

TAX MAP PHOTO c. 1940



LPC DESIGNATION PHOTO - AUG. 1973

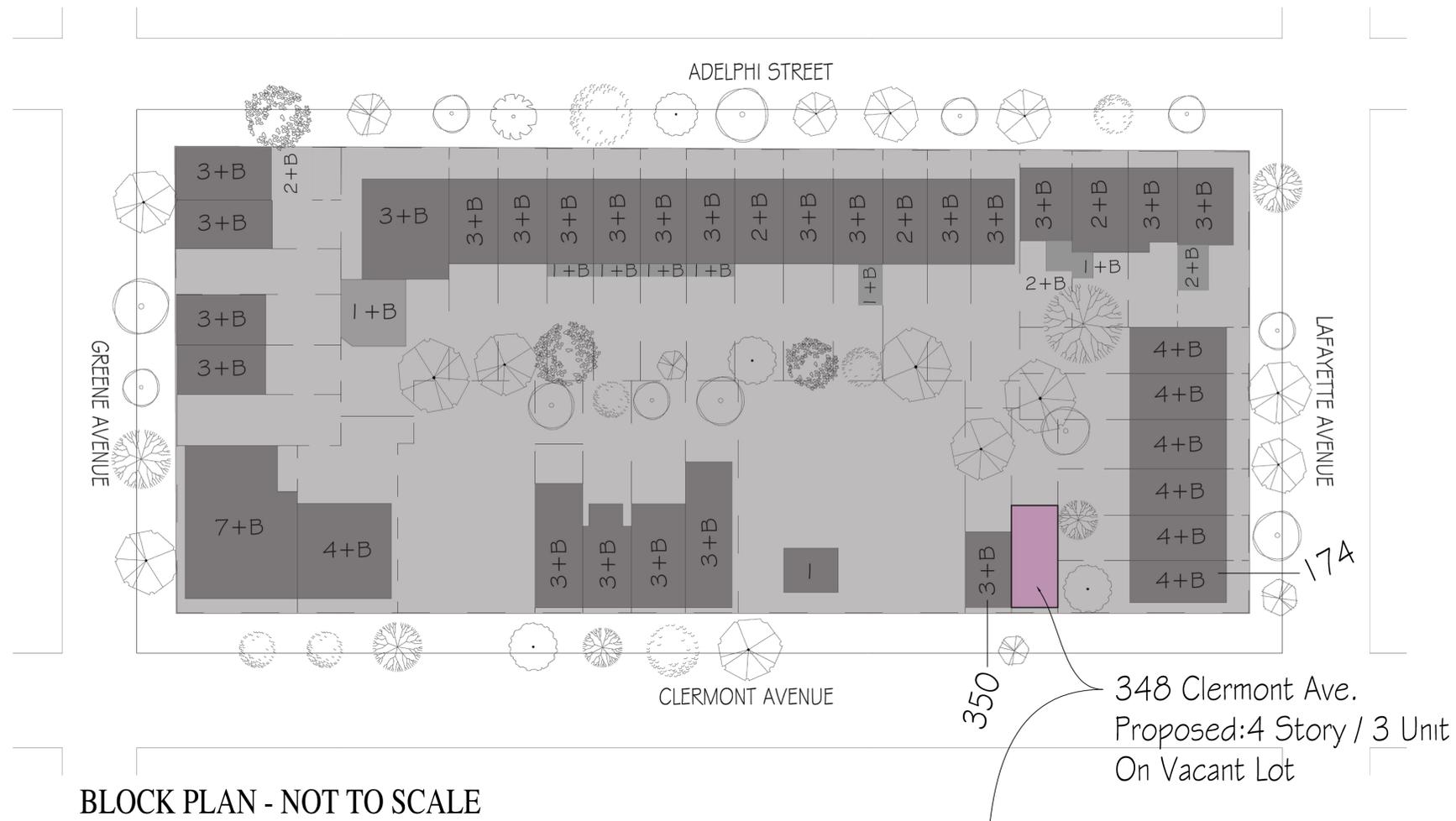


348 Clermont Ave.  
(VACANT LOT)

IMAGE FROM SEPT. 2015

TAKEN FROM VANDERBILT AVE. LOOKING THROUGH BISHOP LOUGHLIN  
HIGH SCHOOL RECREATION AREA

SHOWING 350 CLERMONT AVE. AND 174 LAFAYETTE AVE. (CORNER BLDG.)



AERIAL PHOTO - MICROSOFT BING MAPS 2015



◀ GREENE AVE. 378

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174 Lafayette.

LAFAYETTE AVE. ▶

**BUILDING LAWS AND ORDINANCES**

All materials and construction shall conform to the requirements of all building and sanitary laws in force. The contractor is to be responsible for any violation of the same, and shall make all work acceptable to the Building Department. Certificates shall be furnished showing the approval of all work done by this contractor. This includes approval of electrical work, plumbing work, construction work, etc.

**GENERAL CONSTRUCTION NOTES**

- Plans and premises to be checked by contractor before work is started.
- All errors and omissions to be reported to the architect.
- No work is to start unless contractor obtains "Permit to Build" from the Building Department and any other approvals that may be required.
- Contractor is to arrange for and schedule all inspections as may be required by the Building Department upon completion of work, and obtain certificate of occupancy if required.
- Contractors are to verify and check all dimensions and conditions on the job before starting work. All dimensions are to finish conditions unless otherwise noted.
- Contractor is to report all discrepancies to the architect.
- Contractor to schedule job meeting(s) for layout of roughings for all trades to coordinate locations of fixtures w/ Owner or Architect.
- Contractor to maintain MEA certificates. When purchasing NYC MEA rated materials or equipment, all shipments and deliveries of such materials shall be accompanied by a certificate or label certifying that the materials shipped or delivered are equivalent to those tested and accepted for use, as provided for in Section 27-131 of the Building Code.

