KEY PLAN	
	NEW WINDOWS.	DWG #: LP-001 00	
	APARTMENT ENTRY DOORS.	SCALE: 1/8"=1'	DATE: 09-01-15
		JOB NO.:	PAGE: 1/1
		P509-D	



BUILDING "B" - South Elevation - #1 Astor Place (Photo #1)



BUILDING "B" - South Elevation - #1 Astor Place (Photo #2)



BUILDING "A" - South Elevation - # 754 Broadway & 9 Astor Pl. (Photo #3)



BUILDING "A" - West Elevation - #754 Broadway (Photo #4)



BUILDING "B" - West Elevation - #1 Astor Place (Photo #5)



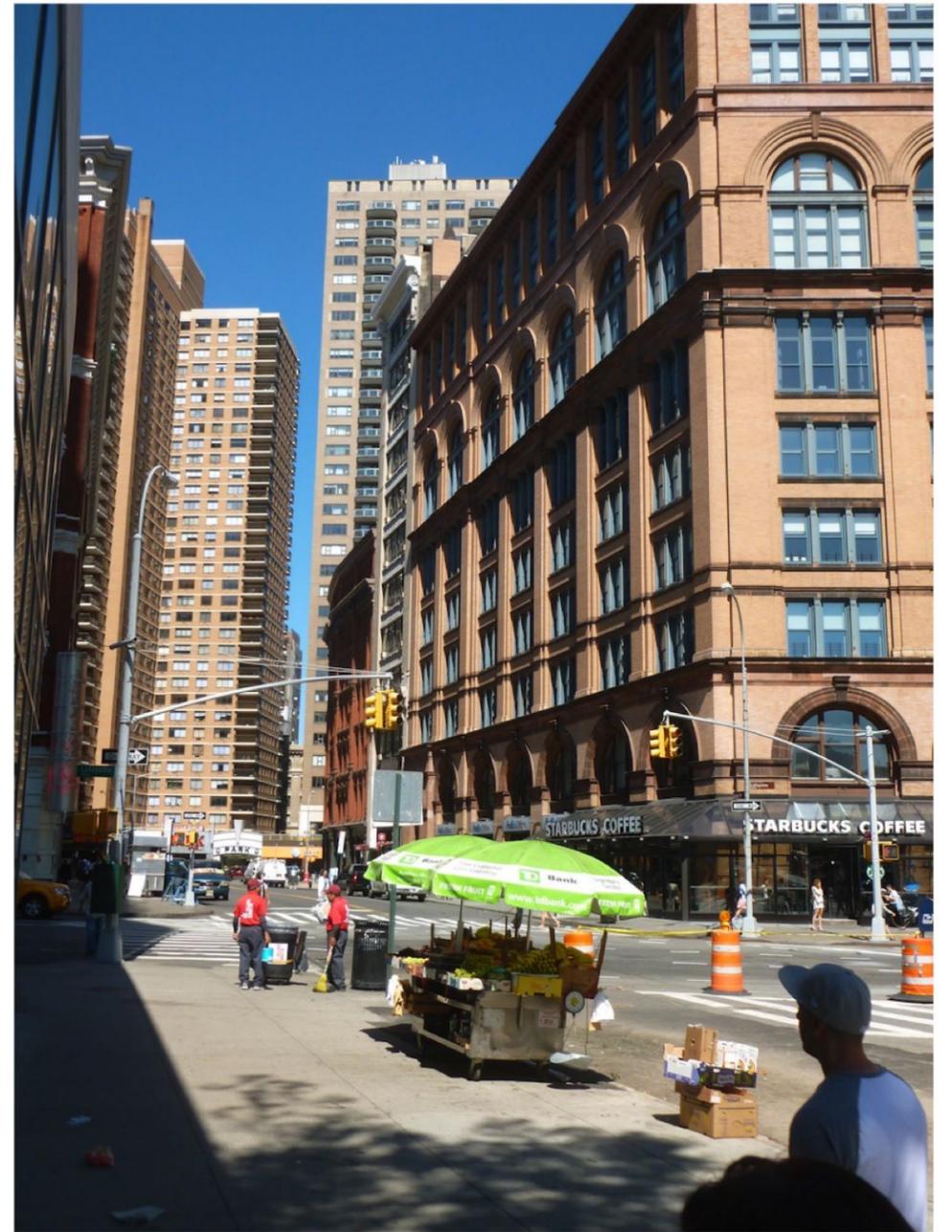
BUILDING "B" - Detail of #1 Astor Place Building (Photo #6)



BUILDING "A" - Northwest Corner Elevation (Part North Elevation)
#754 Broadway (Photo #7)



BUILDING "A" - East Elevation From East 8th Street,
concealed by 10 story building in foreground (Photo #8)



BUILDING "A" & "B" - East Elevation from Astor Place,
concealed by 10 story building in foreground (Photo #9)



DETAIL OF BUILDING "A" (Photo #10)



BUILDING "A" - Detail of Northwest corner - #754Broadway (Photo #11)



EXISTING CAST IRONS
PANDREL

EXISTING CAST IRON
COLUMN

EXISTING CAST IRON
MULLIONS

9'-6"

6'-10"

EXISTING CAST IRONS
PANDREL

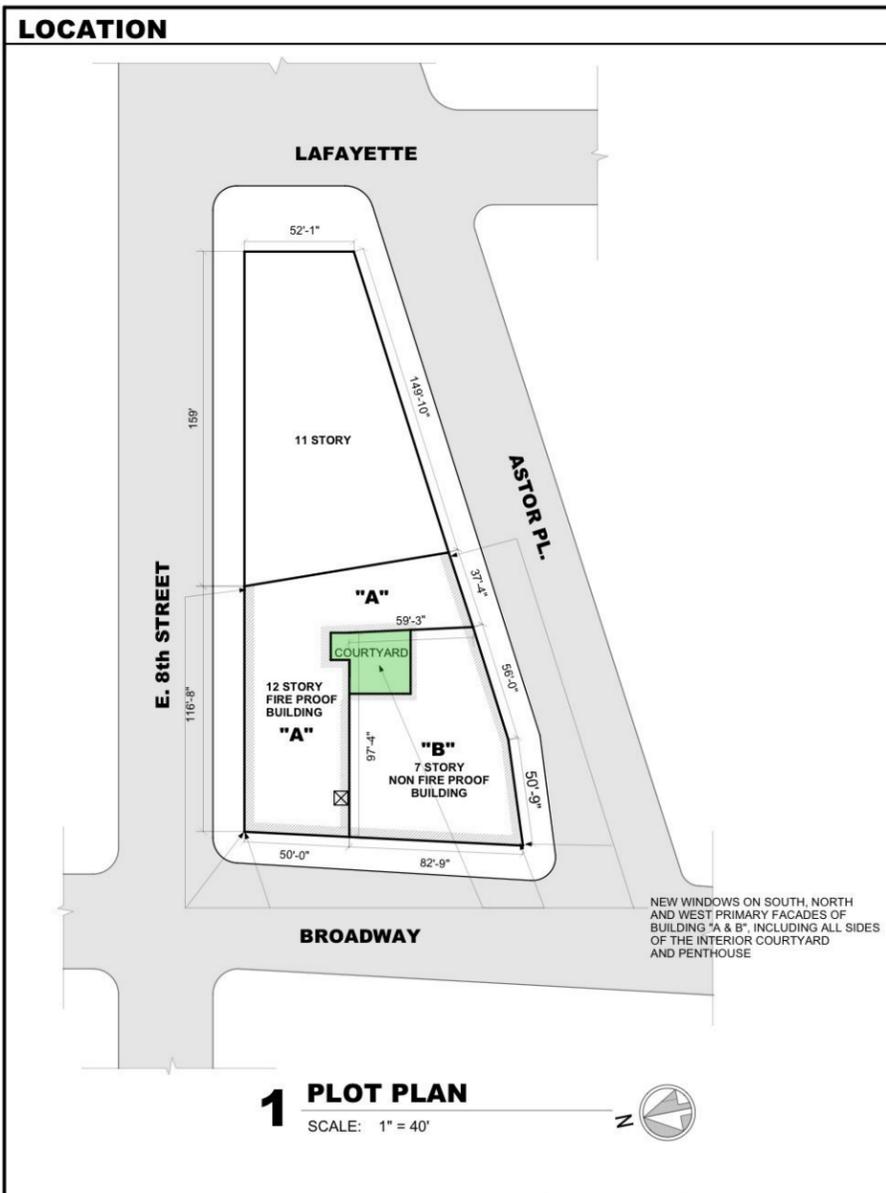
DETAIL OF BUILDING "A" (Photo #12)



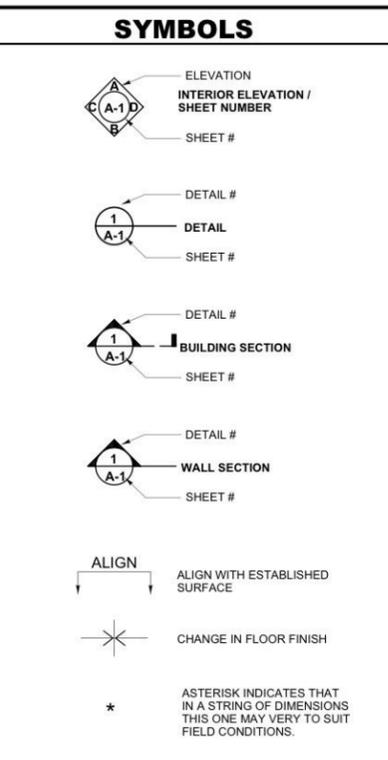
BUILDING "B" in foreground BUILDING "A" in background
1940 Historic Photo of #1 Astor Place.



BUILDING "A" - 1940 Historic Photo of # 754 Broadway (looking east from 8th St.)



