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264 Clermont Ave, New York, New York, 11205

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**Fort Greene Historic District Map**

**264 Clermont Ave. Brooklyn, NY  
 Apartment #1 Renovation**

**GENERAL STATS:**

- BLOCK 2091 / LOT 63
- 3 FAMILY CO-OPERATIVE BUILDING
- PROPOSED RENOVATION TO BASEMENT-FIRST FLOOR APARTMENT ONLY
- NORTH AND REAR SIDES ARE VISIBLE DUE TO NEIGHBORING PARHAM PLAYGROUND

**PROPOSED WORK REQUIRING LPC HEARING:**

- REPLACE REAR WINDOWS AND DOORS ON BASEMENT LEVEL IN EXISTING OPENINGS
- BRICK UP SMALL BASEMENT LEVEL WINDOW AS NOTED AND SHOW (INSET BRICK TO MATCH EXISTING)
- LOWER FIRE ESCAPE LANDING AT FIRST FLOOR TO BE FLUSH WITH REAR DECK LEVEL: 4" BELOW FIRST FLOOR LEVEL.
- REPAIR AND LEGALIZE FIRE ESCAPE (REDUCE FIRE ESCAPE LANDING SIZE AND ADD DROP-LADDER FOR EGRESS)
- NEW DECK AT SAME LEVEL AND PROJECTION FROM REAR FACADE AS FIRE ESCAPE (SEPARATED BY GATE FROM FIRE ESCAPE)
- LENGTHEN 1ST FLOOR REAR WINDOW OPENINGS TO ALLOW FOR REPLACEMENT WITH FRENCH DOORS UNDER EXISTING LINTELS (OPENING WIDTH REMAINS THE SAME)

**PROPOSED WORK NOT REQUIRING LPC REVIEW:**

- INTERIOR RENOVATION TO BASEMENT AND 1ST FLOOR APARTMENT: REPLACE FINISHES AND FIXTURES, REFINISH FLOORING ETC.