**CARBON MONOXIDE & SMOKE DETECTING DEVICES:**

- Smoke detecting devices shall conform to subchapter 17, article 6 of the building code.
- Smoke detecting devices shall receive their primary power from building wiring. There shall be no switches in the circuit other than the over current device protecting the branch circuit.
- All smoke detecting devices shall be accepted pursuant to rules and regulations promulgated by the commissioner, approved by the board of standards and appeals listed by a nationally recognized independent laboratory. No device shall be deemed to be in compliance with this provision unless it is either the ionization chamber or photoelectric type.
- Smoke detectors to be installed which meet the requirements of rs 4-6, 4.26.3, adaptable to provide flashing lights arranged to flash in conjunction with audible smoke detector alarm.
- Accessible routes to be provided between facilities, providing a minimum of 36 inches of width along the accessible route as per rs 4-6, 4.3.1, and a minimum of 32 inches of width at doorways, as per rs 4-6, 4.13.5
- Carbon monoxide and smoke detectors to comply with following:
  - installed on ceiling or wall outside of each room used for sleeping purposes and within 15 feet of such sleeping rooms
  - installed in each room used for sleeping purposes
  - installed in each story within dwelling including below-grade story.
- Smoke alarms or detectors shall be interconnected in such a manner that the activation of one alarm or detector will activate all of the alarms or detectors in dwelling unit.

**PLUMBING NOTES:**

- All work to be done by a licensed plumber in the new york state.
- All plumbing work shall conform to the standards of the new york state.
- Plumber shall file for all additional work not covered under this application with the proper authority and shall pay for all fees and permits.
- The plumber shall pay for and obtain all permits, inspection, etc., related to his work under this application, as required for the completion of this application.
- Contractor shall perform all plumbing work as required to complete the project in accordance with the requirements of the new york state building code and as specified herein.
- Contractor shall remove all unused and unnecessary piping and shall provide new as shown on plans.
- All piping is to be concealed in walls, soffits or hung ceilings and shall not be exposed to view unless so noted.
- Existing piping shall be modified as required to provide a complete system.
- Plumber shall perform all work as required to provide a complete system including fixtures in accordance with requirements of the new york state building code.

**INSPECTION ITEMS**

SPECIAL INSPECTION ITEMS:	CODE / SEC. REQ.
-Concrete Cast-In-Place	BC 1704.4
-Masonry	BC 1704.5
-Soils -Site Preparation	BC 1704.7.1
-Soils -Investigation (Borings/Test Pits)	BC 1704.7.4
-Mechanical Systems	BC 1704.15
-Structural Safety, Structural Stability	BC 1704.19
-Firestop, Draftstop, and Fireblock systems	BC 1704.25
<b>PROGRESS INSPECTION ITEMS:</b>	
-Footings and Foundation	BC 109.3.3
-Energy Code Compliance Inspections (TR-8)	BC 109.3.5
-Insulation placement & R values	(IA2, IIA2)
-Fenestration areas	(IA5, IIA5)
-Fire Resistance Rated Construction	BC 109.3.4

**SCOPE OF WORK:**

**New 3 Family Building Application**

**Herewith submitting new architectural drawings**

**BASE PLANE CALCULATION:**

From Topographical Survey by Perfect Point Land Surveying dated: Sept. 13th 2012  
 $\frac{1}{2} (92.49' \text{ (Curb Height A)} + 92.60' \text{ (Curb Height B)})$   
 $= 92.55' + .15' = 92.70' \text{ (Base Plane)}$

**QUALITY HOUSING NOTES:**

- 28-21 Apartment minimum size to be 400 SF Floor Area
- 28-22 All windows to be double glazed
- 28-23 Refuse Storage and Disposal: N/A (8 units < 9 units)
- 28-24 Laundry Facilities: N/A (8 units < 20 units)
- 28-25 Daylight in Corridors: N/A
- 28-30, 28-31, 28-32 Recreation Space: N/A (8 units < 9 units)
- 28-33 Area of lot between street line and street wall shall be planted
- 28-41 Density per Corridor: 50% of sf of corridor may be excluded from the definition of floor area
- 28-50, 28-51, 28-52, 28-53 Parking and Screening: N/A per 25-261

**STREET TREE PLANTING:**

(1) Street Tree Required Per 25'-0" of Frontage

**PARKING ANALYSIS:**

Off-Street Parking Required for 50% of Dwelling Units in Building. 50% x 3 (Proposed Dwelling Units) = 2 (Off-Street Parking Spaces) However, Off-Street Parking is Waived when 5 or Fewer Spaces are Required.

**BICYCLE PARKING:**

No Bicycle Parking Required per ZR 25-811(a)

**DRAWING LIST:**

L-001	Title Sheet - General Notes, Zoning Notes, Plot Plan and Drawing List
L-002	Proposed Floor Plans - Cellar, Ground and 2nd Flr.
L-003	Proposed Floor Plans - 3rd Flr., 4th Flr., Roof Plan
L-004	Proposed Front Elevation
L-005	Proposed Side and Rear Elevations

**ZONING ANALYSIS:**

Zoning District: R6B  
 Zoning Map: 16C

Lot Area: 21.0' x 81.33' + (6.67' x 4') = 1,734.61 s.f.  
 Lot Coverage (Max): 1,734.61 s.f. x 60% = 1,040.76 s.f.  
 Lot Coverage (Actual): 1,018 s.f. < 1,040.76