BUILDING INFORMATION	
LOCATION:	1 ASTOR PLACE, MANHATTAN, NYC
BLOCK:	545
LOT:	59
ZONE:	C6-2
MAP:	12C
COMMUNITY BOARD:	102
LANDMARK STATUS:	L-LANDMARK
SPECIAL PURPOSE DISTRICT:	NONE
OCCUPANCY	J-2
FLOOD HAZZARD AREA	
<p>OTHER AREAS: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. SEE LEGEND ON THE FEMA / FLOOD INSURANCE RATE MAP FROM 2007 & 2013. NOTE: PROPERTY IS NOT IN FLOOD AREA AS PER NATIONAL FLOOD INSURANCE PROGRAM.</p>	
SCOPE OF WORK	
REPLACEMENT WINDOWS AT BUILDING "A" & "B" ON ALL FLOORS INCLUDING PENTHOUSE. NO CHANGE IN USE OR OCCUPANCY OR EGRESS.	
GENERAL NOTES:	
<p>1. ALL WORK UNDER THIS CONTRACT SHALL BE DONE IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY OF NEW YORK.</p> <p>2. ALL PERMITS FOR WORK UNDER THIS CONTRACT SHALL BE SECURED BEFORE WORK BEGINS. (INCLUDING BUT NOT LIMITED TO PLUMBING, ELECTRICAL, DEMOLITION, SIDEWALK BRIDGE, STREET OBSTRUCTION BOND, CONTAINER ETC.).</p> <p>3. THE CONTRACTOR SHALL FURNISH THE OWNER WITH CERTIFICATE OF INSURANCE STATING THEIR LIMITS OF LIABILITY, POLICY #, EXPIRATION DATE, AND GENERALLY INDEMNIFYING THE OWNER AGAINST WORK BY THE CONTRACTOR.</p> <p>4. THE CONTRACTOR SHALL INSURE THE SAFETY OF LIFE AND PROPERTY OF HIS WORKMEN, THE OWNER'S PROPERTY, ADJACENT PROPERTIES, AND ALL PEOPLE IN THE AREA OF HIS WORK.</p> <p>5. FOR THE FULL DURATION OF THE WORK, IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE ADEQUATE PROTECTION FOR THE TENANTS AND THE PUBLIC AGAINST PERSONAL INJURY. LEGAL EGRESS FROM THE BUILDING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND IF MODIFIED FOR ANY TIME ADEQUATE, SIGNAGE, LIGHTING, AND NOTIFICATION SHALL BE GIVEN TO ALL TENANTS.</p> <p>6. ALL MATERIALS AND DEBRIS DEMOLISHED AT THE SITE SHALL BE REMOVED AND DISPOSED OF PROPERLY AT THE CONTRACTOR'S EXPENSE.</p> <p>7. JOB TO BE LEFT BROOM SWEEP CLEAN.</p> <p>8. ALL PLUMBING & ELECTRICAL WORK TO BE PERFORMED BY LICENSED CONTRACTORS.</p>	
SPECIAL INSPECTIONS	
ENERGY CODE	BC 109.3.4
FENESTRATION THERMAL	(II A5)
FENESTRATION AIR LEAKAGE	(II A6)
FINAL DIR 14	BC 109.5



SECTION SYMBOLS	
	EXISTING WALL TO REMAIN
	NEW WALLS (SEE WALL TYPES)
	EXISTING WALL (CONSTRUCTION) TO BE REMOVED
	STONE
	SAND OR GROUT, CONCRETE IN ELEVATION
	CONCRETE
	METAL
	PLYWOOD
	WOOD (FINISH)
	WOOD (CONTINUOUS)
	WOOD BLOCKING (INTERRUPTED MEMBER)
	GYPSUM WALL BOARD (GWB)
	COCO MATT WALK-OFF
	CARPET
	PATCH EXISTING WALL
	HEIGHT ABOVE ADJACENT FINISHED FLOOR
	ELEVATION ABOVE DATUM (0' - 0")
	LINE OF ITEMS SEEN BELOW, ABOVE, OR BEYOND
	LINE OF ITEMS SEEN BELOW, ABOVE, OR BEYOND
	LINE OF ITEMS SEEN ABOVE
	LINE OF EXISTING STEEL FRAMING TO BE REMOVED
	NEW OR EXISTING ILLUMINATED EXIT SIGN

REVISION		
NO.	DESCRIPTION	DATE

DEMOLITION GENERAL NOTES

- DEMOLITION NOTES GENERAL NOTES**
- ALL EXISTING STRUCTURES ARE SHOWN FOR REFERENCE ONLY AND ARE TO BE FIELD VERIFIED.
 - REMOVED MATERIALS, UNLESS OTHERWISE NOTED, BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS.
 - CONTRACTOR SHALL USE QUALIFIED, EXPERIENCED PERSONNEL FOR REMOVAL AND DEMOLITION OPERATIONS. REMOVAL AND DEMOLITION OPERATIONS SHALL BE PERFORMED IN A CAREFUL, ORDERLY AND CONTROLLED MANNER TO AVOID HAZARDS TO PERSONS, DAMAGE TO PROPERTY, AND SPREADING OF DUST AND DEBRIS.
 - EXACT EXTENT OF DEMOLITION TO BE DONE SHALL BE VERIFIED AT THE SITE. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE DRAWINGS WITH THE EXISTING CONSTRUCTION.
 - THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE MEANS AND METHODS OF DEMOLITION AND SHORING AND THE SAFETY OF THE EXISTING STRUCTURE AND ITS OCCUPANTS.
 - THE CONTRACTOR IS NOT TO REMOVE ANY MORE OF THE EXISTING STRUCTURE THAN NECESSARY TO PROPERLY EXECUTE THE DETAILS SHOWN ON CONTRACT DOCUMENT. DO NOT DAMAGE, MAR, OR DEFACE THE REMAINING STRUCTURE OR MATERIALS TO BE REUSED.
 - CONTRACTOR SHALL PRESERVE AND PROTECT ALL EXISTING UTILITIES, DUCTS, AND EQUIPMENT TO REMAIN.
 - CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, INSTALLATION AND MONITORING OF ALL TEMPORARY FACILITIES AND STRUCTURES.

GENERAL NOTES

- BEFORE SUBMITTING A PROPOSAL, ALL CONTRACTORS SHALL VISIT THE PREMISES, FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS, VERIFY THESE CONDITIONS WITH THE CONSTRUCTION DOCUMENTS AND CHECK FOR ANY DISCREPANCIES OR INTERFERENCES BETWEEN CONTRACTOR'S WORK AND THAT OF OTHER TRADES. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES/ INTERFERENCES EXIST BEFORE ENTERING INTO CONTRACT WITH THE OWNER. FAILURE TO PROVIDE THE AFOREMENTIONED NOTIFICATIONS SHALL RESULT IN THE CONTRACTOR BEING HELD RESPONSIBLE TO COMPLETE ALL WORK TO MEET THE INTENT OF THE CONTRACT DOCUMENTS WITH NO ADDITIONAL EXPENSE (EXTRA) BEING INCURRED BY THE OWNER.
- EACH CONTRACTOR SHALL PROVIDE LABOR, SUPERVISION, MATERIALS, EQUIPMENT AND ACCESSORIES, AND COORDINATE, PROCURE, FABRICATE, DELIVER, ERECT, INSTALL OR INTERFACE WITH ANY NEW OR EXISTING WORK, START, TEST ALL WORK AS PER CODE AND CONSTRUCTION DOCUMENTS IN ORDER TO PROVIDE THE OWNER WITH A COMPLETE ASSEMBLY OR SYSTEM.
- ALL ITEMS MENTIONED OR IMPLIED AND/OR UNDERSTOOD AS NECESSARY TO COMPLETE THE WORK OF EACH CONTRACTOR SHALL BE PROVIDED BY THE CONTRACTOR.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT BEFORE PROCEEDING WITH ANY WORK. CONTRACTOR SHALL PREPARE A PROPOSED CONSTRUCTION SCHEDULE AND SUBMIT SAME WITH THE BID. ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE NEW YORK CITY BUILDING CODE AND ANY WORK NOT CONFORMING TO CODE SHALL BE CURED AT THE EXPENSE OF THE CONTRACTOR.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS, CUTS AND SAMPLES OF ALL CONSTRUCTION ASSEMBLIES, FOR APPROVAL, TO THE ARCHITECT BEFORE BEGINNING WORK. NO WORK IS TO BE PERFORMED WITHOUT THE AFOREMENTIONED ABOVE. THE ARCHITECT AND/ OR OWNER RESERVES THE RIGHT TO DISAPPROVE ANY OF THE ABOVE.
- THE CONTRACTOR SHALL PROMPTLY REMOVE FROM THE PREMISES ALL WORK CONDEMNED BY THE ARCHITECT AS FAILING TO CONFORM TO THE CONTRACT WHETHER INCORPORATED OR NOT. THE CONTRACTOR SHALL PROMPTLY REPLACE AND RE-EXECUTE HIS OWN WORK IN ACCORDANCE WITH THE CONTRACT AND WITHOUT EXPENSE TO THE OWNER AND SHALL BEAR THE EXPENSE OF MAKING GOOD ALL WORK OF OTHER CONTRACTORS DAMAGED BY SUCH REMOVAL OR REPLACEMENT.
- CONTRACTOR SHALL OBTAIN BUILDING AND ALL OTHER REQUIRED PERMITS, WHICH ARE TO BE DISPLAYED AT THE MANAGEMENT OFFICE. CONTRACTOR SHALL FORWARD ALL COPIES OF SIGN-OFFS TO THE ARCHITECT.
- CONTRACTOR SHALL PAY FOR AND OBTAIN ALL PERMITS, INSPECTIONS AND OTHER CHARGES.
- CONTRACTOR SHALL DO ALL SHORING AND BRACING AS REQUIRED FOR THE PROPER AND SAFE EXECUTION OF ALL WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS IN THE VICINITY OF THE SITE AS THE JOB PROGRESSES.
- ALL MEANS OF EGRESS TO BE KEPT UNOBSTRUCTED.
- THE ARCHITECT RESERVES THE RIGHT OF INTERPRETATION OF THESE CONTRACT DOCUMENTS.