264 Clermont Ave. Brooklyn, NY  
Block Plan and Photo Key

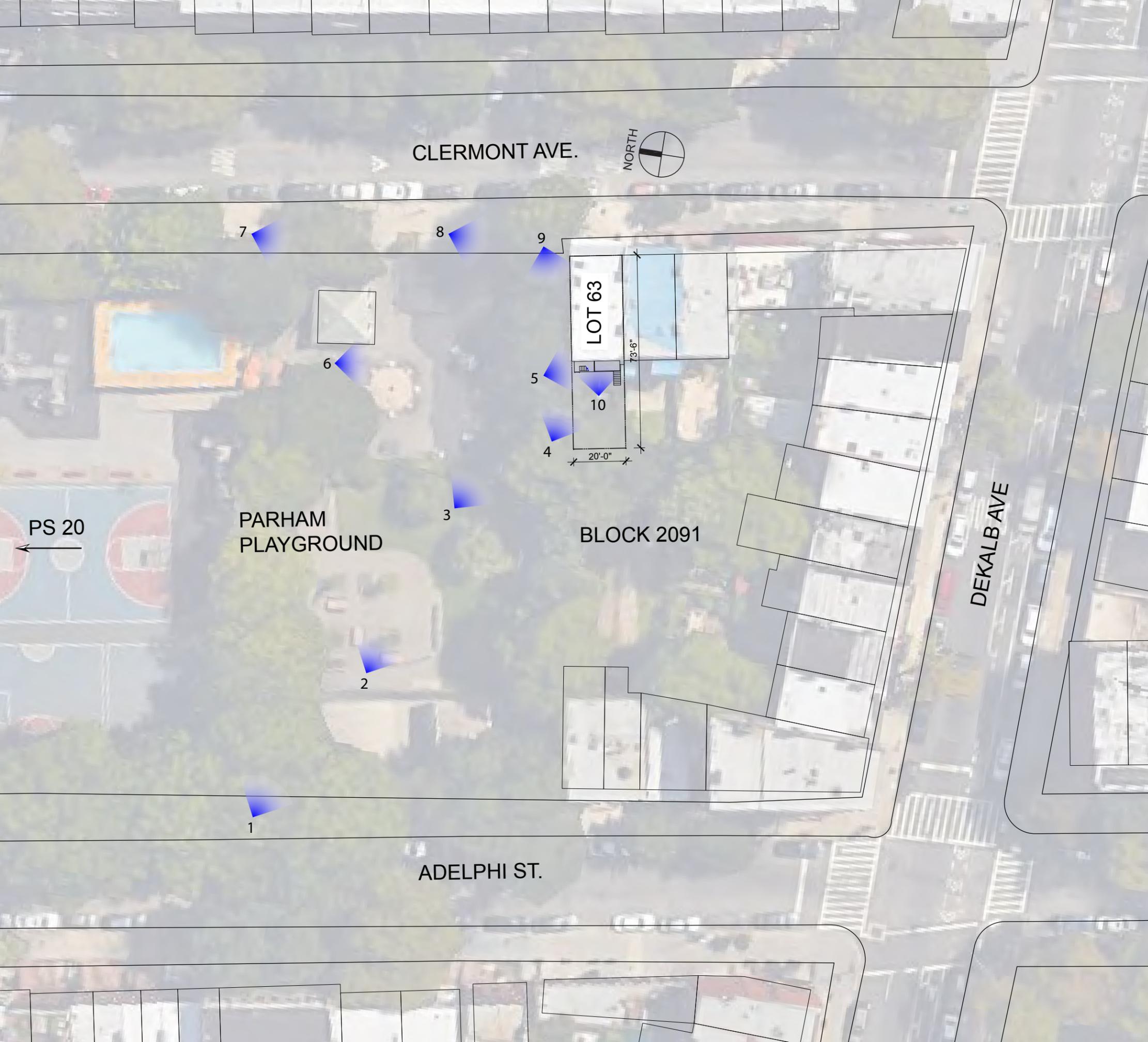




PHOTO 1:  
FROM ADELPHI ST



PHOTO 2:  
FROM PARHAM PLAYGROUND



PHOTO 3:  
FROM ADELPHI ST

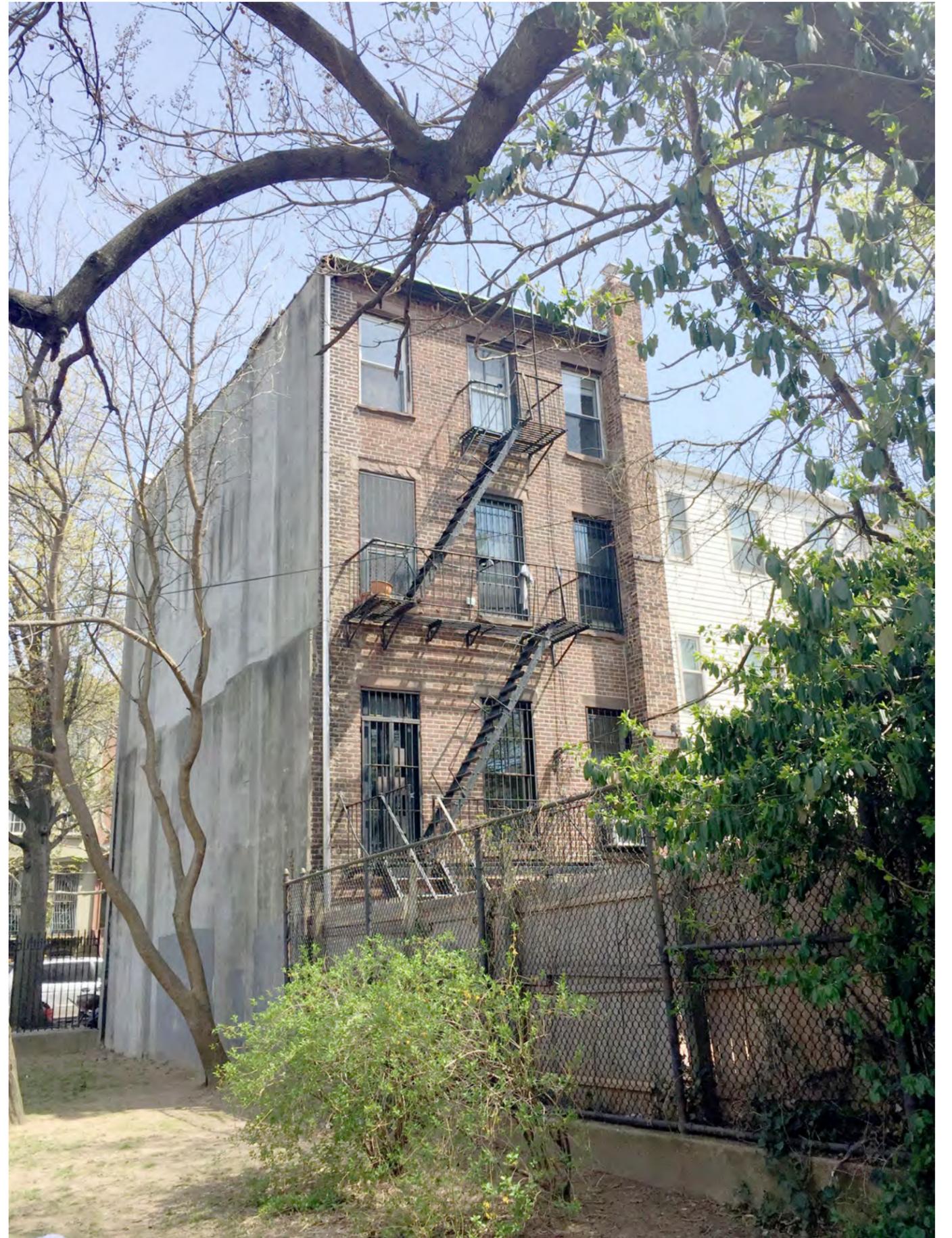


PHOTO 4:  
FROM PARHAM PLAYGROUND



PHOTO 5:  
FROM ADELPHI ST



PHOTO 6:  
FROM PARHAM PLAYGROUND

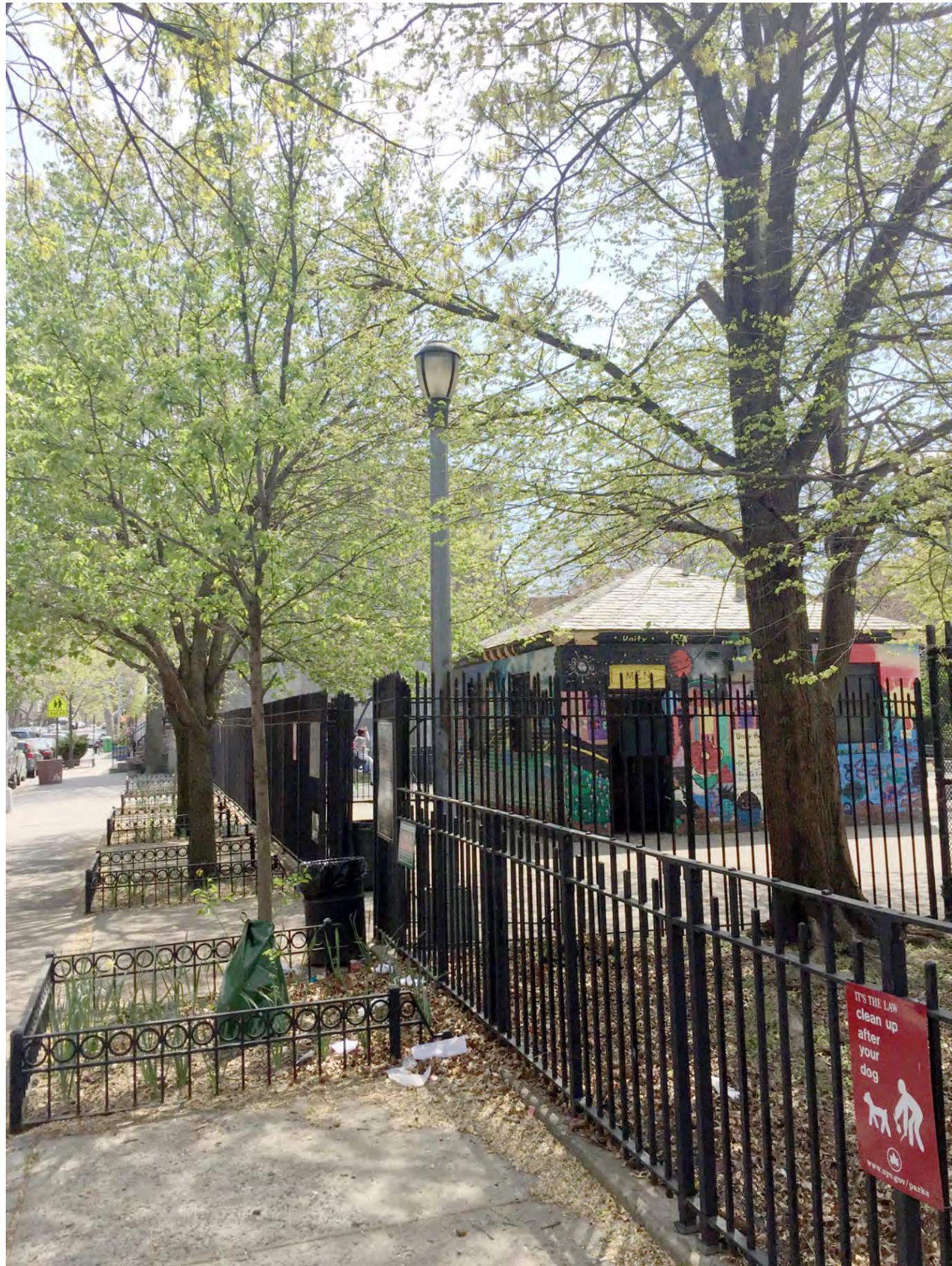


PHOTO 7:  
FROM CLERMONT AVE.

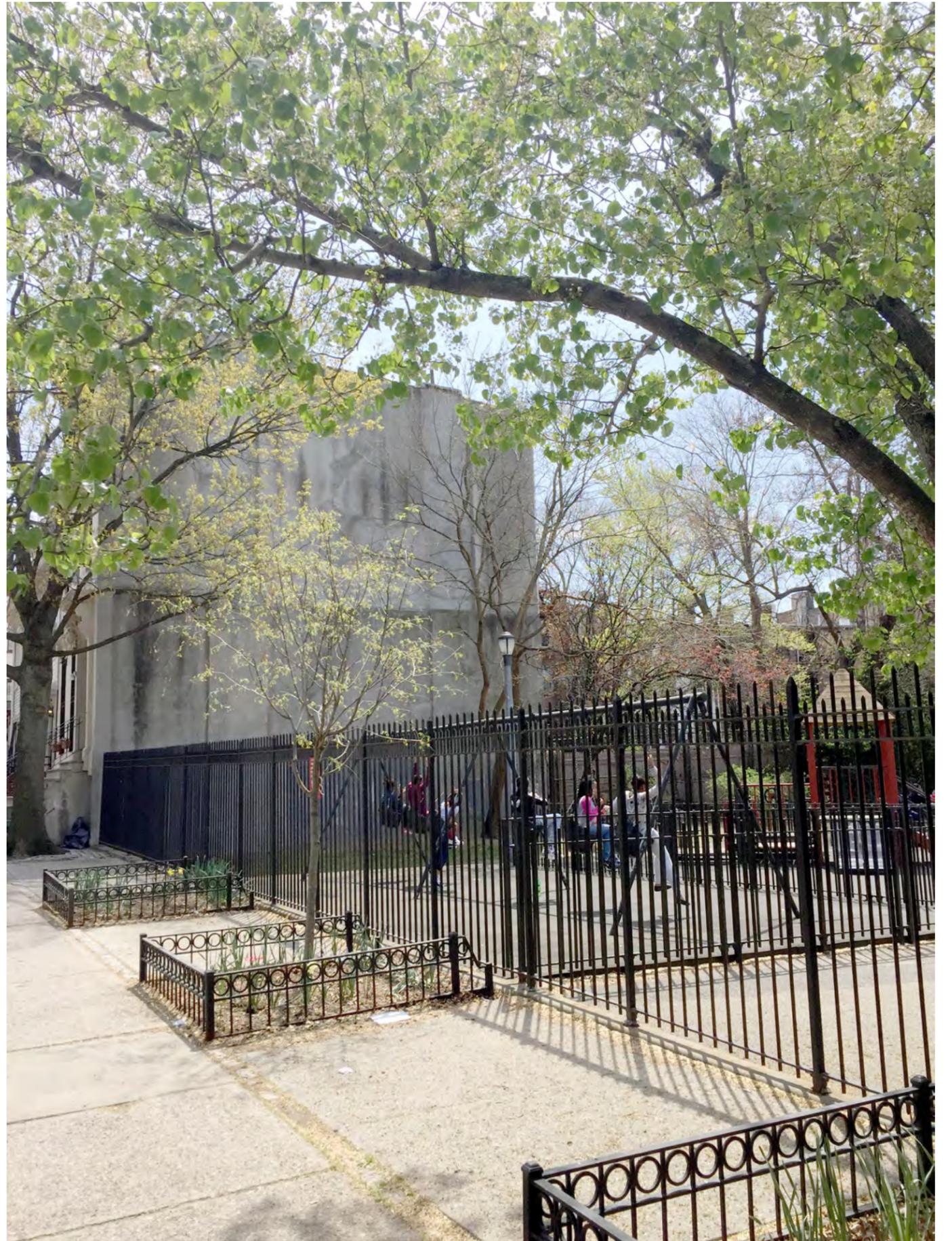


PHOTO 8:  
FROM CLERMONT AVE.



PHOTO 9:  
FROM CLERMONT AVE.

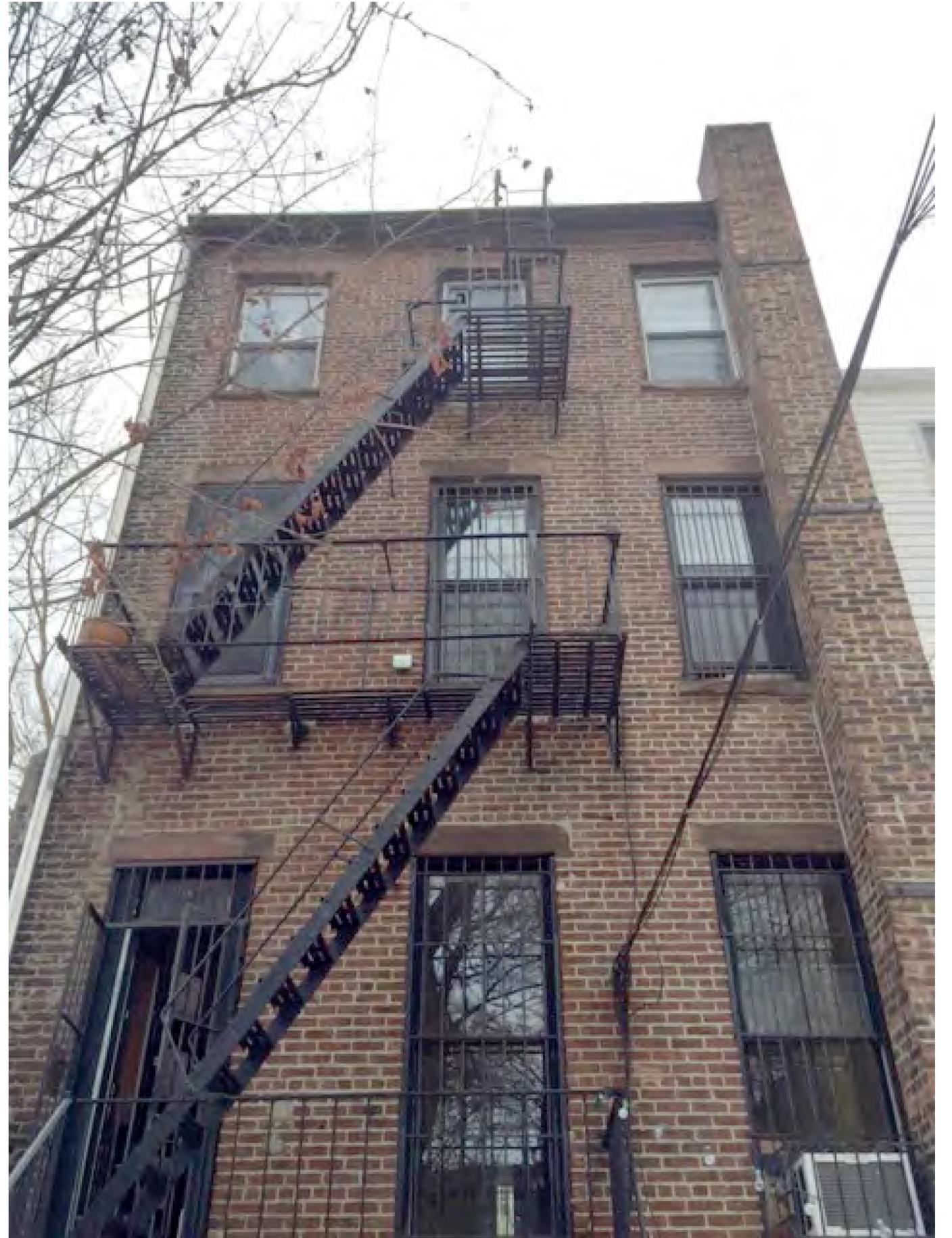


PHOTO 10:  
FROM 264 CLERMONT REAR YARD

COLOR RENDERING:  
PROPOSED CONDITION



- EXISTING BRICK TO REMAIN
- EXISTING CHIMNEY TO REMAIN
- EXISTING FIRE ESCAPE AT 2ND AND 3RD FLOORS TO REMAIN
- NO WORK AT 2ND AND THIRD FLOOR APARTMENTS
- NEIGHBORING BUILDINGS ARE OF DIFFERENT STYLE, CONSTRUCTION AND FINISH
- NEW DROPPED LADDER TO LEGALIZE FIRE ESCAPE TO MATCH EXISTING FINISH
- REPLACE FIRE ESCAPE STAIR FROM 2ND FLOOR PER CODE FINISH TO MATCH EXISTING
- NEW TRANSOM UNDER EXISTING LINTEL - SEE FOLLOWING PAGES FOR SPECS
- LENGTHEN 1ST FLOOR WINDOW OPENINGS BELOW EXISTING LINTELS TO ACCOMMODATE FRECH DOORS AT 1ST FLOOR LEVEL - SEE FOLOWING PAGES FOR SPECS
- NEW STEEL STAIR FROM DECK TO MATCH FIRE ESCAPE CONSTRUCTION AND FINISH
- REPLACE FIRST FLOOR DECK AND FIRE ESACPE LANDING AT 4" BELOW FIRST FLOOR LEVEL - FINISH TO MATCH EXISTING
- NEW 6' TALL WOOD FENCE FINISHED ON BOTH SIDES BEHIND EXISTING PARK FENCE (PARK FENCE NOT SHOWN BUT SEEN IN PHOTOS 4 AND 5)