Max F.A.: 1,734.61 x 2.0 (F.A.R.) = 3,469.22 s.f. Complies (ZR 23-145)  
 Prop'd F.A.: A + B + C + D = 3,467.5 s.f. < 3,469.22 s.f. Complies (ZR 23-145)  
 Prop'd F.A.R.: 3,467.5 s.f. / 1,734.61 = 1.99 < 2.0 Complies (ZR 23-145)

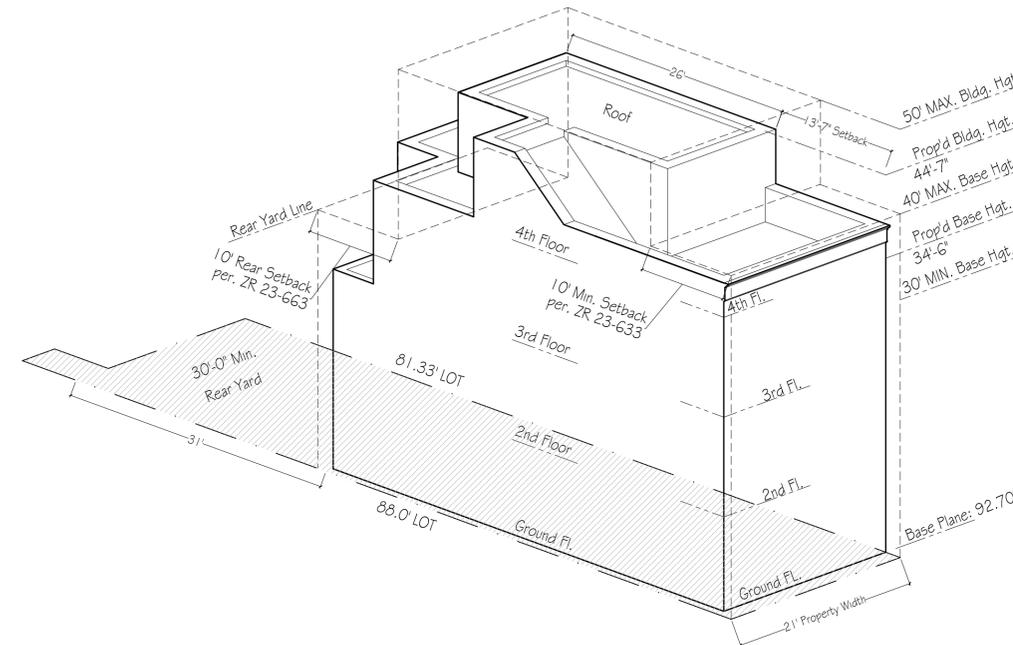
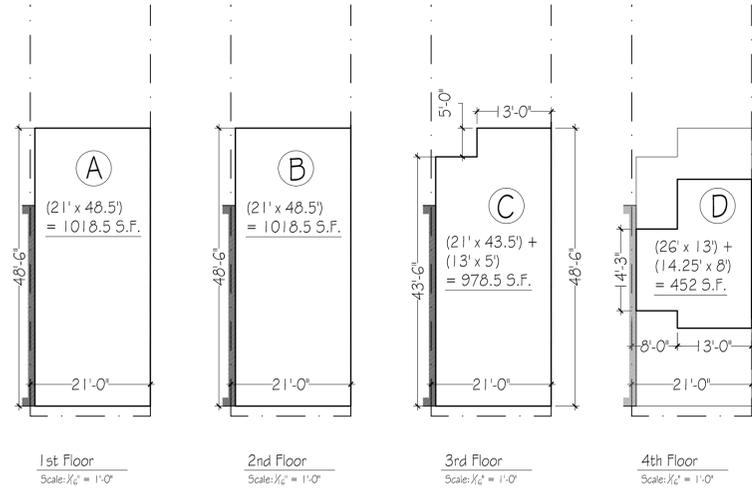
Density Regulation: 3,469.22 / 680 = 5.1 > 3 Dwelling Units Complies (ZR 23-22)

Required Yards:  
 Front Yard: None Required - None Proposed  
 Side Yard: None Required - None Proposed  
 Rear Yard: 30'-0" Required - 31'-0" Proposed Complies (ZR 23-47)

Height & Setback:  
 Base Height (Min.): 30'-0" < 34'-6" Complies (ZR 23-633)  
 Base Height (Max.): 40'-0" > 34'-6" Complies (ZR 23-633)  
 Building Height (Max.): 50'-0" > 44'-7" Complies (ZR 23-633)

**CONSTRUCTION TYPE: CLASS II-A**

**FLOOR AREA DIAGRAM:**

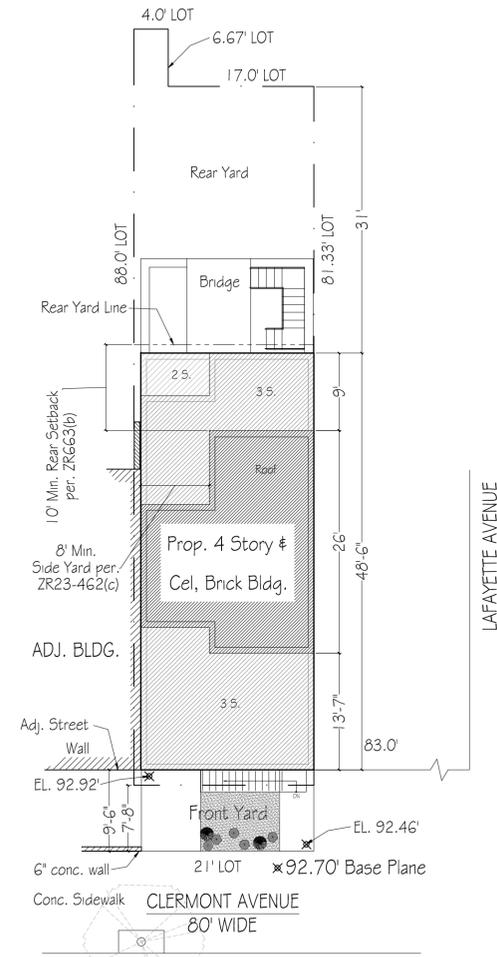
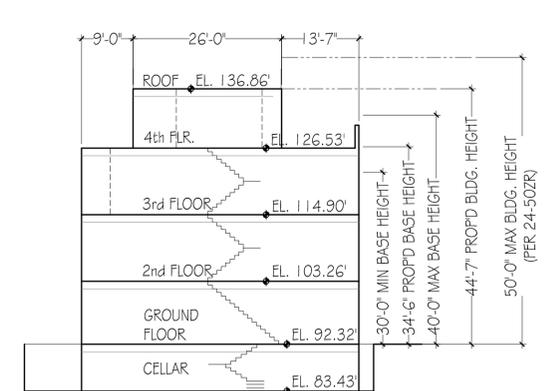