NEW YORK ENERGY CODE COMPLIANCE

TO THE BEST OF MY KNOWLEDGE, BELIEF AND PROFESSIONAL JUDGMENT, THESE PLANS AND SPECIFICATIONS ARE IN COMPLIANCE WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE (NYCECC 2011).

SIDEWALK SHED

- TO BE FILED SEPARATELY UNDER SEPARATE D.O.B. JOB NUMBER: (#,M)
- A SIDEWALK SHED SHALL BE ERECTED BY THE CONTRACTOR AT AREAS REQUIRED, PRIOR TO THE START OF CONSTRUCTION, AND SHALL REMAIN IN PLACE UNTIL COMPLETION OF THE WORK.
 - BEFORE ERECTING SIDEWALK SHED, THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, AND PAY ALL FEES REQUIRED BY GOVERNING NEW YORK AGENCIES.
 - THE CONTRACTOR SHALL FURNISH, ERECT, DISTRIBUTE AND REMOVE A HEAVY DUTY TYPE SIDEWALK SHED, WITH A 4' HIGH WOOD PARAPET
 - ALONG THE OUTER PERIMETER, THE SIDEWALK SHED SHALL COMPLY FULLY WITH REQUIREMENTS OF SEC BC-3307 AND BC-3308, NEW YORK CITY BUILDING CODE (LOCAL LAW 45183).
 - THE SIDEWALK SHED SHALL BE PAINTED AS PER OWNER'S PREFERENCES.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL FLUORESCENT LIGHTING ON THE UNDER SIDE OF SHED (AS PER NEW YORK CITY BUILDING CODE). ELECTRICAL FEED SHALL BE SUPPLIED BY IN-HOUSE ELECTRICIANS - PROVIDE PERMIT AS REQUIRED.
 - THE CONTRACTOR SHALL FURNISH AND INSTALL ELECTRICAL RED LIGHT INDICATORS WHERE REQUIRED AT STANDPIPE LOCATIONS.
 - THE SIDEWALK SHED PERMIT HOLDER SHALL POST A SIGN MEASURING 25 SQUARE FEET, WHICH SHALL INCLUDE THE NAME, ADDRESS, PHONE NUMBER, AND PERMIT NUMBER OF PERMIT HOLDER, AND THE DATE PERMIT EXPIRES.
 - THE CONTRACTOR SHALL INSTALL ARCHITECT'S SIGN AS PROVIDED BY ARCHITECT AND PERMITTED BY OWNER. CONTRACTOR TO RETURN ARCHITECT'S SIGN TO ARCHITECT'S OFFICE UPON REMOVAL OF THE SIDEWALK SHED.

LIST OF DRAWINGS

LANDMARKS	BID DOCUMENTS	DOB	DWG. NO.	DRAWING NAME
			A-001.00	PLOT PLAN, LIST OF DRAWINGS, DOB INFO, NOTES & SYMBOLS
			A-002.00	WINDOWS SCHEDULE
			A-100.00	WEST ELEVATIONS BUILDING "A & B"
			A-101.00	SOUTH ELEVATIONS BUILDING "A & B"
			A-102.00	NORTH ELEVATION BLDG. "A"
			A-103.00	COURTYARD WEST AND SOUTH ELEVATIONS BUILDING "A & B"
			A-104.00	COURTYARD EAST ELEVATION BUILDING "A"
			A-105.00	COURTYARD NORTH ELEVATION BUILDING "A"
			A-106.00	PENTHOUSE SOUTH, EAST & WEST ELEVATIONS BUILDING "B"
			A-107.00	PENTHOUSE WEST, NORTH & SOUTH ELEVATIONS BUILDING "A"
			FM-100.00	FLOOD INSURANCE RATE MAPS - FEMA 2007 & PRELIMINARY 2013
			H-100.00	HISTORIC / WEST ELEVATIONS BUILDING "A & B"
			H-101.00	HISTORIC / SOUTH ELEVATIONS BUILDING "A & B"
			H-102.00	HISTORIC / NORTH ELEVATION BLDG. "A"

TENANT PROTECTION PLAN:

- TENANT SAFETY NOTES**
- CONSTRUCTION WORK WILL BE EXECUTED THROUGH THE BUILDING'S INTERIOR AND EXTERIOR. MEASURES WILL BE TAKEN TO LIMIT DUST, OR SUCH INCONVENIENCES TO APARTMENT UNITS WITHIN THE BUILDING.
 - CONSTRUCTION OPERATION WILL NOT BLOCK HALLWAYS OR MEANS OF EGRESS FOR TENANTS OF THE BUILDING. CONSTRUCTION OPERATIONS WILL NOT INVOLVE INTERRUPTION OF THE HEATING, WATER OR ELECTRICAL SERVICES TO THE TENANTS OF THE BUILDING.
 - THE BUILDINGS WILL BE OCCUPIED DURING THE COURSE OF THE CONSTRUCTION WORK.
 - CONSTRUCTION OPERATIONS WILL BE CONFINED TO NORMAL WORKING HOURS OF 8 AM TO 5 PM MONDAY THROUGH FRIDAY EXCEPT HOLIDAYS WHICH WILL BE DETERMINED BY THE OWNER. NO WORK WILL BE DONE ON WEEKENDS WITHOUT WRITTEN PERMISSION BY THE OWNER OR WITHOUT A PERMIT.
- EGRESS**
- AT ALL TIMES DURING CONSTRUCTION, THE EXISTING EGRESS FACILITIES SHALL BE MAINTAINED CLEAR AND UNOBSTRUCTED.
- FIRE SAFETY**
- PROVIDE MINIMUM, 3 FULLY CHARGED, 10 POUND, A-B FIRE EXTINGUISHERS IN THE AREA OF WORK AND COMPLY WITH ALL LAWS, CONTROLS, AND SAFETY MEASURES FOR THE TYPE OF CONSTRUCTION BEING PERFORMED.
- NOTIFY THE ARCHITECT OF ANY AREAS OF THE EXISTING WALL CONSTRUCTION WHICH DOES NOT MEET THE REQUIRED SEPARATION REQUIREMENTS FOR HIS FIELD INSPECTION (IN ACCORDANCE WITH BC 1704.25 FIRE-STOP, DRAFT-STOP AND FIRE BLOCK SYSTEM) BEFORE AND AFTER PATCHING.
- HEALTH REQUIREMENTS**
- TAKE ALL PRECAUTIONS AGAINST THE INFILTRATION OF DUST, THE ACCUMULATION OF CONSTRUCTION DEBRIS, AND EXCESSIVE CONSTRUCTION NOISE. PROVIDE FOR THE SERVICES OF PEST CONTROL PROFESSIONALS AS REQUIRED DURING AND IMMEDIATELY FOLLOWING CONSTRUCTION.
- UTILITIES**
- AT NO TIME DURING CONSTRUCTION SHALL THE BUILDING HEAT, WATER, ELECTRICITY, OR OTHER BUILDING SERVICES BE INTERRUPTED WITHOUT PRIOR NOTIFICATION TO THE LANDLORD AND AFFECTED TENANTS
- DEMOLITION WORK IN THE AREA OF SPRINKLERS SHALL PROCEEDS CAREFULLY TO INSURE THE PROTECTION OF THE EXISTING SYSTEM.
- STRUCTURAL STABILITY**
- NO WORK SHALL BE PERFORMED THAT MAY AFFECT THE SAFETY OF THE TENANTS, THE WORKERS, OR OTHER PERSONS IN THE AREA OF WORK. THERE IS NO STRUCTURAL WORK ANTICIPATED UNDER THIS ALTERATION APPLICATION; ANY QUESTIONS AS TO THE STRUCTURAL NATURE OF ELEMENTS WITHIN THE SCOPE OF WORK, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
- SEQUENCE OF CONSTRUCTION**
- THE REMOVAL OF EXISTING NON-LOAD BEARING PARTITIONS EQUIPMENT AND ABANDONED PIPING.
- THE MODIFICATION OF THE EXISTING SPRINKLER SYSTEM.
- THE INSTALLATION OF NEW GYPSUM BOARD CEILINGS WITH RECESSED AND SURFACE MOUNT LIGHTING (BOTH STANDARD AND EMERGENCY) ON SUB-CELLAR AND CELLAR LEVEL.
- REMOVAL AND REPLACEMENT OF EXISTING FINISH FLOOR AND WALL MATERIALS IN THE AREA OF WORK
- DEMOLITION/CONSTRUCTION**
- ALL MATERIALS INDICATED TO BE REMOVED SHALL BE TAKEN FROM THE BUILDING. NO DEMOLISHED MATERIALS SHALL BE PERMITTED TO ACCUMULATE IN THE WORK AREA, HALLS OR CORRIDORS.
- MAINTAIN MINIMUM 3' - 8' CLEAR PATH OF EGRESS FOR ALL TENANTS AND WORKMEN FOR THE FULL DURATION OF THE WORK.