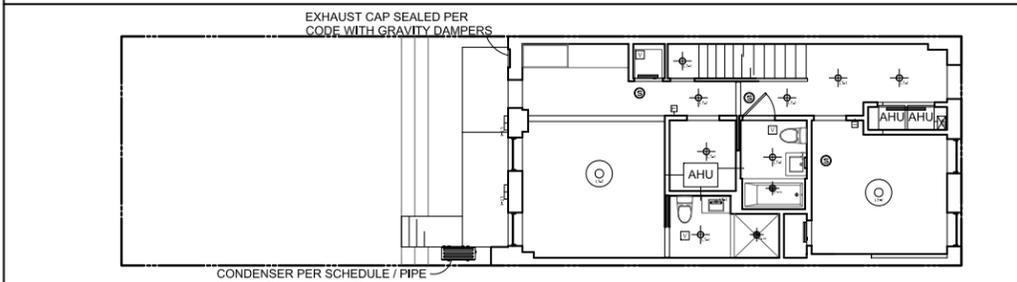
TABULAR ENERGY ANALYSIS		COMMERCIAL MULTI-FAMILY BUILDING RESIDENTIAL OCCUPANCY CLASS CLIMATE ZONE 4A - NEW YORK		
2014 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK CITY REQUIREMENTS CHAPTER C4 - COMMERCIAL BUILDINGS	ITEM DESCRIPTION	PROPOSED DESIGN VALUE	CODE-PREScribed VALUE AND CITATION	DRAWING REFERENCE
BUILDING ENVELOPE REQUIREMENTS SECTION ECC C402	C402.3 OPERABLE FENESTRATION	0.45 U-FACTOR 0.4 SHGC	0.45 MAX U-FACTOR AND 0.4 MAX SHGC PER TABLE C402.3	EN-001 (THIS PAGE) DRAWING 3 AND 4
	C402.3 ENTRANCE DOORS	0.77 U-FACTOR 0.4 SHGC	0.77 MAX U-FACTOR AND 0.4 MAX SHGC PER TABLE C402.3	EN-001 (THIS PAGE) DRAWING 3 AND 4
	C402.3.1 FENESTRATION AREA	255 SF FENESTRATION AREA OF 858 SF = 29.7%	VERTICAL FENESTRATION AREA (NOT INCLUDING OPAQUE PANELS) SHALL NOT EXCEED 30% OF GROSS ABOVE-GRADE WALL AREA	EN-001 (THIS PAGE) DRAWING 3 AND 4
	C402.4.2 AIR BARRIER PENETRATIONS	PENETRATIONS WILL BE CAULKED AND SEALED	PENETRATIONS IN THE AIR BARRIER OR PATH OF AIR LEAKAGE SHALL BE SEALED IN A MANNER COMPATIBLE WITH THE CONSTRUCTION	EN-001 (THIS PAGE) DRAWING 1 AND 2
	C402.4.3 AIR LEAKAGE OF FENESTRATION	0.2 WINDOWS 0.2 SWING DOORS (CFM/SF)	MAXIMUM AIR INFILTRATION RATE FOR FENESTRATION ASSEMBLIES PER TABLE 402.4.3	EN-001 (THIS PAGE) DRAWING 3 AND 4
BUILDING MECHANICAL SYSTEMS SECTION ECC C403	C403.2.3(1) SPLIT SYSTEM: ELECTRIC AIR COOLED	14.7 SEER FOR 48,000 BTU SPLIT SYSTEM	MINIMUM 13.0 SEER FOR <65,000 BTU/H SPLIT SYSTEMS	EN-001 (THIS PAGE) DRAWING 3 AND 2
	C403.2.4.1 THERMOSTATIC CONTROLS	THERMOSTATS PER CODE SHALL BE PROVIDED	EACH ZONE SHALL BE CONTROLLED BY INDIVIDUAL THERMOSTATIC CONTROLS WHICH RESPOND TO TEMPERATURE WITHIN THE ZONE	EN-001 (THIS PAGE) DRAWING 1 AND 2
	C403.2.4.2 OUTDOOR AIR INTAKES AND EXHAUSTS	GRAVITY DAMPERS SHALL BE PROVIDED AT OUTDOOR AIR INTAKES AND EXHAUSTS	EXCEPTION 2: GRAVITY DAMPERS SMALLER THAN 24" IN EITHER DIMENSION SHALL BE PERMITTED TO HAVE LEAKAGE OF 40 CFM/SF AT 1.0" WATER GAUGE (W.G., 249 PA) WHEN TESTED IN ACCORDANCE WITH AMCA 500D	EN-001 (THIS PAGE) DRAWING 1 AND 2
	C403.2.8 PIPING INSULATION	PIPE INSULATION PER TABLE C403.2.8	105-140 FLUID OPERATING TEMP 1" INS. FOR PIPES < 1" Ø 1.5" INS. FOR PIPES 1"-1.5" Ø 1.5" INS. PIPES 1.5"-8" Ø K-F FOR INSULATION IS 0.27 OR LESS (C403.2.8) PIPING INSULATION SHALL BE PROTECTED FROM DAMAGE (403.2.8.1)	EN-001 (THIS PAGE) DRAWING 1 AND 2
ELECTRICAL POWER AND LIGHTING SYSTEMS SECTION ECC C405	C404.7.3 LIGHTING AND POWER	23 OF 27 SHALL BE HIGH EFFICACY = 85%	EXCEPTION: DWELLING UNITS IN COMMERCIAL BUILDING SHALL NOT BE REQUIRED TO COMPLY WITH SECTIONS C405.2 - C405.5 PROVIDED THAT A MINIMUM OF 75% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES, OTHER THAN LOW VOLTAGE LIGHTING SHALL BE HIGH EFFICACY LAMPS	EN-001 (THIS PAGE) DRAWING 1 AND 2

TABULAR ENERGY INSPECTIONS	
IIA3	<p><b>Fenestration thermal values and product ratings:</b> U-factors and SHGC values of installed fenestration shall be visually inspected for conformance with the U-factors and SHGC values identified in the construction drawings by verifying the manufacturer's NFRC labels or, where not labeled, using the ratings in ECC Tables 303.1.3(1), (2) and (3). Where ASHRAE 90.1 is used, visible light transmittance values shall also be verified.</p> <p>As required during installation</p> <p>Approved construction documents; NFRC 100, NFRC 200</p> <p>303.1, 303.1.3, 502.3; ASHRAE 90.1 -5.5; 5.6 or 11; 5.8.2</p>

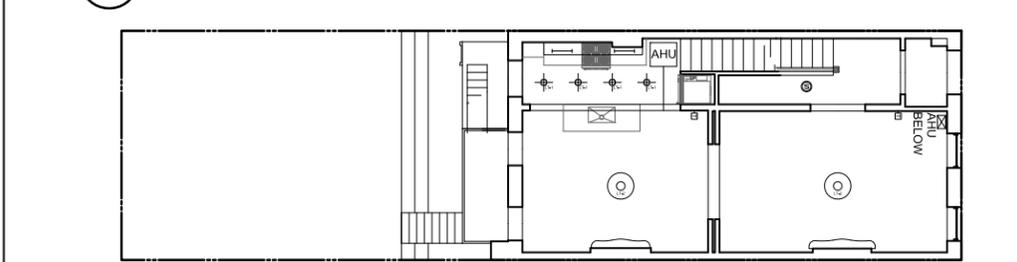
TABULAR ENERGY INSPECTIONS CONT.												
IIA4	<p><b>Fenestration and door assembly product ratings for air leakage:</b> Windows and sliding or swinging door assemblies, except site-built windows and/or doors, shall be visually inspected to verify that installed assemblies are listed and labeled by the manufacturer to the referenced standard.</p> <p>As required during installation; prior to final construction inspection</p> <p>NFRC 400, AAMA/WDMA/CSA 101/LS.2/A440 ASTM E283; ANSI/DASMA 105</p> <p>502.4; ASHRAE 90.1 -5.4.3.2</p> <p>For curtain wall, storefront glazing, commercial entrance doors and revolving doors, the testing reports shall be reviewed to verify that the installed assembly complies with the standard cited in the approved plans.</p>	<p>Approved construction documents</p> <p>502.3; ASHRAE 90.1 -5.5.4, 5.6 or 11</p>	<p>Approved construction documents</p> <p>502.4.3, 502.4.7; ASHRAE 90.1 -5.4.3.1</p>	<p>IIA5</p> <p><b>Fenestration areas:</b> Dimensions of windows, doors and skylights shall be verified by visual inspection.</p> <p>Prior to final construction inspection</p>	<p>Approved construction documents</p> <p>502.3; ASHRAE 90.1 -5.5.4, 5.6 or 11</p>	<p>IIA6</p> <p><b>Sealing:</b> Openings and penetrations in the building envelope, including site-built fenestration and doors, shall be visually inspected to verify that a continuous air barrier around the envelope forms an air-tight enclosure.</p> <p>As required during construction</p> <p>Approved construction documents; ASTM E2178, ASTM E2357, ASTM E1677, ASTM E779, ASTM E283.</p> <p>502.4.3, 502.4.7; ASHRAE 90.1 -5.4.3.1</p> <p>The progress inspector shall visually inspect to verify that materials and/or assemblies have been tested and meet the requirements of the respective standards, or that the building is tested and meets the requirements of the standard, in accordance with the standard(s) cited</p>	<p>IIIB2</p> <p><b>Outdoor air intakes and exhaust openings:</b> Dampers for stair and elevator shaft vents and other outdoor air intakes and exhaust openings integral to the building envelope shall be visually inspected to verify that such dampers, except where permitted to be gravity dampers, comply with approved construction drawings.</p> <p>As required during installation</p> <p>Approved construction documents; AMCA 500D</p> <p>502.4.4; ASHRAE 90.1 -6.4.3.4</p> <p>Manufacturer's literature shall be reviewed to verify that the product has been tested and found to meet the standard.</p>	<p>IIIB3</p> <p><b>HVAC, service water heating and pool equipment sizing and performance:</b> Equipment sizing, efficiencies and other performance factors of all major equipment units, as determined by the applicant of record, and no less than 15% of minor equipment units, shall be verified by visual inspection and, where necessary, review of manufacturer's data.</p> <p>Prior to final plumbing and construction inspection</p> <p>Approved construction documents</p> <p>503.2, 504.2, 504.7; ASHRAE 90.1 -6.3, 6.4.1, 6.4.2, 6.8; 7.4, 7.8</p> <p>Pool heaters and covers shall be verified by visual inspection.</p>	<p>IIIB4</p> <p><b>HVAC system controls and economizers and service hot water system controls:</b> No less than 20% of each type of required controls and economizers shall be verified by</p> <p>After installation and prior to final electrical and</p> <p>Approved construction documents, including control system narratives; ASHRAE Guideline 1: The HVAC Commissioning Process where</p> <p>503.2.4, 503.2.5.1, 503.2.11, 503.3, 503.4, 504.3, 504.6,</p>	<p>IIIB5</p> <p><b>Duct, plenum and piping insulation and sealing:</b> Installed duct and piping insulation shall be visually inspected to verify proper insulation placement and values.</p> <p>After installation and prior to closing shafts, ceilings and walls</p> <p>Approved construction documents; SMACNA Duct Construction Standards, Metal and Flexible</p> <p>503.2.7, 503.2.8, 504.5; ASHRAE 90.1 -6.3, 6.4.4.2, 6.8.2, 6.8.3; 7.4.3</p>	<p>IIIC2</p> <p><b>Lighting in dwelling units:</b> Lamps in permanently installed lighting fixtures shall be visually inspected to verify compliance with high-efficacy requirements.</p> <p>Prior to final electrical and construction inspection</p> <p>Approved construction documents</p> <p>505.5.3</p>	<p>IIID1</p> <p><b>Maintenance information:</b> Maintenance manuals for mechanical, service hot water and electrical equipment and systems requiring preventive maintenance shall be reviewed for applicability to installed equipment and systems before such manuals are provided to the owner. Labels required for such equipment or systems shall be inspected for accuracy and completeness.</p> <p>Prior to sign-off or issuance of Final Certificate of Occupancy</p> <p>Approved construction documents, including electrical drawings where applicable; ASHRAE Guideline 4: Preparation of Operating and Maintenance Documentation for Building Systems</p> <p>303.3, 503.2.9.3; ASHRAE 90.1 -4.2.2.3, 6.7.2.2, 8.7.2</p>