**AXONOMETRIC DIAGRAM**

Scale: 3/32" = 1'-0"



**SKY EXPOSURE DIAGRAM:**



**SITE PLAN**

Scale: 3/32" = 1'-0"

**BENJAMIN ELLIS ARCHITECT**  
 ELLIS + DONNELLY STUDIO  
 160 Third Street, 2nd Floor, Brooklyn, NY 11231 718 886-0996

**Clermont Fleurant Building**  
 348 Clermont Avenue  
 Brooklyn, NY 11238

REVISIONS:  
 LPC Submit 2015-12-08

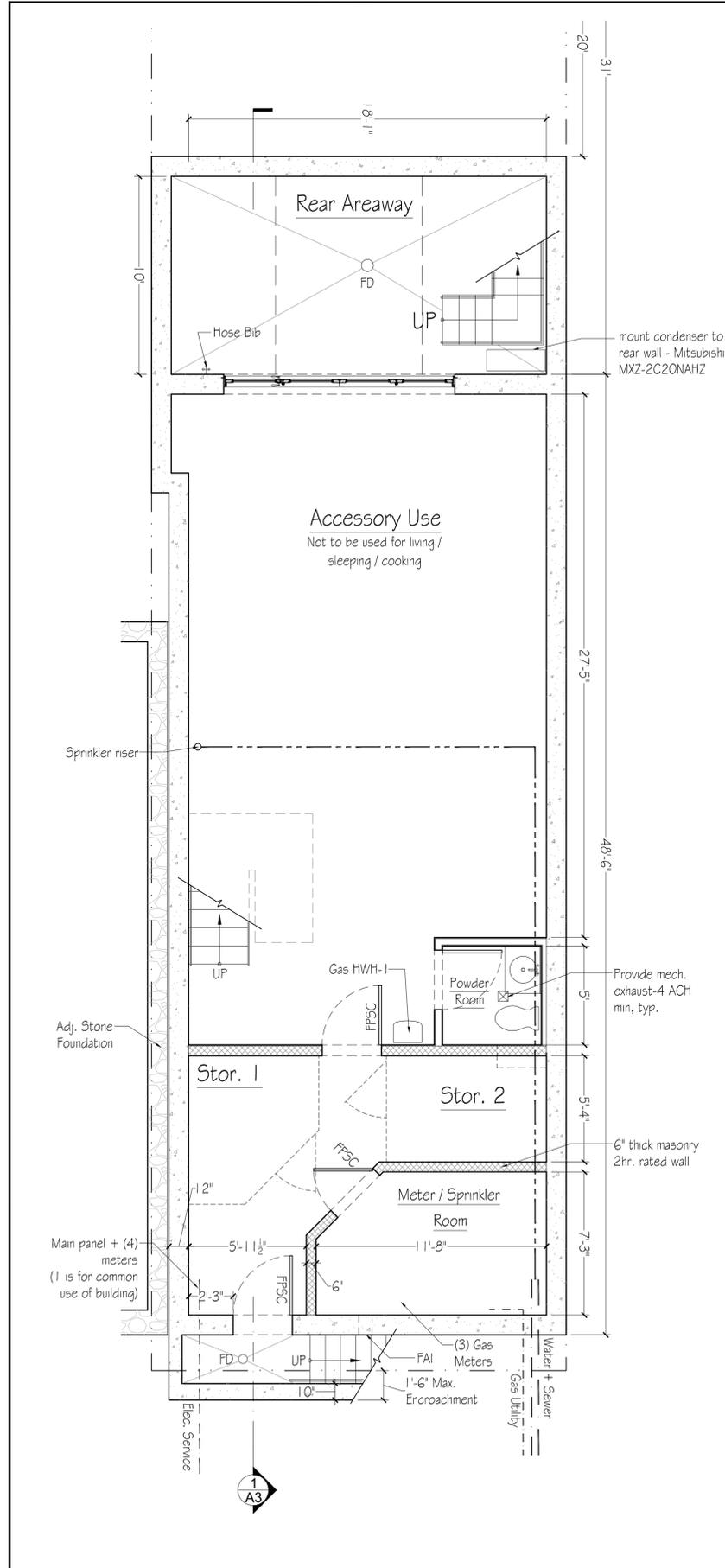
OWNERS NAME & ADDRESS:  
 Guy Fluerant  
 348 Clermont Ave.  
 Brooklyn, NY 11238