MULLEN / PALANDRANI ARCHITECTS
165 LEXINGTON AVE.
NEW YORK, NY 10016
TEL: 212 260-6880
FAX: 212 260-7690
EMAIL: MULLENARCHITECTS@NYC.RR.COM

PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: PLOT PLAN, LIST OF DRAWINGS, DOB INFORMATION, NOTES & SYMBOLS

DWG #: **A-001.00**

SCALE: DATE: 09-24-14

JOB NO.: PAGE: P509-D 1/11

TYPE A

TYPE B

TYPE C

TYPE D

TYPE E

TYPE F

TYPE G

TYPE H

TYPE I

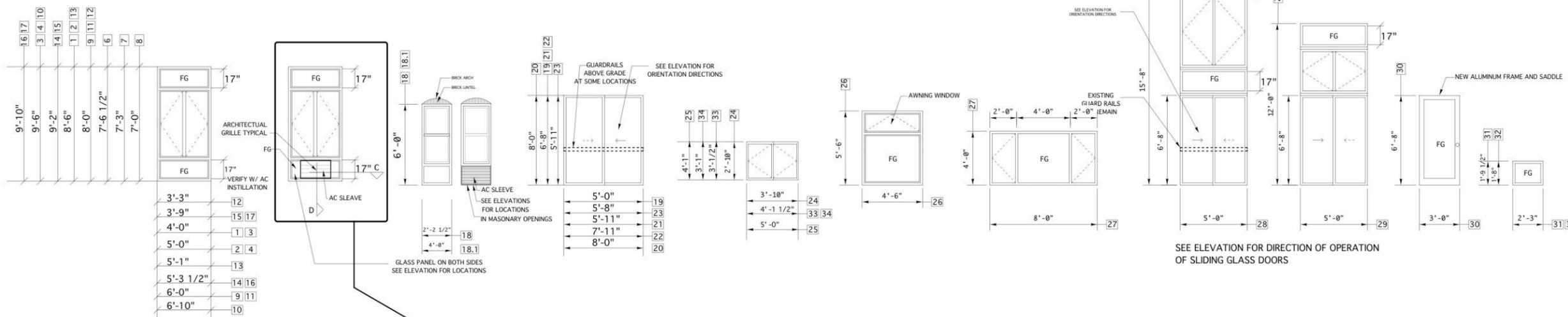
TYPE J

REVISION

NO.	DESCRIPTION	DATE

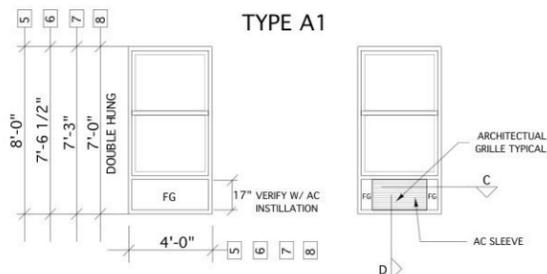
GENERAL NOTES

- 1 WINDOW NUMBER
 - 1A WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT
 - 1B WINDOW NUMBER WITH SOLID PANELS AT TRANSOM AND SILL
 - 1C WINDOW NUMBER AND SPECIAL CONFIGURATIONS SOLID PANEL TRANSOM
1. ALL MASONRY OPENING SIZES VERIFIED IN FIELD PRIOR TO THE PRODUCTION OF SHOP DRAWINGS



A WINDOW ELEVATIONS

SCALE: 1/4"=1'



A WINDOW ELEVATIONS

SCALE: 1/4"=1'

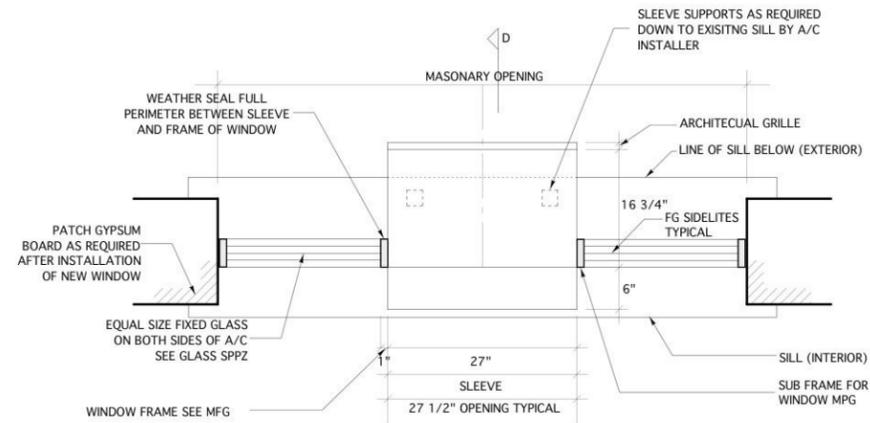
NUMBER	TYPE	*ROUGH OPENING WIDTH X HEIGHT	MATERIALS	DETAILS	FINISH INTERIOR/EXTERIOR	INTERIOR TRIM	REMARKS
1	A	4'-0" X 8'-6"					
2	A	5'-0" X 8'-6"					
3	A	4'-0" X 9'-6"					
4	A	5'-0" X 9'-6"					
5	A1	4'-0" X 8'-0"					
6	A1	4'-0" X 7'-6 1/2"					
7	A1	4'-0" X 7'-3"					
8	A1	4'-0" X 7'-0"					
9	A	6'-0" X 8'-6"					
10	A	6'-10" X 9'-6"					
11	A	6'-0" X 8'-0"					
12	A	6'-0" X 8'-0"					1
13	A	5'-1" X 8'-6"					
14	A	5'-3 1/2" X 9'-2"					
15	A	3'-9" X 9'-2"					
16	A	5'-3 1/2" X 9'-10"					
17	A	3'-9" X 9'-10"					
18	B	2'-2 1/2" X 6'-0"					
18.1	B	4'-0" X 6'-0"					
19	C	2'-2 1/2" X 6'-0"					1
20	C	8'-0" X 8'-0"					
21	C	5'-11" X 6'-8"					
22	C	7'-11" X 6'-8"					
23	C	5'-8" X 5'-11"					
24	D	3'-10" X 2'-10"					
25	D	5'-0" X 4'-1"					
26	E	4'-6" X 5'-6"					
27	F	8'-0" X 4'-0"					
28	G	5'-0" X 15'-8"					1
29	H	5'-0" X 12'-0"					
30	I	3'-0" X 6'-8"					
31	J	2'-3" X 1'-9 1/2"					
32	J	2'-3" X 1'-8"					
33	D	4'-1 1/2" X 3'-1 1/2"					
34	D	4'-1 1/2" X 3'-1"					
35							

SCHEDULE NOTES:
 IN SOME LOCATIONS THESE WINDOWS/DOORS HAVE EXISTING
 1. GUARD RAILS INSTALLED ON THE EXTERIOR OF THE BUILDINGS- THESE RAILS SHALL BE INSPECTED AND REMAIN IN PLACE AFTER THE WINDOWS INSTALLATION

B WINDOW SCHEDULE

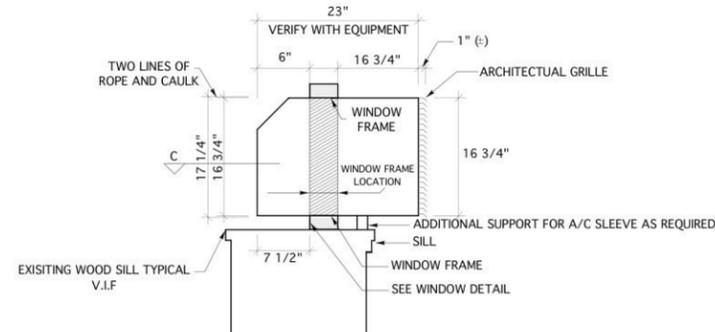


TYPICAL INTERIOR VIEW



C PLAN SECTION TOP OF UNIT

SCALE: 1"=1'



D VERTICAL SECTION TYPICAL WINDOW A/C UNIT

SCALE: 1"=1'

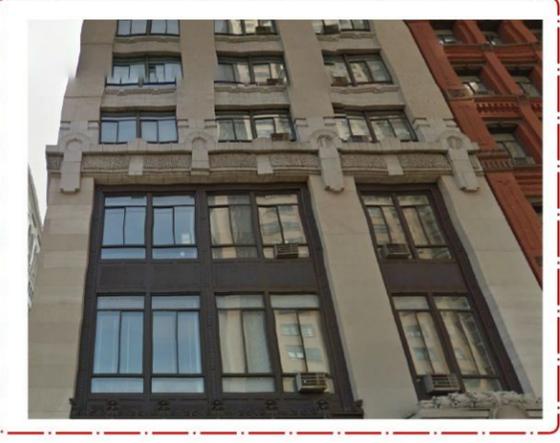
THROUGH WALL SLEEVE WSE WITH ARCHITECTURAL GRILLE
 FRIEDRICH "WALLMASTER" AS STANDARD
 27" W X 16 3/4" H X 16 3/4" D

MULLEN / PALANDRANI ARCHITECTS
 165 LEXINGTON AVE.
 NEW YORK, NY 10016
 TEL: 212 260-6880
 FAX: 212 260-7690
 EMAIL: MULLENARCHITECTS@NYC.RR.COM

PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: WINDOW SCHEDULE AND DETAILS

DWG #:	A-00200
SCALE:	AS NOTED
DATE:	09-24-14
JOB NO.:	P509-D
PAGE:	2/11



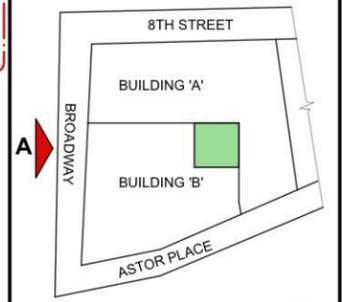
SEE EAST ELEVATION OF COURTYARD BUILDING 'A'
FOR MORE INFORMATION ON WINDOWS (A- 303)

REVISION		
NO.	DESCRIPTION	DATE

NOTES
1. ALL WINDOWS THIS FACADE WERE INSTALLED PRIOR TO LANDMARK DESIGNATION 6/29/99.