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**LIGHTING PLANS:** 1/8" = 1'-0"



**1 PROPOSED BASEMENT LIGHTING PLAN**  
1/8" = 1'-0"



**2 PROPOSED 1ST FLOOR LIGHTING PLAN**  
1/8" = 1'-0"

**SCHEDULE**

TYPE:	MODEL:	#
LT-1 RECESSED DOWN LIGHT	CONTRAST LIGHTING T3450 3.5 LOW VOLTAGE HALOGEN	8
LT-1A DAMP RATED RECESSED LIGHT	CONTRAST LIGHTING S3450 3.5 LOW VOLTAGE HALOGEN	2
LT-2 PENDANT LIGHT	INCANDESCENT TBD	2
LT-3 VANITY LIGHT	ALPHA 16 - 24" WALL SCENCE 24W FLORESCENT	2
LT-4 EXTERIOR LIGHT	BEGA LED WALL SCENCE 2261 6.6W LED	2
CLOSET LIGHT	PHILIPS EW PROFILE LINEAR LED FIXTURE	1 X 21" 2 X 41"
HVAC CONDENSER	FUJITSU HALCYON AOU48RLXF21 48,000 BTU'S (14.7 SEER)	1
AHU	FUJITSU HALCYON SLIM DUCT ARU18RLF (14.7 SEER)	1
AHU	FUJITSU SLIM DUCT ARU12RLF (14.7 SEER)	2

**SCHEDULE**

TYPE:	MODEL:	#
LT-1 RECESSED DOWN LIGHT	CONTRAST LIGHTING T3450 3.5 LOW VOLTAGE HALOGEN	4
LT-2 PENDANT LIGHT	INCANDESCENT TBD	2
CLOSET LIGHT	NOT USED	0
UNDER CABINET LIGHT	PHILIPS EW PROFILE LINEAR LED FIXTURE	2 X 21"
AHU	FUJITSU HALCYON SLIM DUCT ARU12RLF (14.7 SEER)	1

**BUILDING ELEVATIONS:** 1/8" = 1'-0"

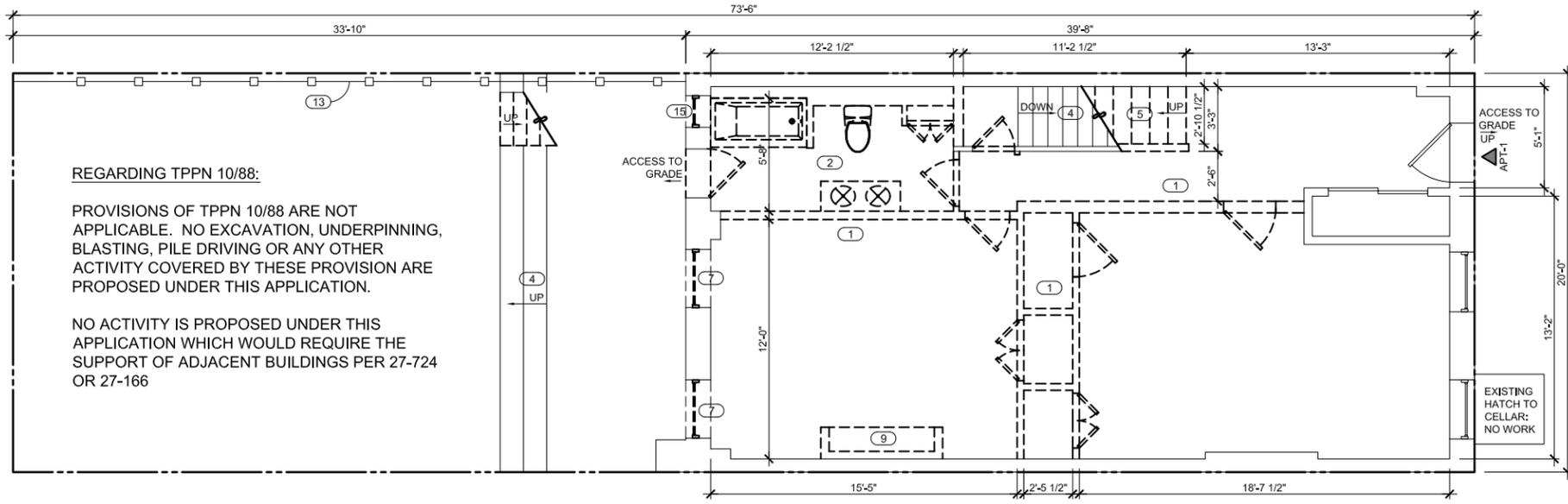


**3 EXISTING REAR ELEVATION** 1/8" = 1'-0" **4 PROPOSED REAR ELEVATION** 1/8" = 1'-0"

PROJECT  
 PINSON-WEBER RESIDENCE  
 264 CLERMONT AVENUE  
 BROOKLYN, NY 11205

ENERGY CODE ANALYSIS

SEAL & SIGNATURE: \_\_\_\_\_ DATE: 5/16/2016  
 SCALE: \_\_\_\_\_  
 DWG NO: **EN-001**  
 2 OF 9

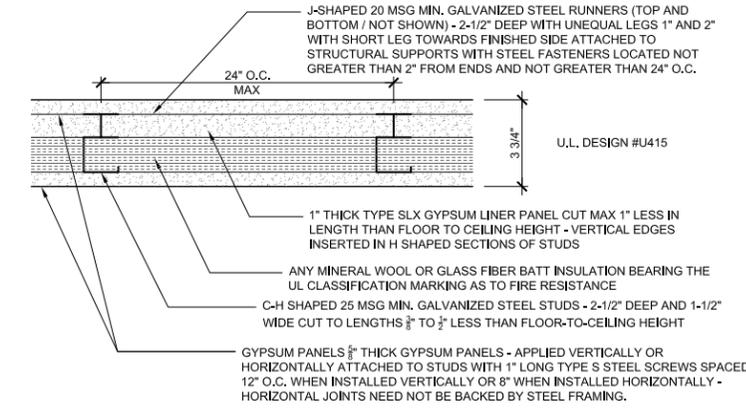


**REGARDING TPN 10/88:**

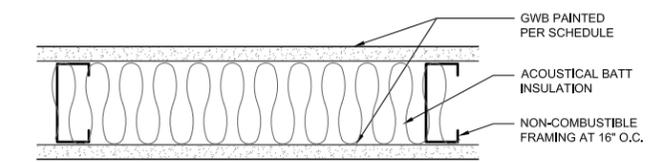
PROVISIONS OF TPN 10/88 ARE NOT APPLICABLE. NO EXCAVATION, UNDERPINNING, BLASTING, PILE DRIVING OR ANY OTHER ACTIVITY COVERED BY THESE PROVISIONS ARE PROPOSED UNDER THIS APPLICATION.

NO ACTIVITY IS PROPOSED UNDER THIS APPLICATION WHICH WOULD REQUIRE THE SUPPORT OF ADJACENT BUILDINGS PER 27-724 OR 27-166

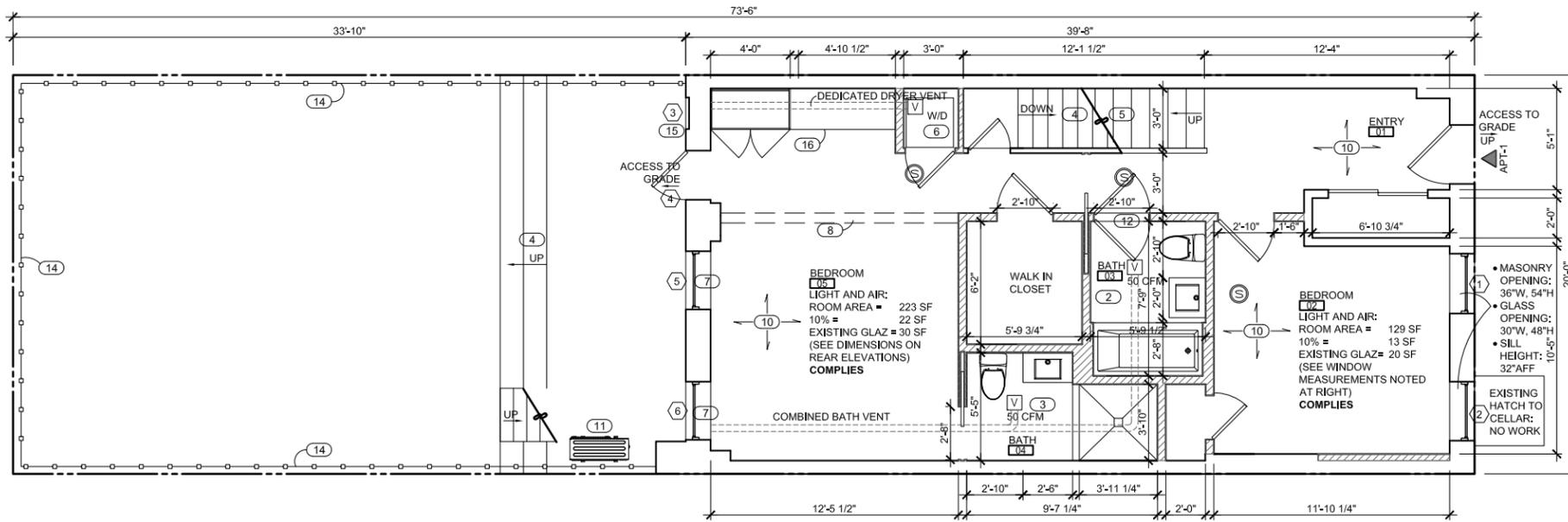
**1 BASEMENT DEMOLITION PLAN - APT 1 IN CONJUNCTION WITH 1ST FLOOR**  
 1/4" = 1'0"