DRAWING TITLE:  
 Gen. Notes, Zoning Diagrams  
 Energy Analysis and Plot Plan

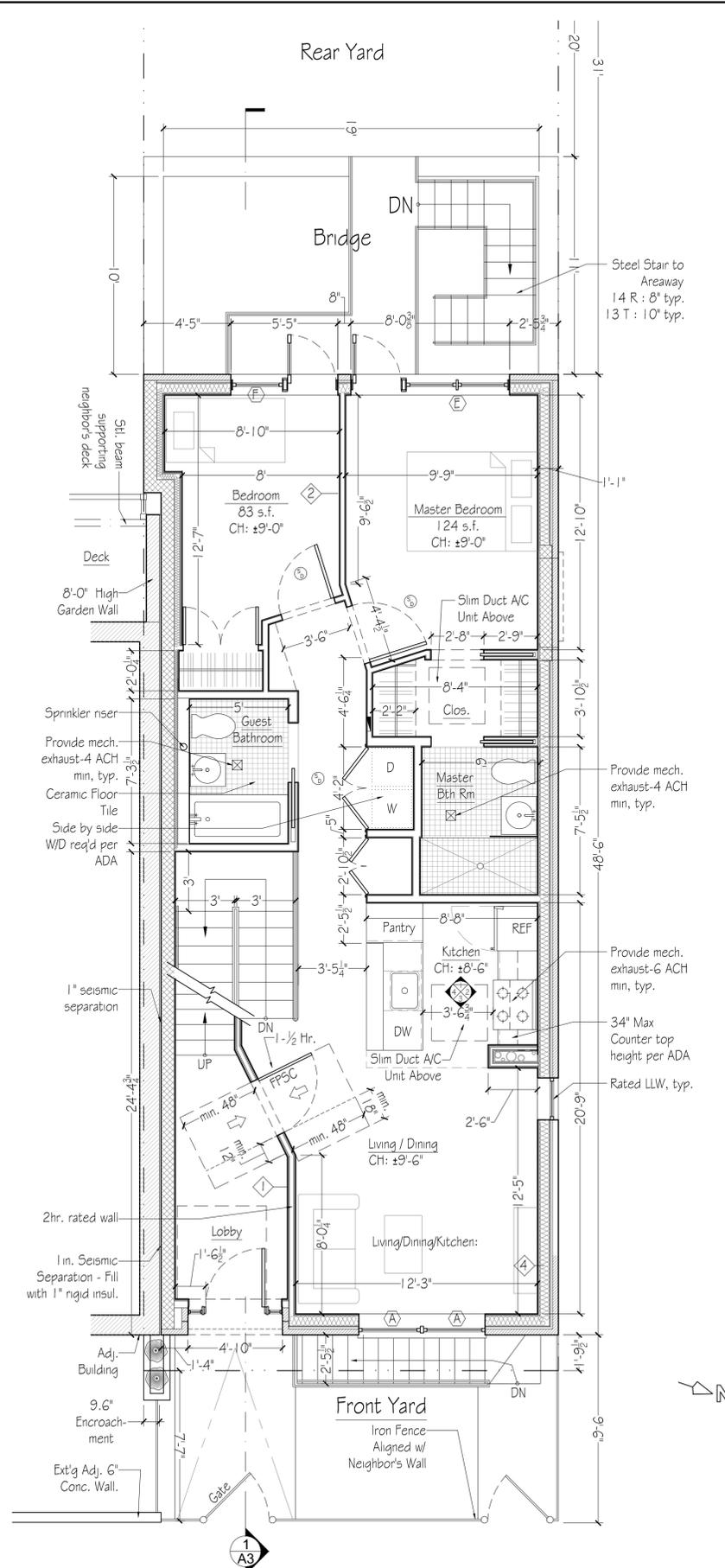
SEA & SIGNATURE:

ISSUE DATE: Dec. 16, 2015  
 TAX BLOCK: 2121  
 TAX LOT: 26  
 ZONING MAP: 16C  
 ZONE: R6B  
 START DATE: May. 15, 2015  
 SHEET: 4 of 9