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
18	B	2'-2 1/2" X 6'-0"
18A	B	4'-0" X 6'-0"
7	A1	4'-0" X 7'-3"
8	A1	4'-0" X 7'-3"
7A	A1	4'-0" X 7'-3"
6	A1	4'-0" X 7'-6 1/2"
6A	A1	4'-0" X 7'-6 1/2"
4	A1	4'-0" X 8'-0"
5	A1	4'-0" X 8'-0"
3	A1	4'-0" X 8'-0"
2	A1	4'-0" X 8'-0"

NOTE: FOR WINDOWS TYPES SEE A-002



KEY PLAN SCALE: 1:50
MULLEN / PALANDRANI ARCHITECTS
165 LEXINGTON AVE.
NEW YORK, NY 10016
TEL: 212 260-6880
FAX: 212 260-7690
EMAIL: MULLENARCHITECTS@NYC.RR.COM

PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: PROPOSED WINDOWS WEST ELEVATION BUILDING 'A' & 'B'

DWG #:	A-10000
SCALE:	1/8"=1'
DATE:	09-24-14
JOB NO.:	P509-D
PAGE:	3/11

A PROPOSED WINDOWS - WEST ELEVATION BUILDING 'A' / BUILDING 'B'



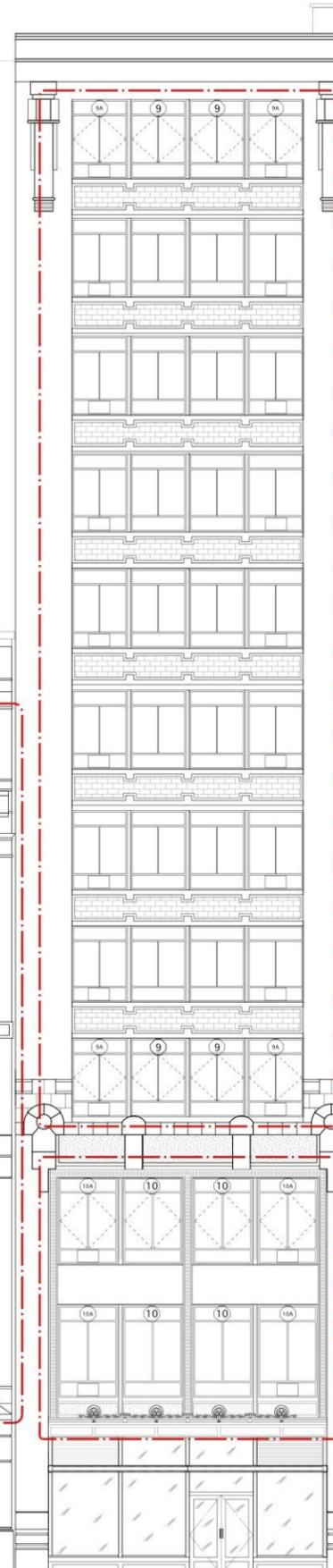
SEE NORTH COURTYARD ELEVATION (A-105) FOR INFORMATION ON WINDOW TYPE

WINDOW SCHEDULE

NO.	TYPE	ROUGH OPENING WIDTH X HEIGHT
18	B	2'-2 1/2" X 6'-0"
18A	B	4'-0" X 6'-0"
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
7		
8	A1	4'-0" X 7'-3"
8A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
6		
7	A1	4'-0" X 7'-3"
7A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
5		
6	A1	4'-0" X 7'-6 1/2"
6A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
4		
5	A1	4'-0" X 8'-0"
5A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
3		
5	A1	4'-0" X 8'-0"
5A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
2		

NOTE: SEE WINDOW SCHEDULE FOR TYPES ON A-002

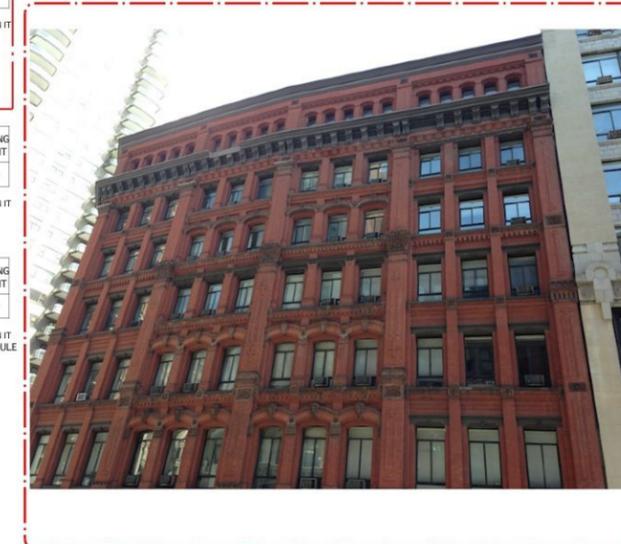
NO WORK IN THIS AREA



WINDOW SCHEDULE

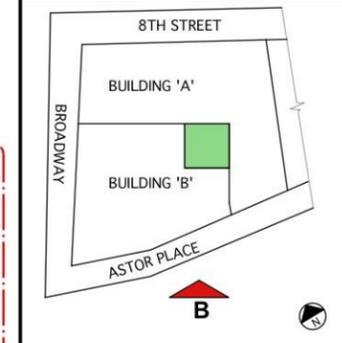
9	A	6'-0" X 8'-6"
9A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
12		
9	A	6'-0" X 8'-6"
9A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
11		
9	A	6'-0" X 8'-6"
9A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
10		
9	A	6'-0" X 8'-6"
9A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
9	A	6'-0" X 8'-6"
9A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
8		
9	A	6'-0" X 8'-6"
9A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
7		
9	A	6'-0" X 8'-6"
9A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
6		
9	A	6'-0" X 8'-6"
9A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
5		
9	A	6'-0" X 8'-6"
9A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
4		
10	A	6'-10" X 9'-6"
10A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
3		
10	A	6'-10" X 9'-6"
10A		
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT		
2		

NOTE: SEE WINDOW SCHEDULE FOR TYPES ON A-002



REVISION		
NO.	DESCRIPTION	DATE

NOTES
1. ALL WINDOWS THIS FACADE WERE INSTALLED PRIOR TO LANDMARK DESIGNATION 6/29/99.



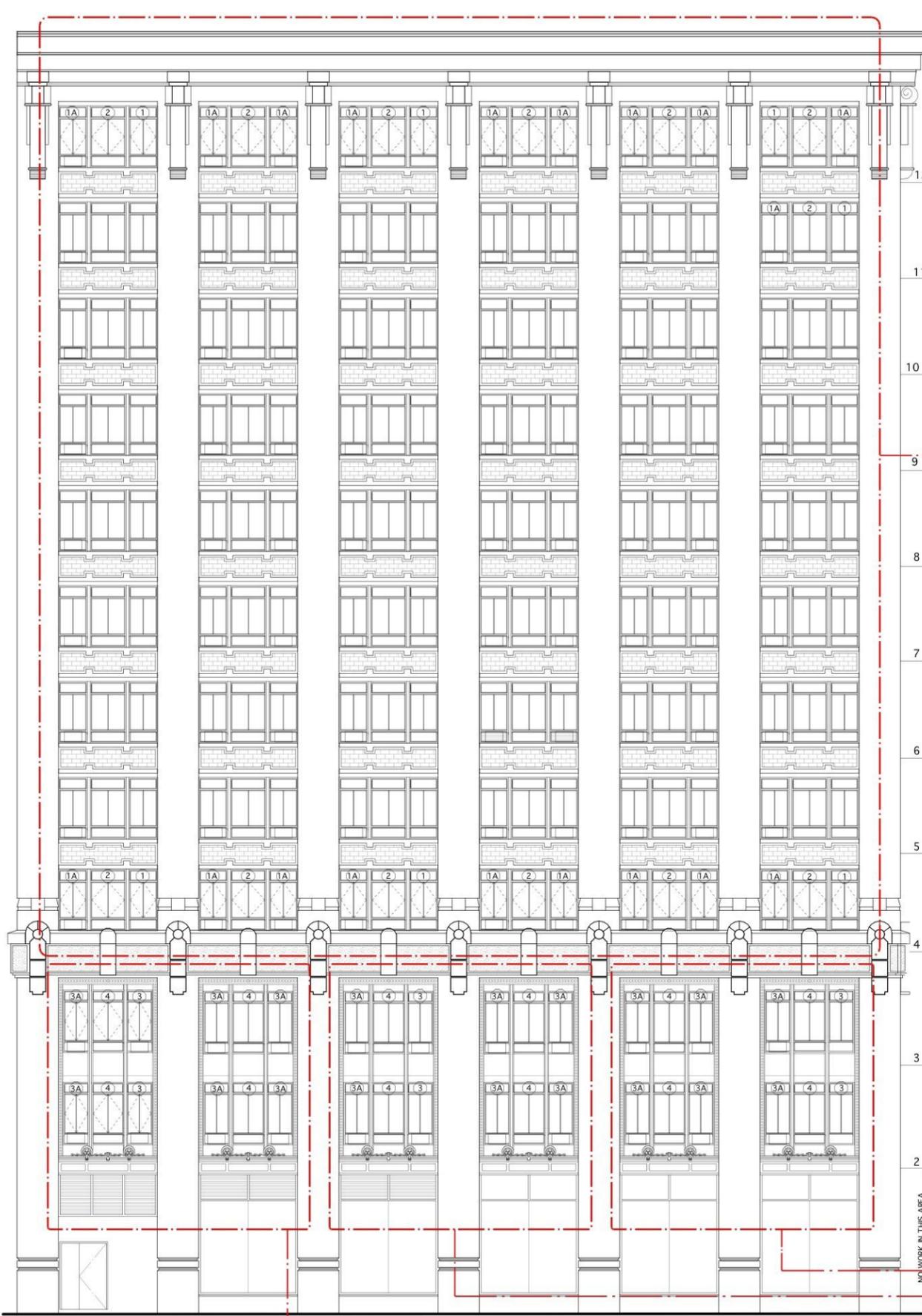
MULLEN / PALANDRANI ARCHITECTS
165 LEXINGTON AVE.
NEW YORK, NY 10016
TEL: 212 260-6880
FAX: 212 260-7690
EMAIL: MULLENARCHITECTS@NYC.RR.COM

PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: PROPOSED WINDOWS SOUTH ELEVATION BUILDINGS 'A' & 'B'

DWG #:	A-10100
SCALE:	1/8"=1'
DATE:	09-24-14
JOB NO.:	P509-D
PAGE:	4/11

B PROPOSED WINDOWS - SOUTH ELEVATION
BUILDING 'B' / BUILDING 'A'



WINDOW SCHEDULE

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
1	A	4'-0" X 8'-6"
2	A	5'-0" X 8'-6"

WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
1	A	4'-0" X 8'-6"
2	A	5'-0" X 8'-6"

WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
1	A	4'-0" X 8'-6"
2	A	5'-0" X 8'-6"

WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
1	A	4'-0" X 8'-6"
2	A	5'-0" X 8'-6"

WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
1	A	4'-0" X 8'-6"
2	A	5'-0" X 8'-6"

WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
1	A	4'-0" X 8'-6"
2	A	5'-0" X 8'-6"

WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
1	A	4'-0" X 8'-6"
2	A	5'-0" X 8'-6"

WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
3	A	4'-0" X 9'-6"
4	A	5'-0" X 9'-6"

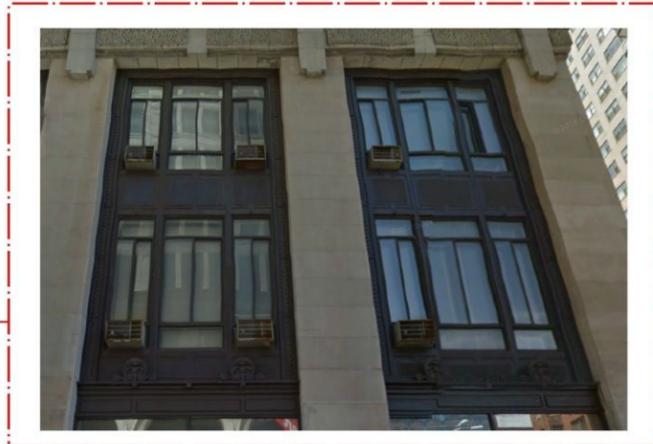
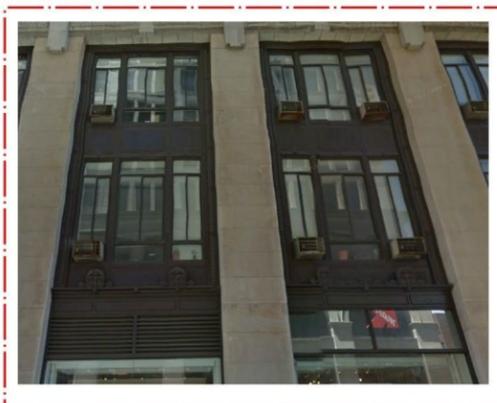
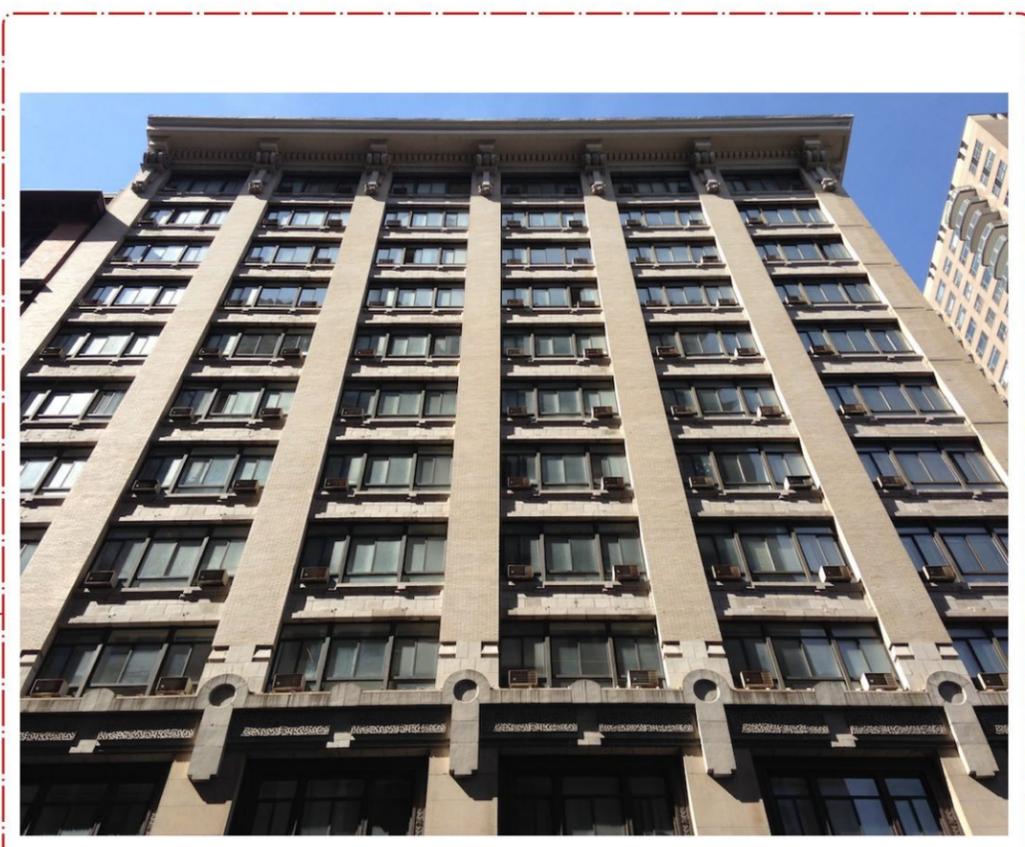
WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT

NO.	TYPE	*ROUGH OPENING WIDTH X HEIGHT
3	A	4'-0" X 9'-6"
4	A	5'-0" X 9'-6"

WINDOW NUMBER WITH FRIEDRICH A/C SLEEVE IN IT

NOTE: SEE WINDOW SCHEDULE FOR TYPES ON A-002.