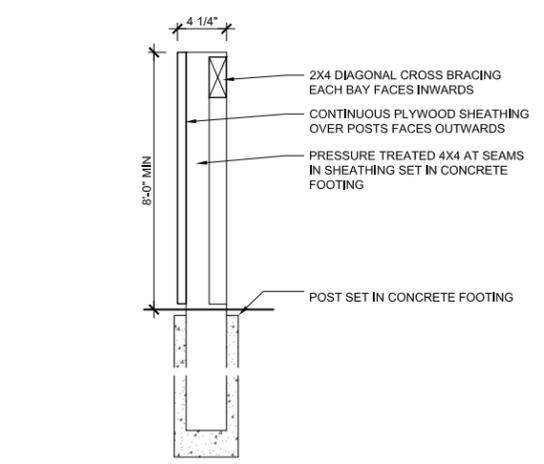
**3 U.L. RATED 2 HOUR NON-BEARING PARTITION**  
 3" = 1'-0"



**4 TYPICAL NON-RATED PARTITION**  
 3" = 1'-0"



**2 PROPOSED BASEMENT PLAN - APT 1 IN CONJUNCTION WITH 1ST FLOOR**  
 1/4" = 1'0"



**5 TEMPORARY CONSTRUCTION FENCE DETAIL**  
 1 1/2" = 1'-0"

LEGEND	
	PARTITIONS AND ELEMENTS TO REMAIN UNTOUCHED (DEMO PLAN)
	PARTITIONS AND ELEMENTS TO BE REMOVED (DEMO PLAN)
	ELEMENTS ABOVE CUT PLANE (PROPOSED PLAN)
	NEW NON RATED PARTITION (PROPOSED PLAN)
	NEW 2 HOUR RATED PARTITION
	MECHANICAL EXHAUST FAN - 50 CFM AT BATHS
	HARD WIRED SMOKE AND CARBON MONOXIDE DETECTOR
# in a square symbol"/>	WINDOW / OPENING NUMBER

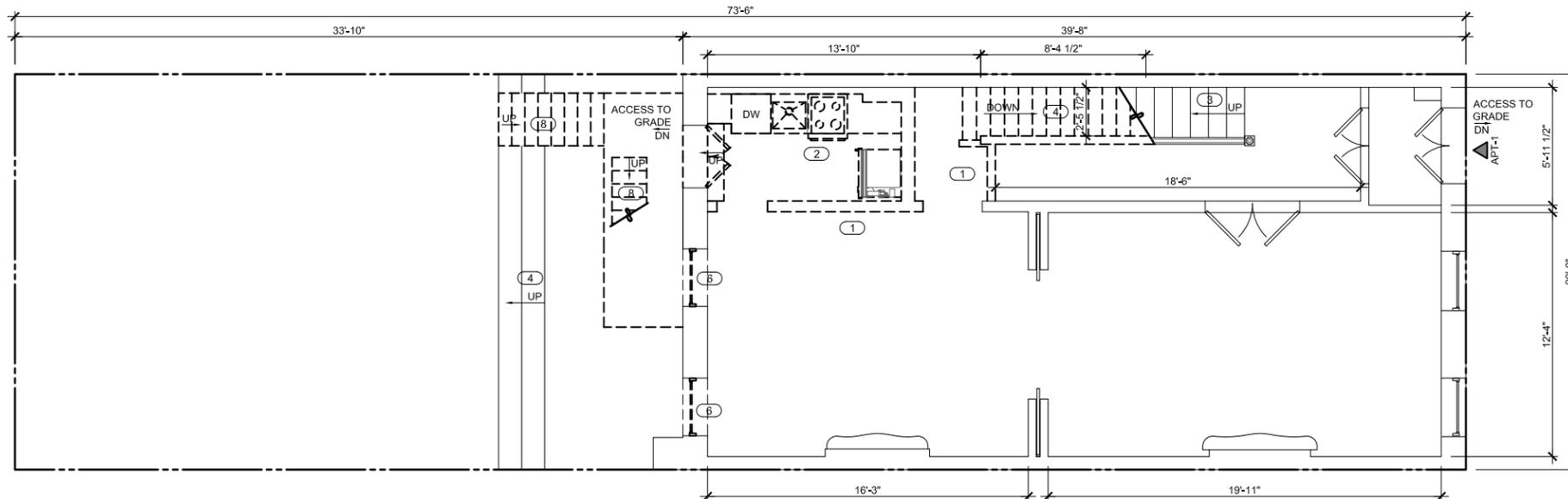
KEYNOTES	
<b>1</b> REMOVE INTERIOR PARTITIONS AS SHOWN - SEE STRUCTURAL FOR DEMO AND SHORING REQUIREMENTS AT BEARING WALL AND NEW LINTELS	<b>8</b> NEW BEAM SUPPORTS JOISTS ABOVE - SEE STRUCTURAL PLANS AND DETAILS
<b>2</b> RELOCATE PLUMBING FIXTURES, NEW FINISHES	<b>9</b> REMOVE BRICK CHIMNEY PROTRUDING INTO ROOM - PROVIDE STRUCTURAL BRACING IN FIRST FLOOR TO SUPPORT CHIMNEY ABOVE TO REMAIN - SEE STRUCTURAL
<b>3</b> NEW PLUMBING FIXTURES AND FINISHES	<b>10</b> REFINISH EXISTING FLOORING THROUGHOUT
<b>4</b> EXISTING STAIR TO REMAIN	<b>11</b> MINI-SPLIT HVAC CONDENSER INSTALLED PER MANUFACTURER SPECS - SEE ENERGY CODE ANALYSIS AND SCHEDULE FOR DETAILS
<b>5</b> REPAIR - REPLACE ACCESS STAIR - SEE STRUCTURAL PLANS FOR FLOOR FRAMING REQUIREMENTS	<b>12</b> DOOR SHALL BE INSTALLED SO THE SWING DIRECTION CAN BE SWITCHED FOR ACCESSIBLE ACCESS TO BATH
<b>6</b> NEW WASHER AND VENTED GAS DRYER - VENT TO HAVE INTEGRAL GRAVITY DAMPER PER CODE	<b>13</b> TEMPORARY CONSTRUCTION PROTECTION FENCE - SEE DETAIL DRAWING 5 THIS PAGE
<b>7</b> REMOVE AND REPLACE WINDOWS IN EXISTING OPENING - SEE EXTERIOR ELEVATIONS	<b>14</b> NEW FINISHED FENCE - 6' TALL CEDAR FENCING - BACK SIDE ALSO FINISHED ON PLAY GROUND SIDE
	<b>15</b> BRICK UP WINDOW OPENING 1" SHY OF EXTERIOR FACE MIN. - NEW BRICK TO MATCH EXISTING IN COLOR, SIZE AND TEXTURE - SEAL WITH WEATHER PROOFING, INSULATION AND FINISH WITH GWB ON INTERIOR
	<b>16</b> NEW CABINETRY

GENERAL NOTES	
1.	NO CHANGE TO EXISTING OCCUPANCY, USE OR EGRESS
2.	CONTRACTOR SHALL FOLLOW ALL GUIDELINES AND INSTRUCTIONS CONVEYED BY OR ON BEHALF OF BUILDING REPRESENTATIVES IN ADVANCE OF WORK, AND ON SITE DURING CONSTRUCTION
3.	EXISTING CONDITIONS SHOWN FOR REFERENCE ONLY - ALL CONDITIONS TO BE VERIFIED BY CONTRACTOR IN FIELD
4.	ALL COMMON BUILDING RISERS AND SYSTEMS TO REMAIN UNTOUCHED EXCEPT AS NOTED
5.	ANY CHANGE TO COMMON BUILDING SYSTEMS SHALL BE VERIFIED AND APPROVED BY AND COORDINATED WITH BUILDING MANAGEMENT PRIOR TO ANY WORK BEING DONE.
6.	PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED
7.	PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED
8.	VERIFY PARTITION LAY OUT, FRAMING, CEILING FRAMING, WATER PROOFING, LIGHTING, SWITCHING, AND GRILLE PLACEMENT WITH CLIENT AND ARCHITECT ON SITE.
9.	SUBMIT SHOP DRAWINGS FOR ALL CABINETRY, METAL FABRICATION, AND ANY OTHER SPECIAL CONDITIONS FOR APPROVAL BY ARCHITECT
10.	SUBMIT FINISH SAMPLES FOR ALL FINISHES: MINIMUM THREE PAINT COLORS PER ROOM, THREE FLOOR STAIN FINISH OPTIONS, TWO GROUT COLORS TO BE LAID WITH SELECTED TILE
11.	ALL COATINGS SHALL BE ZERO OR LOW VOC
12.	ALL WATER BRANCH LINES AND STEAM LINES MUST BE INSULATED PER EN-001

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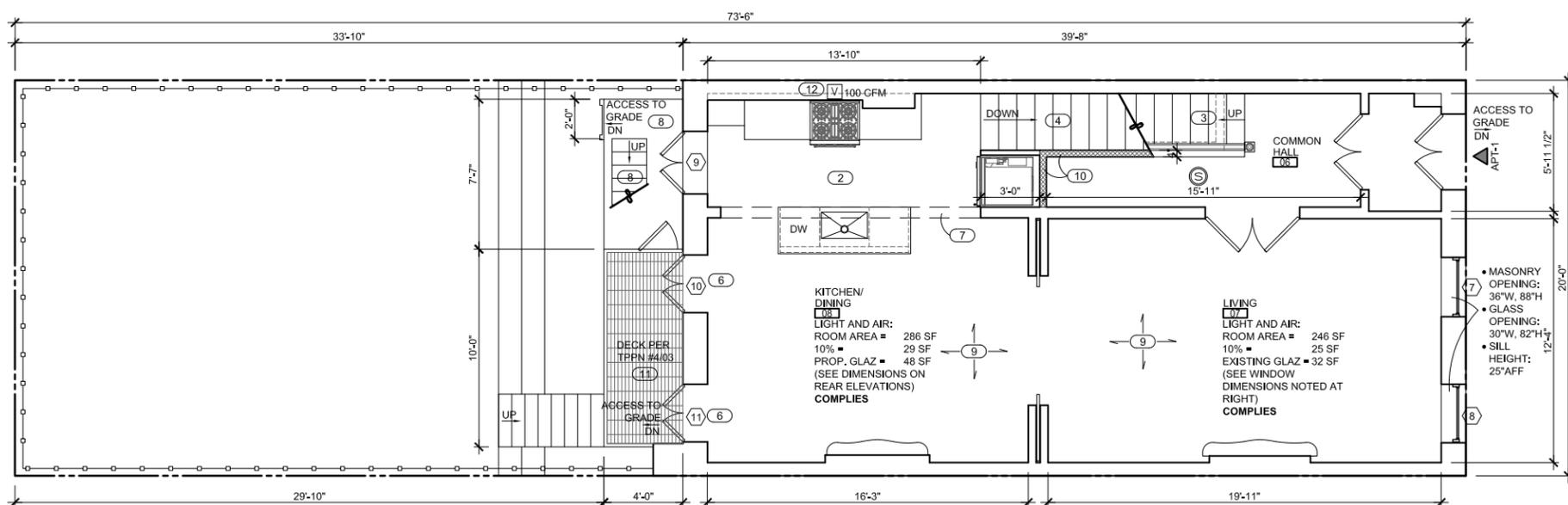
DEMO AND PROPOSED PLANS