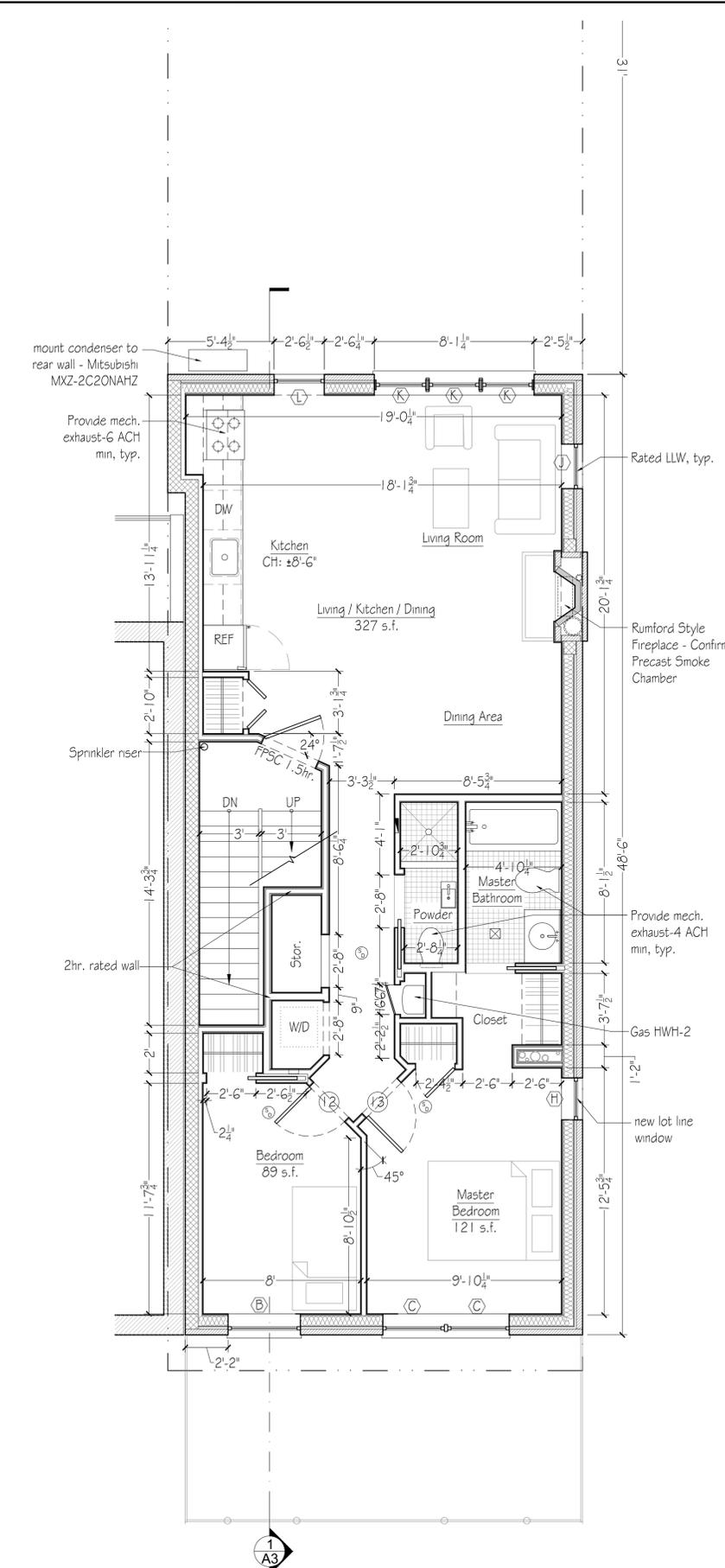
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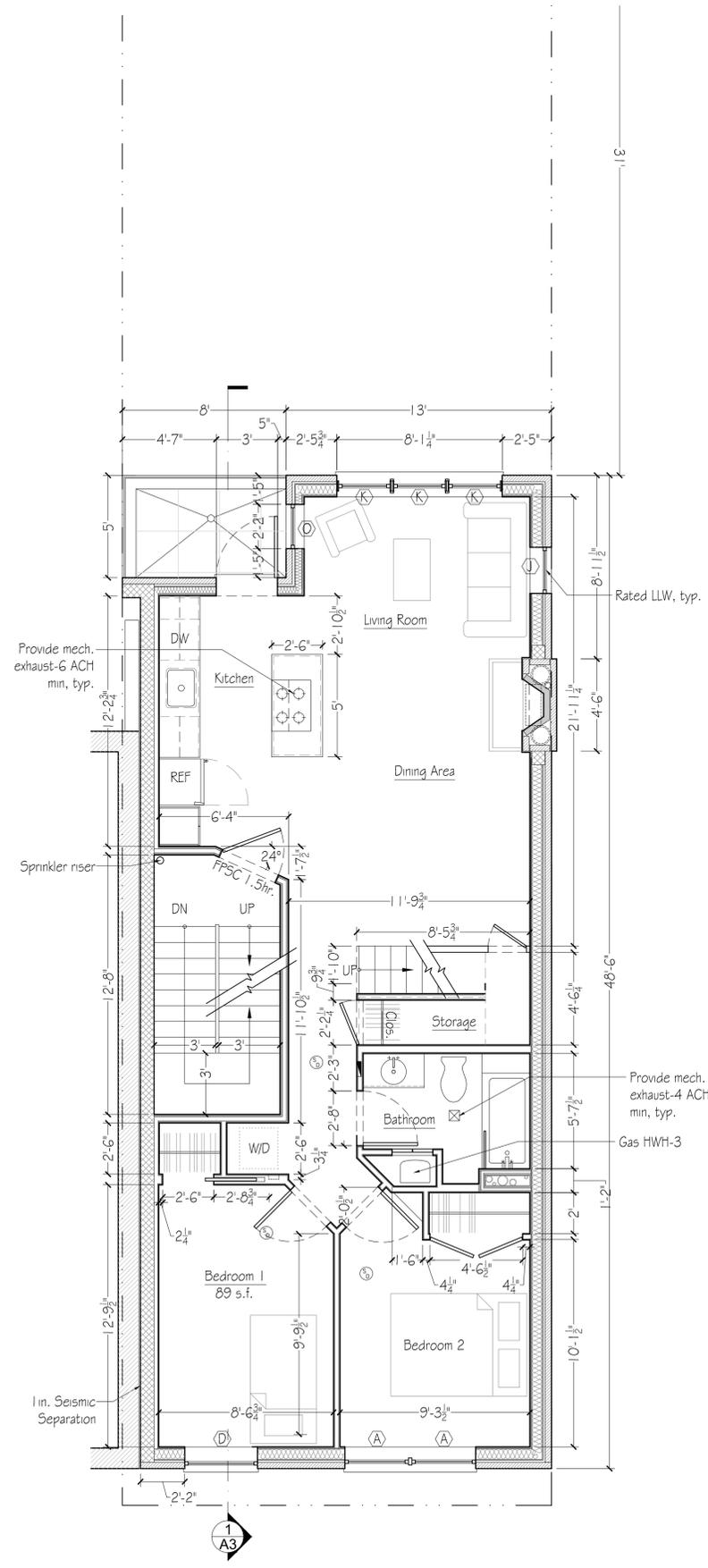
1 Cellar Floor Plan - Proposed  
1/4" = 1'-0"