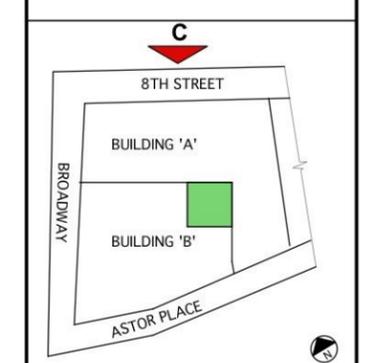
NO WORK IN THIS AREA



REVISION		
NO.	DESCRIPTION	DATE

NOTES

1. ALL WINDOWS THIS FACADE WERE INSTALLED PRIOR TO LANDMARK DESIGNATION 6/29/99.



KEY PLAN SCALE: 1:50

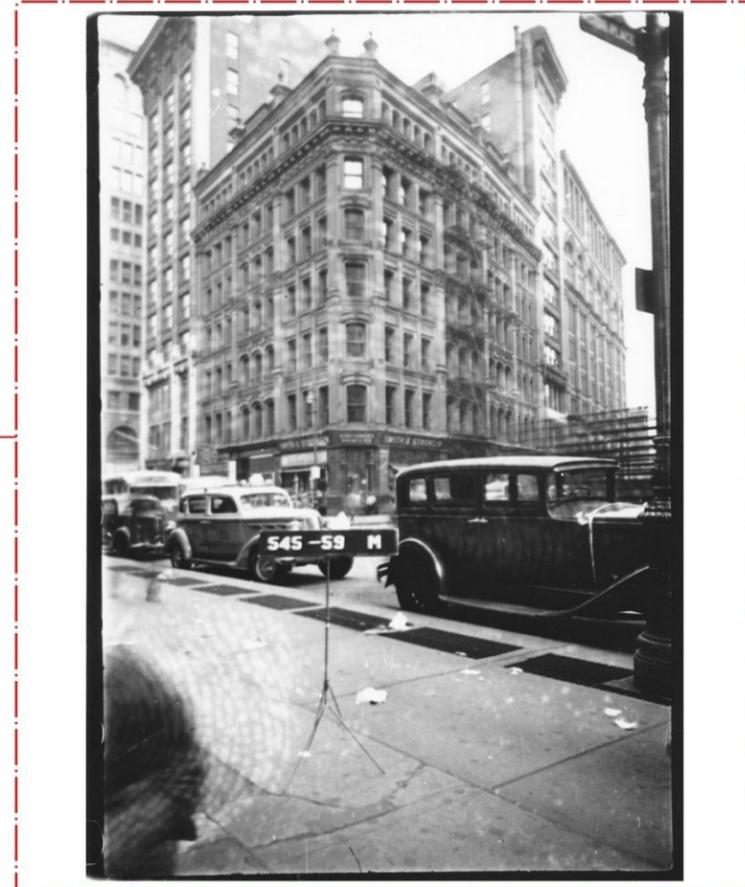
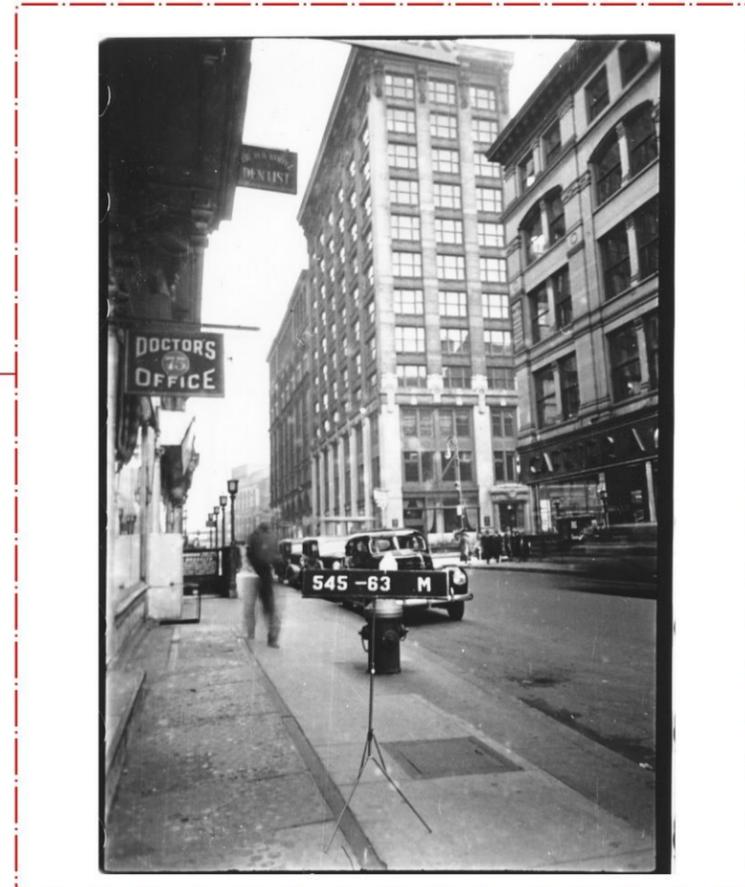
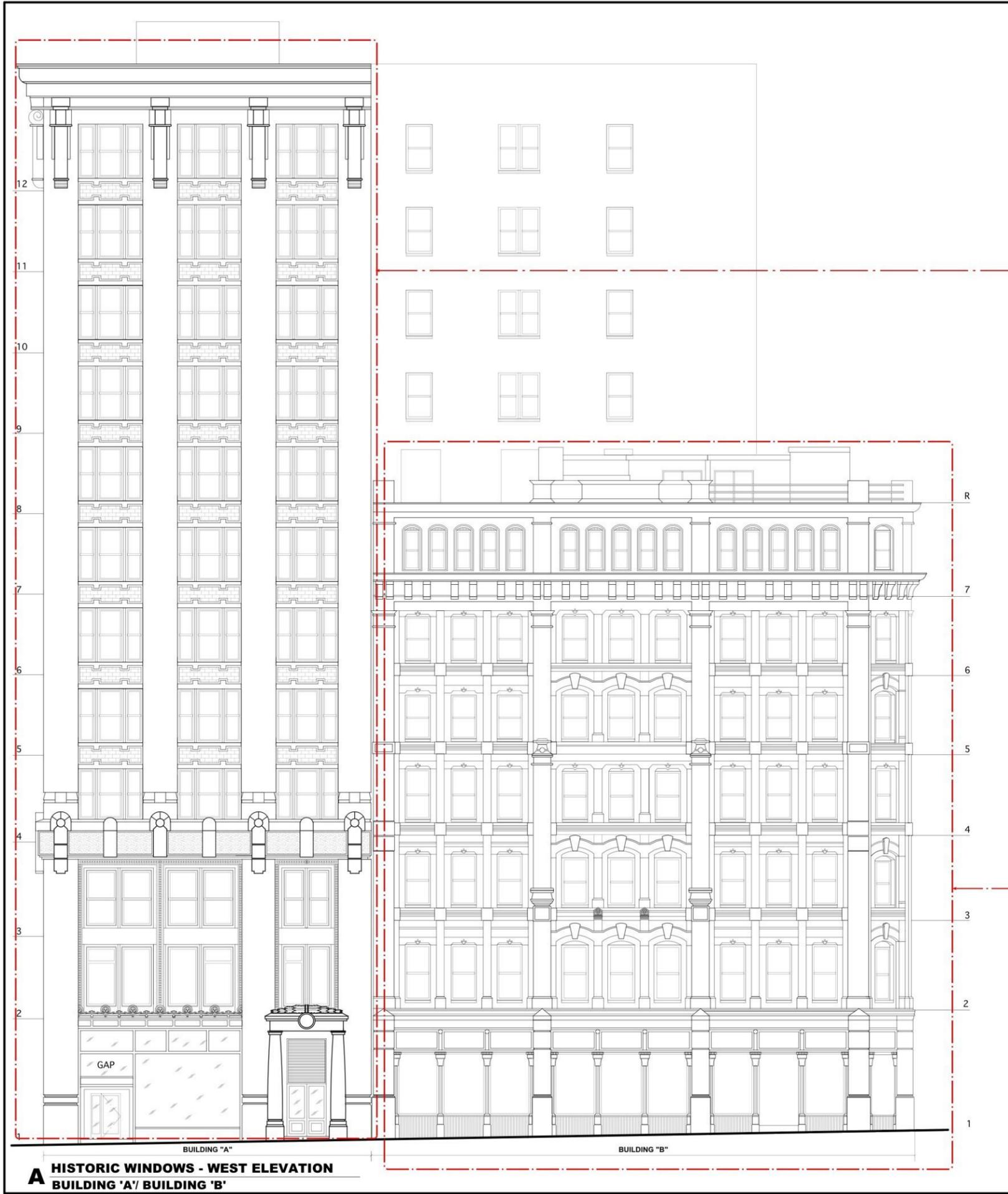
MULLEN / PALANDRANI ARCHITECTS
 165 LEXINGTON AVE.
 NEW YORK, NY 10016
 TEL: 212 260-6880
 FAX: 212 260-7690
 EMAIL: MULLENARCHITECTS@NYC.RR.COM

PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: PROPOSED WINDOWS NORTH ELEVATION BUILDING 'A'

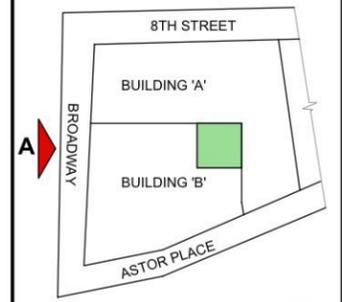
DWG #:	A-10200
SCALE:	1/8"=1'
DATE:	09-24-14
JOB NO.:	PS09 D
PAGE:	5/11

C PROPOSED WINDOWS - NORTH ELEVATION BUILDING 'A'



REVISION		
NO.	DESCRIPTION	DATE

NOTES
 1. ALL WINDOWS THIS FACADE WERE INSTALLED PRIOR TO LANDMARK DESIGNATION 6/29/99.



KEY PLAN SCALE: 1:50

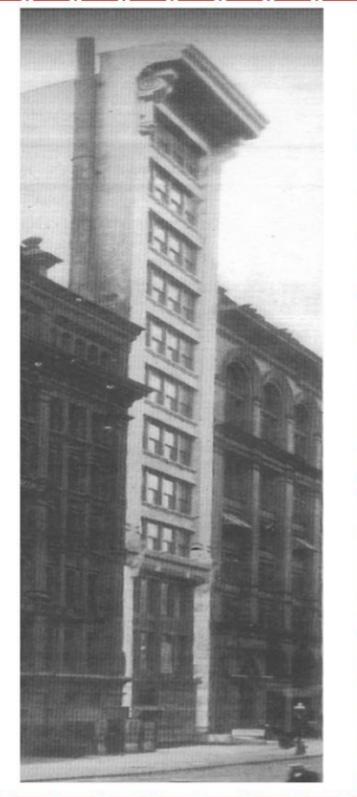
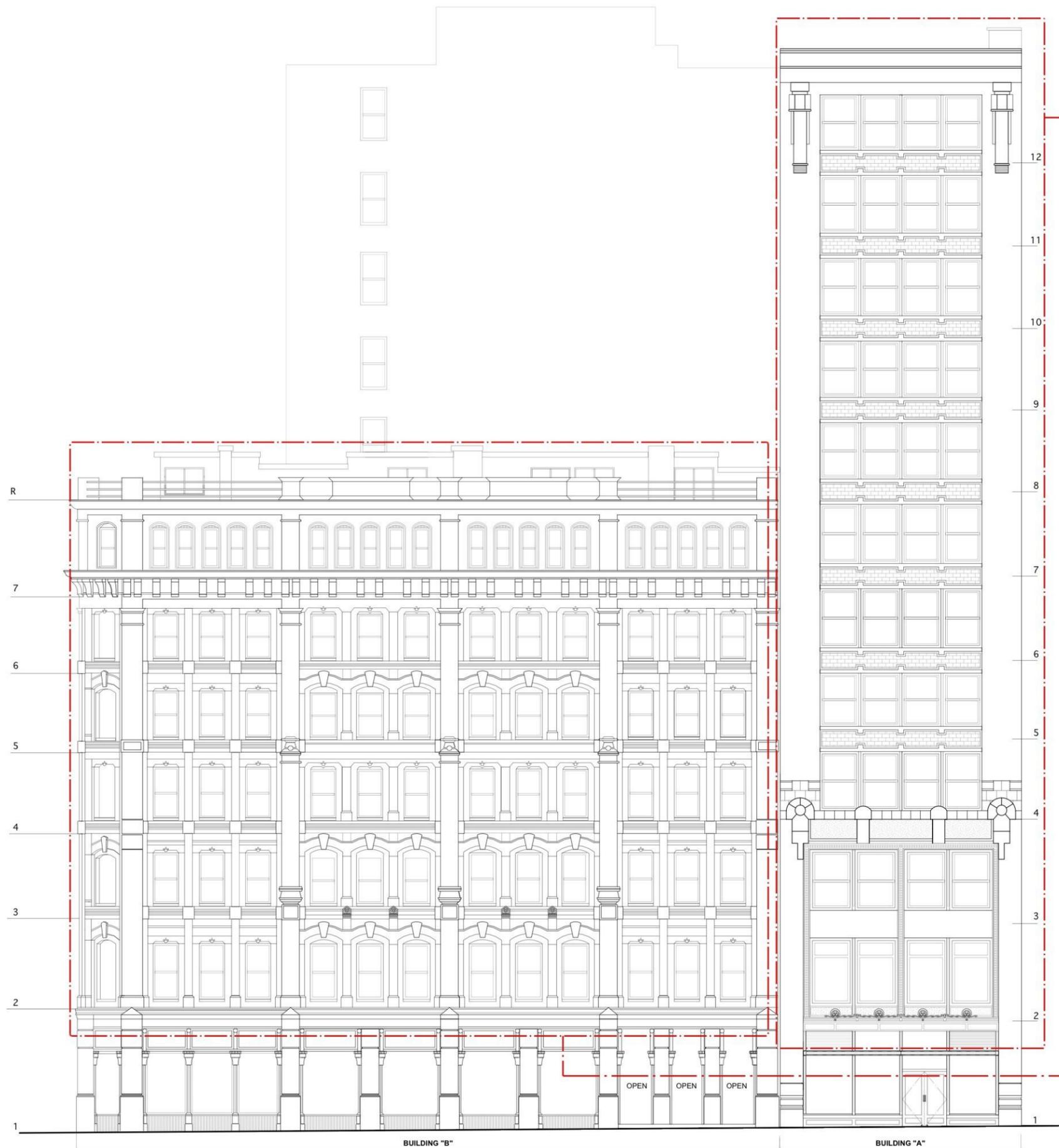
MULLEN / PALANDRANI ARCHITECTS
 165 LEXINGTON AVE.
 NEW YORK, NY 10016
 TEL. 212 269-6880
 FAX. 212 269-7690
 EMAIL: MULLENARCHITECTS@NYC.RR.COM

PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

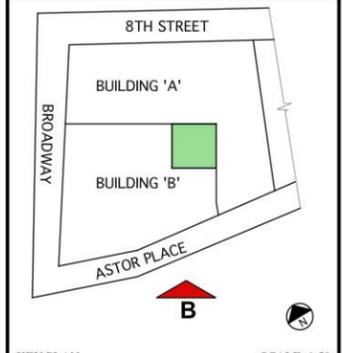
TITLE: HISTORIC WINDOW CONFIGURATION WEST ELEVATION - BUILDING 'A' & 'B'

	DWG #:	H 100 00
	SCALE:	1/8"=1'
	DATE:	09-24-14
	JOB NO.:	P509-D
	PAGE:	3/11

A HISTORIC WINDOWS - WEST ELEVATION BUILDING 'A' / BUILDING 'B'



REVISION		
NO.	DESCRIPTION	DATE



KEY PLAN SCALE: 1:50

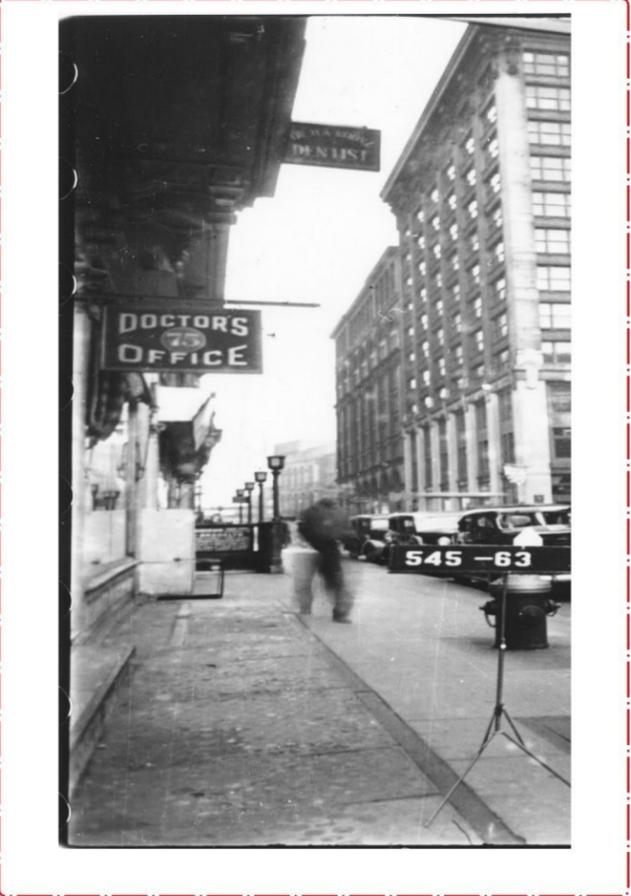
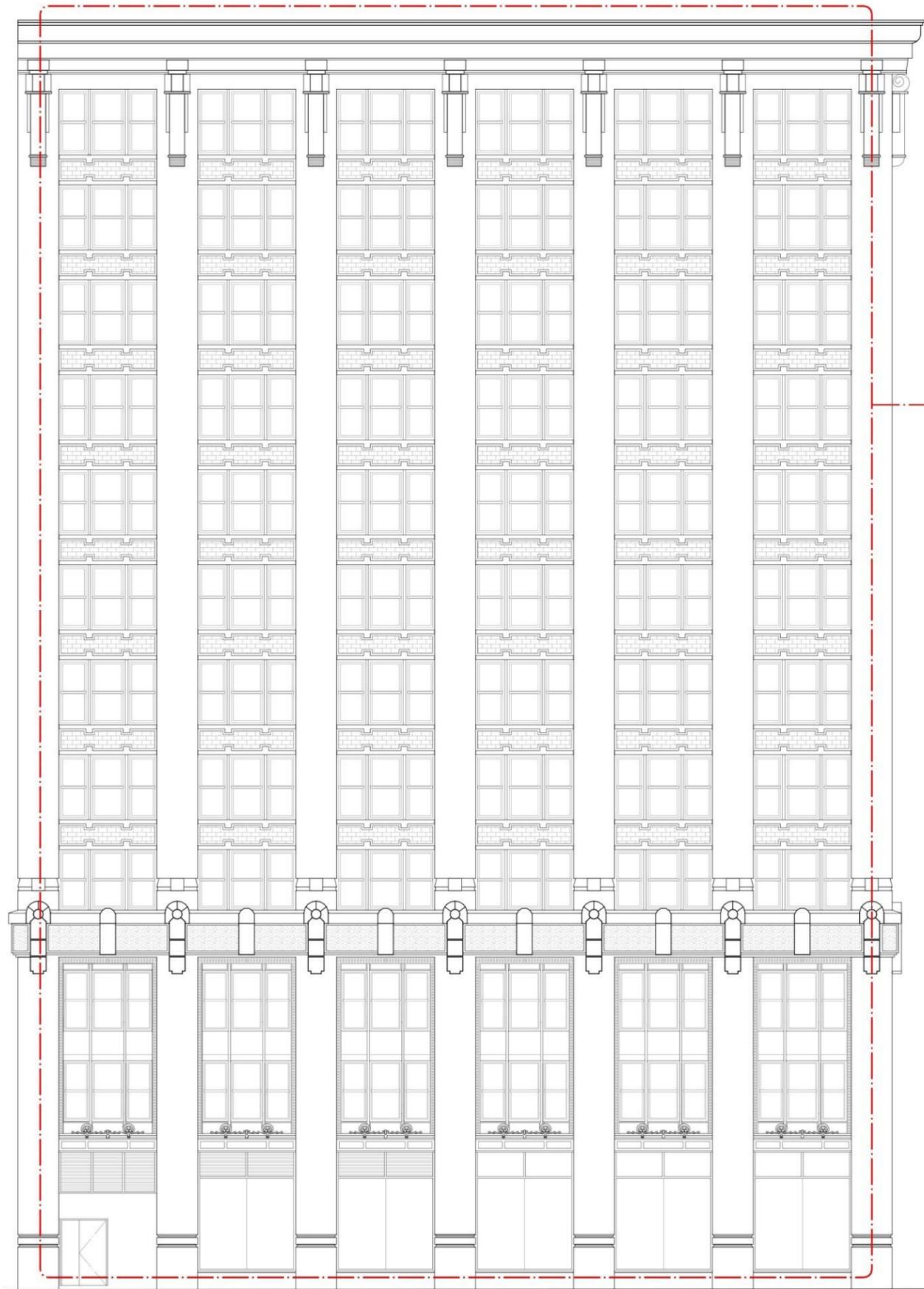
MULLEN / PALANDRANI ARCHITECTS
 165 LEXINGTON AVE.
 NEW YORK, NY 10016
 TEL: 212 260-6880
 FAX: 212 260-7690
 EMAIL: MULLENARCHITECTS@NYC.RR.COM

PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: HISTORIC WINDOW CONFIGURATION SOUTH ELEVATION - BUILDINGS 'A' / 'B'

	DWG #:	H 101 00
	SCALE:	1/8"=1'
	DATE:	09-24-14
	JOB NO.:	PS09-D
	PAGE:	4/11

B HISTORIC WINDOWS - SOUTH ELEVATION
BUILDING 'B' / BUILDING 'A'



REVISION		
NO.	DESCRIPTION	DATE



KEY PLAN SCALE: 1:50

MULLEN / PALANDRANI ARCHITECTS
 165 LEXINGTON AVE.
 NEW YORK, NY 10016
 TEL: 212 260-6880
 FAX: 212 260-7690
 EMAIL: MULLENARCHITECTS@NYC.RR.COM

PROJECT: 1 ASTOR PLACE WINDOW REPLACEMENT PROGRAM

TITLE: HISTORIC WINDOW CONFIGURATION NORTH ELEVATION - BUILDING 'A'

	DWG #:	H-10200
	SCALE:	DATE:
	1/8"=1'	09-24-14
	JOB NO.: P509.D	PAGE: 5/11

C HISTORIC WINDOWS - NORTH ELEVATION BUILDING 'A'