SEAL & SIGNATURE:	DATE: 5/16/2016
	SCALE: 1/4" = 1'-0"
	DWG NO: <b>A-001.00</b>
	3 OF 9



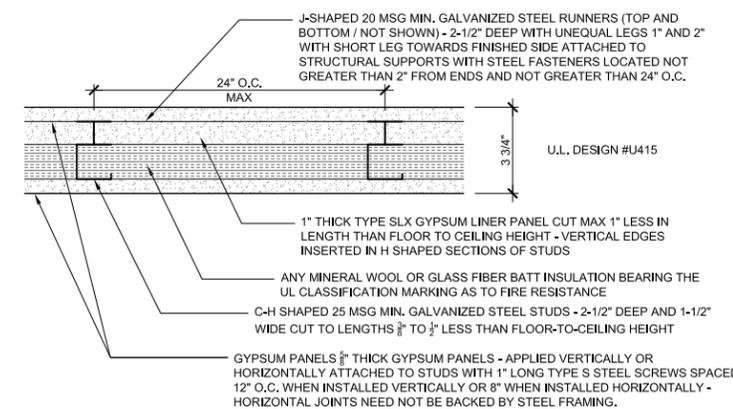
**1 1ST FLOOR DEMOLITION PLAN - APT 1 IN CONJUNCTION WITH BASEMENT**

1/4" = 1'0"



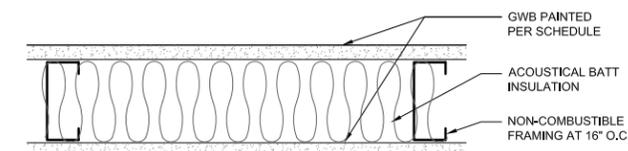
**2 PROPOSED 1ST FLOOR PLAN - APT 1 IN CONJUNCTION WITH 1ST FLOOR**

1/4" = 1'0"



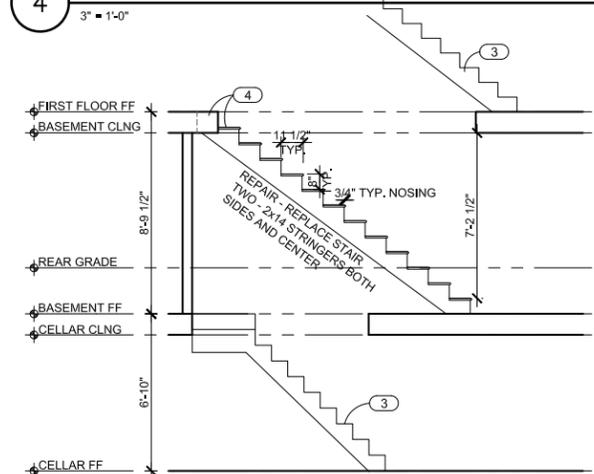
**3 U.L. RATED 2 HOUR NON-BEARING PARTITION**

3" = 1'-0"



**4 TYPICAL NON-RATED PARTITION**

3" = 1'-0"



**5 STAIR SECTION**

1/4" = 1'0"

LEGEND	KEYNOTES	GENERAL NOTES
<p>— PARTITIONS AND ELEMENTS TO REMAIN UNTOUCHED (DEMO PLAN)</p> <p>--- PARTITIONS AND ELEMENTS TO BE REMOVED (DEMO PLAN)</p> <p>== ELEMENTS ABOVE CUT PLANE (PROPOSED PLAN)</p> <p>//// NEW NON RATED PARTITION (PROPOSED PLAN)</p> <p>==== NEW 2 HOUR RATED PARTITION</p> <p>V MECHANICAL EXHAUST FAN - 100 CFM AT KITCHEN</p> <p>S HARD WIRED SMOKE AND CARBON MONOXIDE DETECTOR</p> <p># WINDOW / OPENING NUMBER</p>	<p>1 REMOVE INTERIOR PARTITIONS AS SHOWN - SEE STRUCTURAL FOR DEMO AND SHORING REQUIREMENTS AT BEARING WALL AND NEW LINTELS</p> <p>2 RELOCATE PLUMBING FIXTURES, NEW FINISHES</p> <p>3 EXISTING STAIR TO REMAIN</p> <p>4 REPAIR - REPLACE ACCESS STAIR - SEE STRUCTURAL FOR FLOOR FRAMING REQUIREMENTS</p> <p>6 REMOVE WINDOWS AND REPLACE WITH FRENCH DOORS UNDER EXISTING LINTEL - SEE EXTERIOR ELEVATIONS</p> <p>7 NEW BEAM SUPPORTS JOISTS ABOVE - SEE STRUCTURAL PLANS AND DETAILS</p> <p>8 REPAIR - REPLACE FIRE ESCAPE LANDING AT FIRST FLOOR AND STAIR TO 2ND FLOOR - ADD DROPPED LADDER PER CODE REQUIREMENTS SEE REAR ELEVATION FOR DETAILS</p> <p>9 REFINISH FLOORING PER SCHEDULE THROUGHOUT</p> <p>10 MIN 2 HOUR FIRE SEPARATION BETWEEN UNIT AND COMMON HALL - ENSURE UNDERSIDE OF STAIR IS ALSO FIREPROOFED TO 2 HOUR RATING</p> <p>11 NEW DECK PER TPPN #4/03 - STEEL STRUCTURE, RAIL AND STEEL GRATING</p> <p>12 HOOD VENTS - INDEPENDENTLY - TO EXTERIOR WITH HOOD CAP WITH INTEGRAL GRAVITY DAMPERS PER CODE</p>	<p>GENERAL NOTES</p> <ol style="list-style-type: none"> <li>NO CHANGE TO EXISTING OCCUPANCY, USE OR EGRESS</li> <li>CONTRACTOR SHALL FOLLOW ALL GUIDELINES AND INSTRUCTIONS CONVEYED BY OR ON BEHALF OF BUILDING REPRESENTATIVES IN ADVANCE OF WORK, AND ON SITE DURING CONSTRUCTION</li> <li>EXISTING CONDITIONS SHOWN FOR REFERENCE ONLY - ALL CONDITIONS TO BE VERIFIED BY CONTRACTOR IN FIELD</li> <li>ALL COMMON BUILDING RISERS AND SYSTEMS TO REMAIN UNTOUCHED EXCEPT AS NOTED</li> <li>ANY CHANGE TO COMMON BUILDING SYSTEMS SHALL BE VERIFIED AND APPROVED BY AND COORDINATED WITH BUILDING MANAGEMENT PRIOR TO ANY WORK BEING DONE.</li> <li>PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED</li> <li>PROVIDE TEMPORARY WEATHER PROTECTION AS REQUIRED</li> <li>VERIFY PARTITION LAY OUT, FRAMING, CEILING FRAMING, WATER PROOFING, LIGHTING, SWITCHING, AND GRILLE PLACEMENT WITH CLIENT AND ARCHITECT ON SITE.</li> <li>SUBMIT SHOP DRAWINGS FOR ALL CABINETRY, METAL FABRICATION, AND ANY OTHER SPECIAL CONDITIONS FOR APPROVAL BY ARCHITECT</li> <li>SUBMIT FINISH SAMPLES FOR ALL FINISHES: MINIMUM THREE PAINT COLORS PER ROOM, THREE FLOOR STAIN FINISH OPTIONS, TWO GROUT COLORS TO BE LAID WITH SELECTED TILE</li> <li>ALL COATINGS SHALL BE ZERO OR LOW VOC</li> <li>ALL WATER BRANCH LINES AND STEAM LINES MUST BE INSULATED PER EN-001</li> </ol>

PROJECT  
 PINSON-WEBER RESIDENCE  
 264 CLERMONT AVENUE  
 BROOKLYN, NY 11205

DEMO AND PROPOSED PLANS

SEAL & SIGNATURE: DATE: 5/16/2016

SCALE:

DWG NO:

**A-002.00**



**1** EXISTING REAR ELEVATION  
 3/8" = 10"

**2** PROPOSED REAR ELEVATION  
 3/8" = 10"

**LEGEND**

- EXISTING BRICK TO REMAIN
- WINDOW / OPENING NUMBER

**KEYNOTES**

- 1 NO WORK AT 2ND AND 3RD FLOOR - EXISTING BRICK AND WINDOWS TO REMAIN UNTOUCHED
- 2 EXISTING 2ND AND 3RD FLOOR FIRE ESCAPE LANDING, RAILS, STAIRS AND LADDERS TO REMAIN UNTOUCHED
- 3 NEW TRANSOM PER SCHEDULE DIRECT MULLED ABOVE DOOR IN EXISTING OPENING 0.45 U-FACTOR / 0.4 SHGC INSTALLED PER MANUFACTURER SPECIFICATIONS
- 4 LENGTHEN EXISTING WINDOW OPENING BELOW EXISTING LINTEL TO FIRST FLOOR LEVEL - WIDTH OF OPENING TO REMAIN UNCHANGED - PRESERVE AND RELOCATED SILL STONE IF POSSIBLE OR REPLACE IN KIND
- 5 INSTALL FRENCH BALCONY DOORS PER SCHEDULE PER MANUFACTURER SPECIFICATIONS - 0.45 U-FACTOR / 0.4 SHGC
- 6 REMOVE EXISTING STAIR AND REPLACE WITH DROP LADDER COMPLIANT WITH RCNY 15-10 AND MULTIPLE DWELLING LAW SECTION 53 - FINISH TO MATCH EXISTING
- 7 REMOVE AND REPLACE FIRE ESCAPE STAIR FROM 1ST TO 2ND FLOOR AND REPLACE 1ST FLOOR LANDING AND RAIL AT 4" BELOW FIRST FLOOR LEVEL - SEE STRUCTURAL DRAWINGS - FINISH AND DETAILING TO MATCH EXISTING WHERE POSSIBLE - ALL FIRE ESCAPE WORK TO COMPLY WITH RCNY 15-10 AND MULTIPLE DWELLING LAW SECTION 53 - IN ADDITION FIRE ESCAPE SHALL REMAIN IN USE THROUGHOUT CONSTRUCTION OR TEMPORARY MEASURES SHALL BE UNDERTAKEN TO ENSURE 2 MEANS OF EGRESS AT ALL TIMES
- 8 REPLACE BASEMENT DOOR PER SCHEDULE IN EXISTING OPENING PER MANUFACTURER SPECIFICATIONS - 0.45 U-FACTOR / 0.4 SHGC
- 9 REPLACE WINDOW PER SCHEDULE IN EXISTING OPENING PER MANUFACTURER SPECIFICATIONS - 0.45 U-FACTOR / 0.4 SHGC
- 10 NEW STEEL STAIR AND RAIL - SEE STRUCTURAL - FINISH AND DETAILING TO MATCH FIRE ESCAPE WHERE POSSIBLE
- 11 NEW CEDAR FENCE AROUND YARD PERIMETER - FINISHED ON BOTH SIDES AT PLAYGROUND SIDE
- 12 BRICK UP WINDOW SHY OF EXTERIOR FACE BY 1" MIN. (INSET) - NEW BRICK TO MATCH EXISTING IN COLOR, SIZE AND TEXTURE - SEAL WITH WEATHER PROOFING, INSULATION AND GWB ON INTERIOR