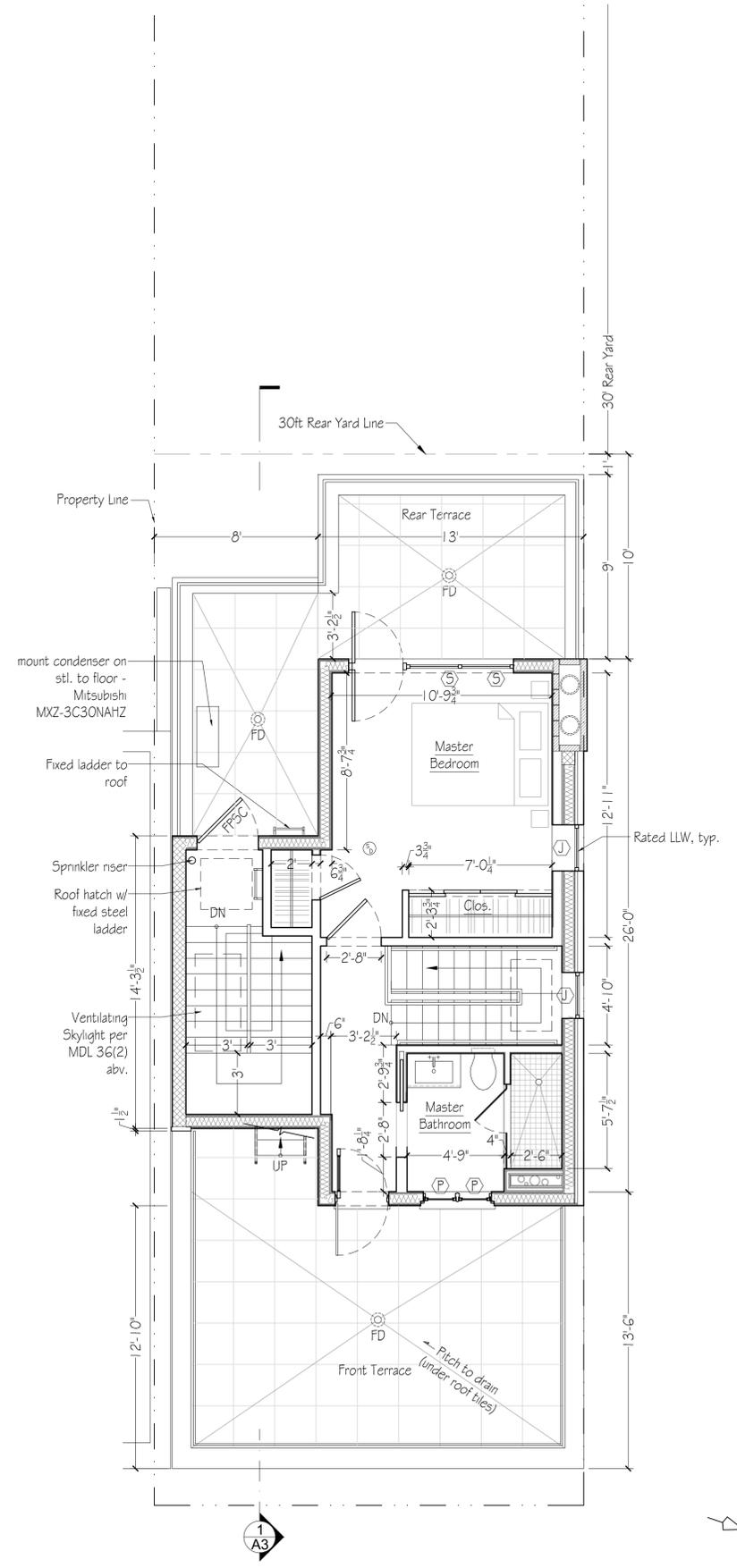
2 Ground Floor Plan - Proposed  
1/4" = 1'-0"



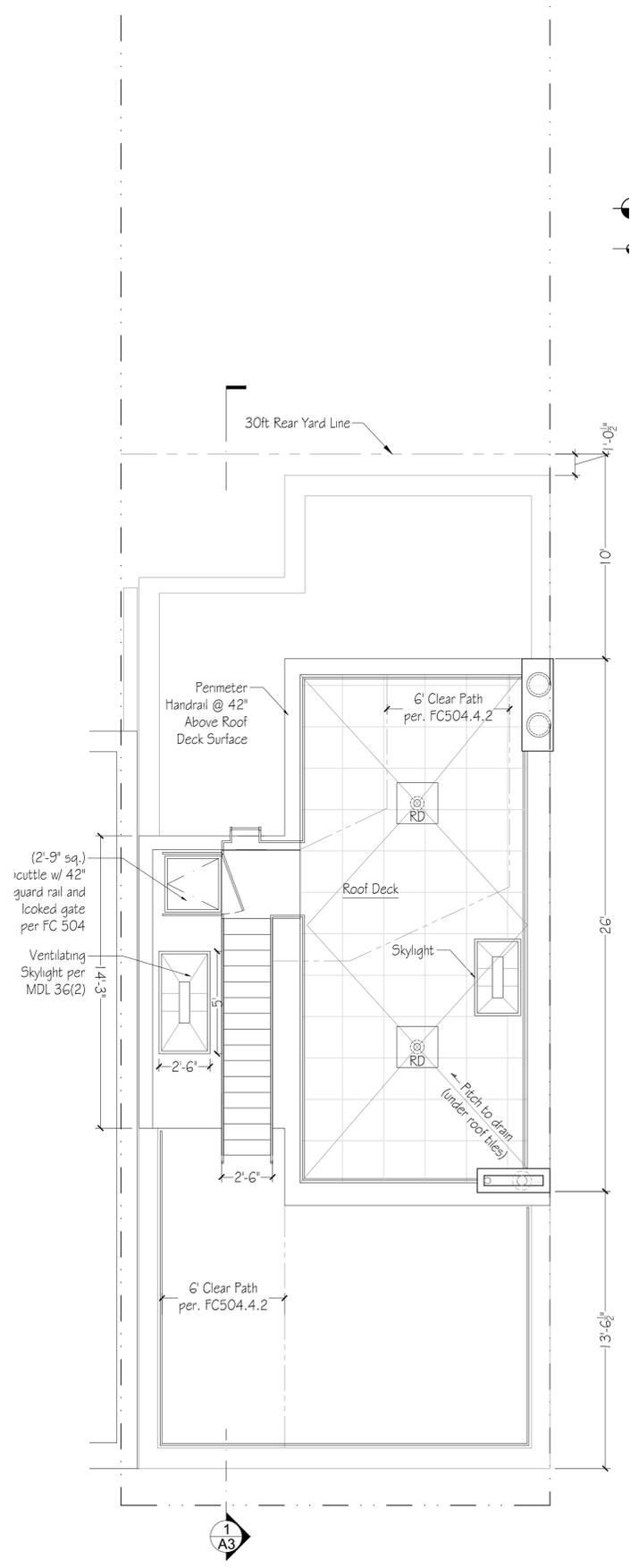
3 Second Floor Plan - Proposed  
1/4" = 1'-0"