**WINDOW SCHEDULE**

WIN #	SIZE	SILL HEIGHT	DESCRIPTION	MANUFACTURER	MODEL #	FINISH	OPTIONS	INTERIOR HARDWARE
1	36" W x 64" T (VIF)	32" AFF (VIF)	1 OVER 1 DOUBLE HUNG	EXISTING TO REMAIN	-	-	-	-
2	36" W x 64" T (VIF)	32" AFF (VIF)	1 OVER 1 DOUBLE HUNG	EXISTING TO REMAIN	-	-	-	-
3	19" W x 43" T (VIF)	40.5" AFF (VIF)	BRICK UP WINDOW	NA	BRICK TO MATCH EXISTING	TO MATCH EXISTING	INSET BRICK SHY OF EXTERIOR FACE AT LEAST 1"	-
4	33.5" W x 84" T (VIF)	0" AFF	PATIO DOOR WITH 6 LITES	LEPAGE	PRESTIGE COLLECTION ALUMINUM CLAD PATIO DOOR	EXTERIOR TO BE ALUMINUM CLAD LEPAGE "BLACK" INTERIOR TO BE PRIMED	7/8" COLONIAL SDL MUNTINS #908 ALUMINUM BRICKMOULD BLACK IGU SPACER TEMPERED - LOW-E ARGON FILLED IGU	OIL RUBBED BRONZE MULTIPoint LOCKSET AND LEVER
5	35" W x 64" T (VIF)	20" AFF (VIF)	2 OVER 2 DOUBLE HUNG	LEPAGE	PRESTIGE COLLECTION ALUMINUM CLAD DOUBLE HUNG	-	7/8" COLONIAL SDL MUNTINS #908 ALUMINUM BRICKMOULD BLACK IGU SPACER TEMPERED - LOW-E ARGON FILLED IGU	OIL RUBBED BRONZE CAM LOCK AND SASH LIFT
6	35" W x 64" T (VIF)	20" AFF (VIF)	2 OVER 2 DOUBLE HUNG	LEPAGE	PRESTIGE COLLECTION ALUMINUM CLAD DOUBLE HUNG	-	7/8" COLONIAL SDL MUNTINS #908 ALUMINUM BRICKMOULD BLACK IGU SPACER TEMPERED - LOW-E ARGON FILLED IGU	OIL RUBBED BRONZE CAM LOCK AND SASH LIFT
7	36" W x 88" T (VIF)	25" AFF (VIF)	1 OVER 1 DOUBLE HUNG	EXISTING TO REMAIN	-	-	-	-
8	36" W x 88" T (VIF)	25" AFF (VIF)	1 OVER 1 DOUBLE HUNG	EXISTING TO REMAIN	-	-	-	-
9	36" W x 112" T (VIF)	0" AFF	84" TALL FRENCH DOORS (3 LITES PER LEAF) AND TRANSOM ABOVE (2 LITES SIDE BY SIDE)	LEPAGE	PRESTIGE COLLECTION OUTSWING ALUMINUM CLAD 1-3/4" PANEL BALCONY DOOR WITH 4-3/8" FRAME	EXTERIOR TO BE ALUMINUM CLAD LEPAGE "BLACK" INTERIOR TO BE PRIMED	7/8" COLONIAL SDL MUNTINS #908 ALUMINUM BRICKMOULD BLACK IGU SPACER TEMPERED - LOW-E ARGON FILLED IGU	OIL RUBBED BRONZE CREMONE BOLT
10	36" W x 112" T (VIF)	0" AFF	84" TALL FRENCH DOORS (3 LITES PER LEAF) AND TRANSOM ABOVE (2 LITES SIDE BY SIDE)	LEPAGE	PRESTIGE COLLECTION OUTSWING ALUMINUM CLAD 1-3/4" PANEL BALCONY DOOR WITH 4-3/8" FRAME	EXTERIOR TO BE ALUMINUM CLAD LEPAGE "BLACK" INTERIOR TO BE PRIMED	7/8" COLONIAL SDL MUNTINS #908 ALUMINUM BRICKMOULD BLACK IGU SPACER TEMPERED - LOW-E ARGON FILLED IGU	OIL RUBBED BRONZE CREMONE BOLT
11	36" W x 112" T (VIF)	0" AFF	84" TALL FRENCH DOORS (3 LITES PER LEAF) AND TRANSOM ABOVE (2 LITES SIDE BY SIDE)	LEPAGE	PRESTIGE COLLECTION OUTSWING ALUMINUM CLAD 1-3/4" PANEL BALCONY DOOR WITH 4-3/8" FRAME	EXTERIOR TO BE ALUMINUM CLAD LEPAGE "BLACK" INTERIOR TO BE PRIMED	7/8" COLONIAL SDL MUNTINS #908 ALUMINUM BRICKMOULD BLACK IGU SPACER TEMPERED - LOW-E ARGON FILLED IGU	OIL RUBBED BRONZE CREMONE BOLT

SPECIAL NOTES:  
 1) ALL WINDOWS AND HARDWARE TO BE SUPPLIED BY CONTRACTOR  
 2) CONTRACTOR TO VERIFY ALL EXISTING AND NEW OPENINGS PRIOR TO ORDERING  
 3) OPENINGS SHALL BE FULLY WEATHER SEALED AND WINDOWS INSTALLED PER MANUFACTURER SPECIFICATIONS

**GENERAL NOTES**

1. NO WORK TO 2ND AND 3RD FLOOR
2. EXISTING FACADE BRICK TO REMAIN
3. 2 MEANS OF EGRESS SHALL BE PROVIDED AT ALL TIMES DURING WORK TO FIRE ESCAPES - TEMPORARY MEASURES APPROVED BY THE FDNY SHALL BE UNDERTAKEN TO ENSURE SAFE OCCUPATION OF EXISTING BUILDING
4. ALL FIRE ESCAPE WORK SHALL COMPLY WITH RCNY 15-10 AND THE MULTIPLE DWELLING LAW SECTION 53

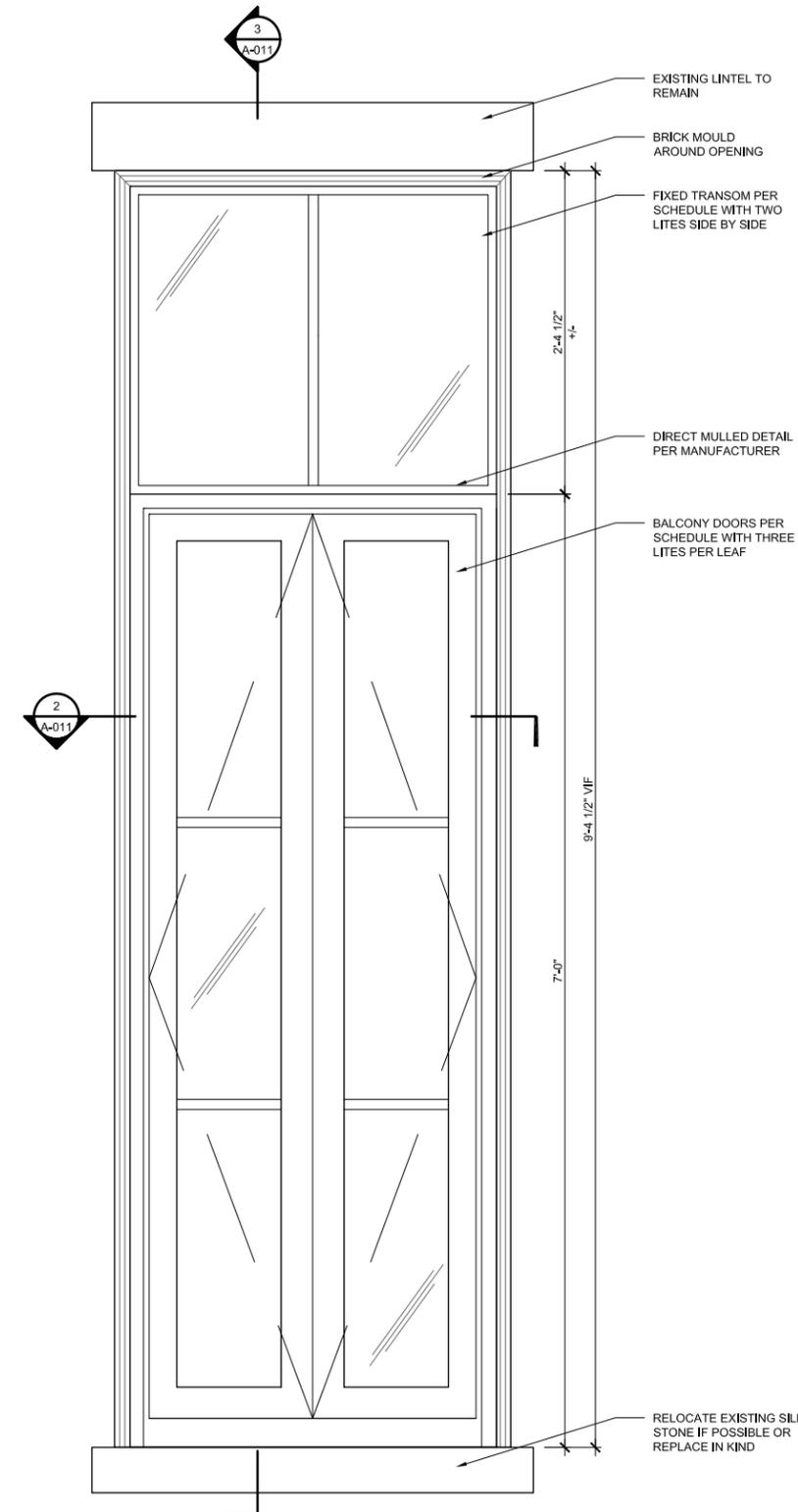
PROJECT  
 PINSON-WEBER RESIDENCE  
 264 CLERMONT AVENUE  
 BROOKLYN, NY 11205

REAR ELEVATIONS

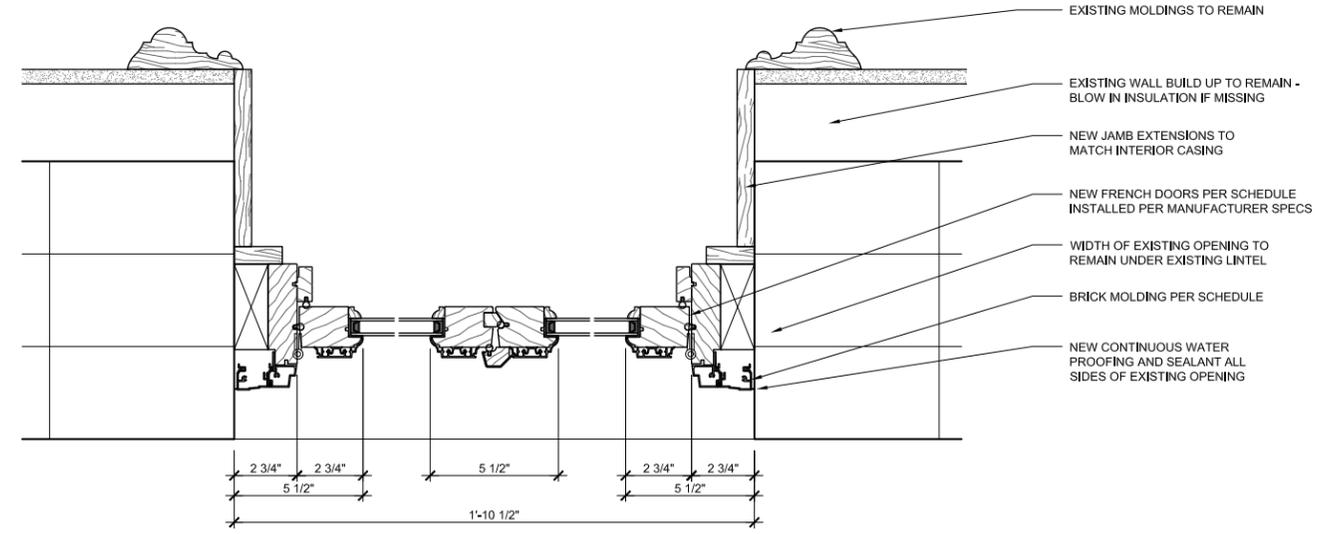
SEAL & SIGNATURE: \_\_\_\_\_ DATE: 5/16/2016

SCALE: \_\_\_\_\_

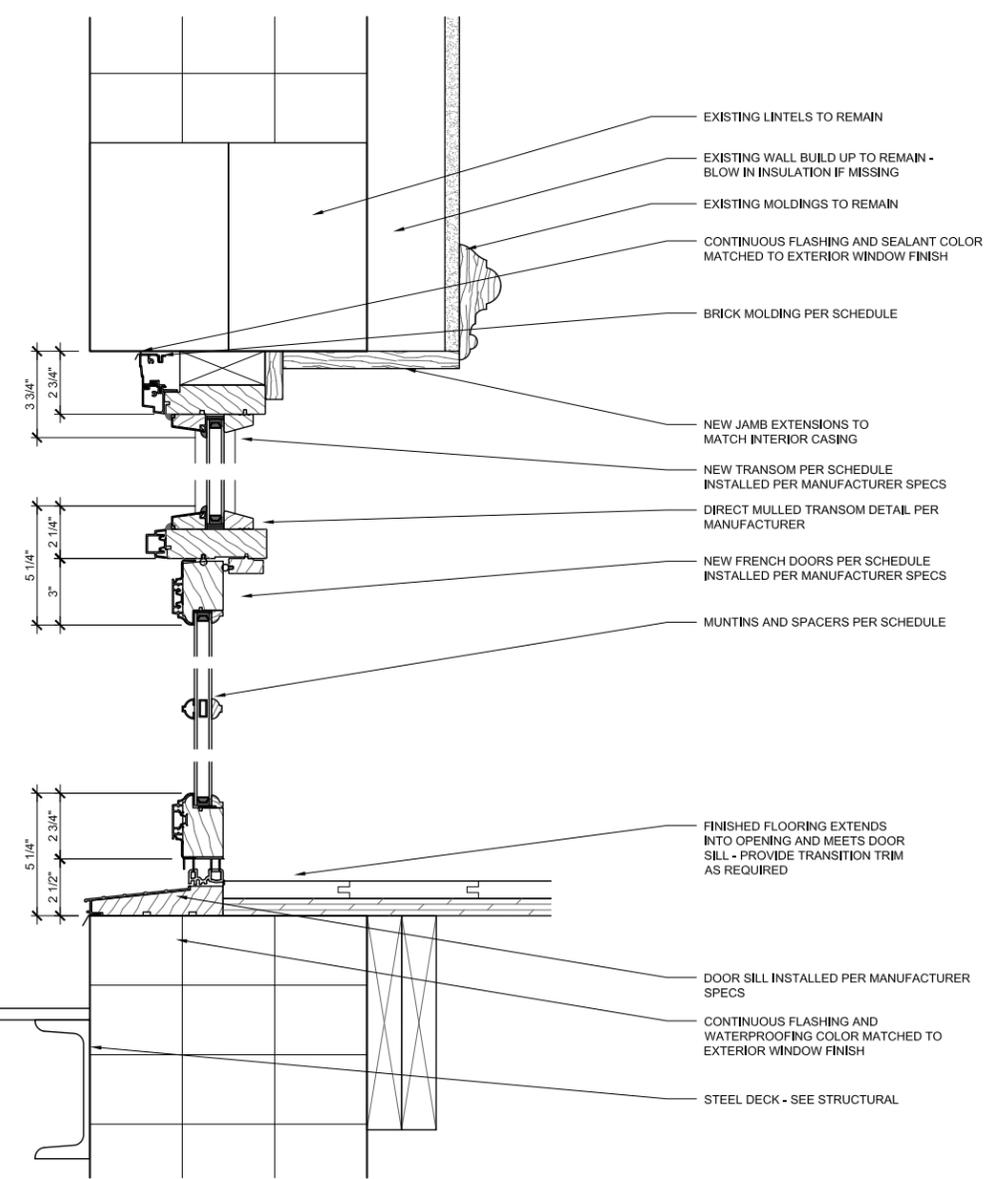
DWG NO: **A-010.00**



1 ENLARGED REAR BALCONY DOOR ELEVATION  
 1 1/2" = 1'-0"



2 HORIZONTAL SECTION  
 3" = 1'-0"



3 VERTICAL SECTION  
 3" = 1'-0"

PROJECT  
 PINSON-WEBER RESIDENCE  
 264 CLERMONT AVENUE  
 BROOKLYN, NY 11205

ENLRGD DOOR ELEVATION AND DETAILS

SEAL & SIGNATURE:	DATE: 5/16/2016
	SCALE:
	DWG NO: <b>A-011.00</b>
	6 OF 9

Lepage Aluminum Clad Balcony doors:  
Data and Options



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WINDOWS / **DOORS** / ARCHITECTURAL INFO / WHY LEPAGE MILLWORK?

PRESTIGE COLLECTION > BALCONY

Print

- +DESCRIPTION
- HARDWARE
- WOOD SPECIES
- FINISH
- GRILLES
- GLASS AND SPACERS
- SCREENS
- MOULDINGS
- CONFIGURATIONS
- SIMILAR PRODUCTS
- ENERGY PERFORMANCE
- TECHNICAL INFORMATION



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**SUPERIOR QUALITY, INSIDE AND OUT**  
Discover the authentic look of our solid wood balcony doors. With a traditional design, it offers a solid core construction providing charm and stability. Our beautiful balcony doors will add distinction and an upscale look to your home.

**FEATURES & BENEFITS**

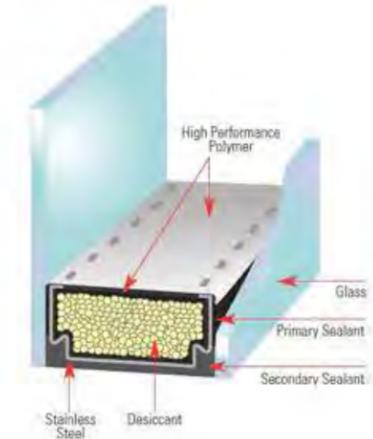
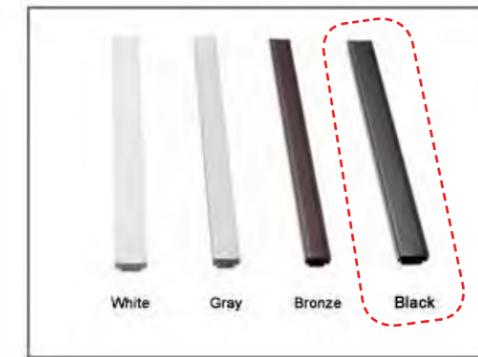
- Interlocking panels
- Available wood exterior swinging screen
- Raised and flat panel options
- No fixed post between sashes for better ventilation and easy access
- 5 3/8" x 1 1/4" solid wood frame
- 2" x 1 3/4" solid wood sash



Left: Lepage Balcony doors Standard Muntin style - simulated divided lites in 5/8", 7/8", 1-1/4" or 1-3/4" wide options.

7/8" wide option

Below: Lepage Balcony Door IGU-spacer in black and aluminum finish in black



**STANDARD COLORS (ON ALUMINUM)**



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**264 Clermont Ave.**  
**Brooklyn, NY 11205**

**NYC**  
Landmarks Preservation  
Commission

**Lepage Aluminum Clad Balcony doors:  
Data and Options**



**Manu Data**

**Balcony Door - Aluminum Clad**

**Frame:**

- Pine, optional Douglas fir or mahogany
- Thickness 1 1/4" (32mm)
- Depth 4 3/8" (111mm)
- Depth 6 3/8" (162mm)
- Aluminum clad, extruded 0.060", 1.5 mm thick

**Sash:**

- Pine, optional Douglas fir or mahogany
- Thickness 1 3/4" (44,5mm) standard
- Optional aluminum raised or flat panel

**Interior finish:**

- Natural, primed Lepage interior stain or paint

**Exterior finish:**

- Lepage paint:
- Standard: ice white or rainware white
- Optional: over 50 colors – see website

**Operating Hardware:**

- Standard (Rustic) cremone and hinges in black
- Optional colors: Pewter, antique brass, white and brass, silver grey and solid brass
- Optional (Classic) cremone and hinges: oil rubbed bronze, satin chrome and polished brass

**Weather-strip**

- Silicone

**Glass:**

- Standard IG thickness: 3/4" (19 mm)
- Perimeter spacer: "Technoform". Standard colors bronze, white, black or grey
- Options: clear, Low-E Argon, grey, bronze, pinhead, glue-chip, and tempered 1 or 2 sides.

**Screen:**

- Standard: charcoal fiberglass mesh
- Optional: invisible mesh, grey or black aluminium mesh
- White surround, Optional: Lepage paint (over 50 colors)

**Grilles:**

- Internal georgian 3/4", 1" or 1 3/4"
- Internal flat 5/16", 5/8", 3/4" or 1"
- Internal tubular white, brass or pewter

**Simulated Divided Lites (SDL):**

- 5/8", 7/8", 1 1/4" or 1 3/4" natural interior SDL
- 5/8", 7/8", 1 1/4" or 1 3/4" extruded exterior SDL (color according to the cladding)
- Optional for bronze, white, black or grey spacer bars.

**True Divided Lites (TDL):**

- TDL 2"

**Casing options:**

- Extruded aluminum 908 Brickmould
- Extruded aluminum 2 3/4" Flat casing
- Extruded aluminum 3 1/2" Flat casing
- Extruded aluminium 3 15/16" Backbend (D-090)
- Nailing fin made of flexible vinyl

**Sill Extension:**

- 2" (50.8mm) PA-051

**Jamb Extension interior:**

- Finish and wood species same as interior frame 1/8" min and 6" max

**Minimums and Maximums:**

Minimum width:	15" (1 sash)	Minimum width (2 sashes):	30"
Minimum height:	20"		
Maximum width:	42" (1 sash)	Maximum width (2 sashes):	82"
Maximum height:	108"		

Maximum: 21 square foot – (IG)

For more information, please visit our web site at [www.lepagemillwork.com](http://www.lepagemillwork.com)