1 Third Floor Plan - Proposed  
1/4" = 1'-0"



2 Fourth Floor Plan - Proposed  
1/4" = 1'-0"



3 Roof Plan - Proposed  
1/4" = 1'-0"

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1 Front (East) Elevation - Proposed  
 1/4" = 1'-0"

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REVISIONS:  
 ▲ LPC Submit 2015-12-08

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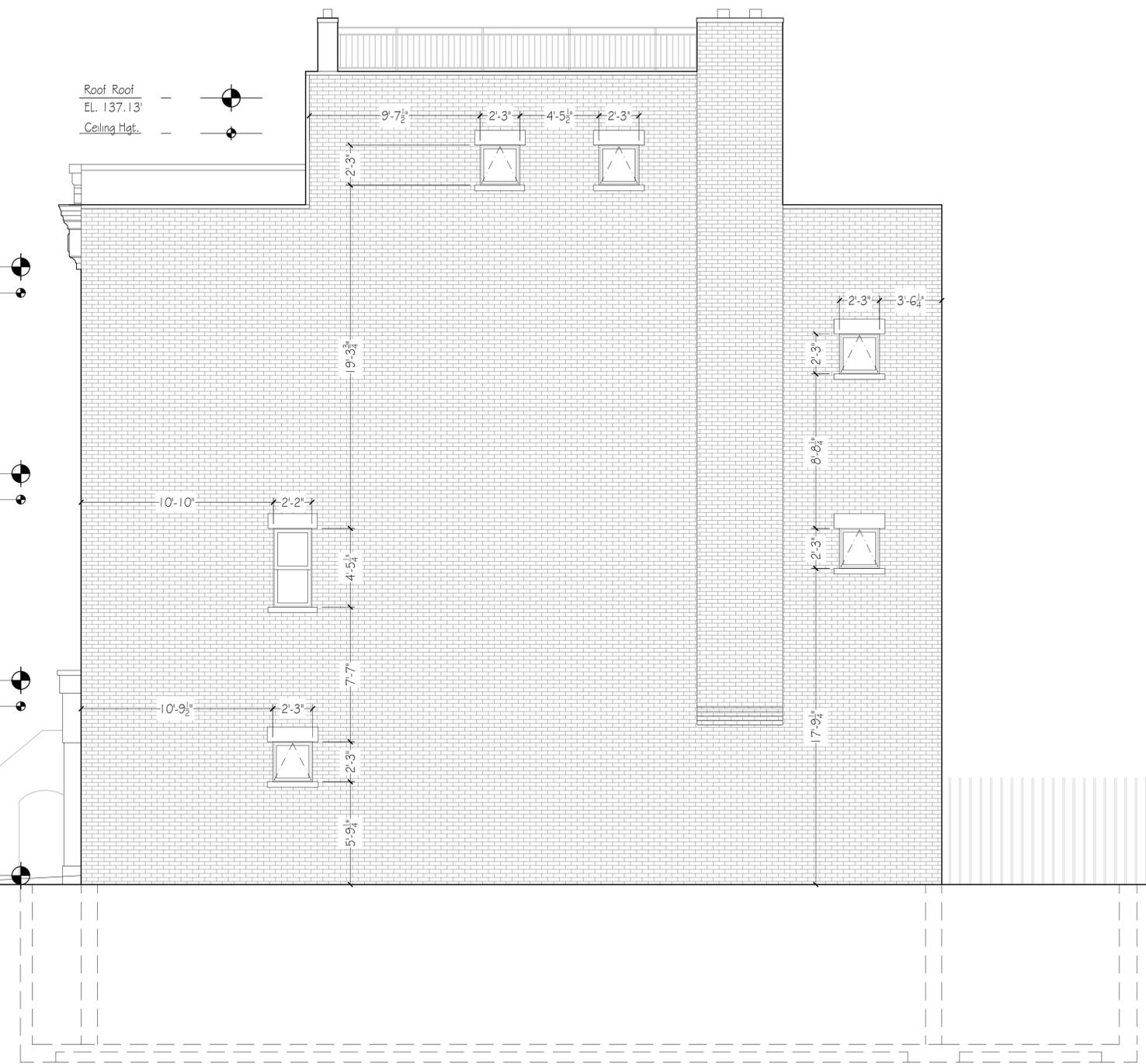
DRAWING TITLE:  
 Proposed Front Elevation

SEAL & SIGNATURE:

Lafayette Ave. ▸

ISSUE DATE:	Dec. 16, 2015
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TAX LOT:	26
ZONING MAP:	16C
ZONE:	R6B
START DATE:	May. 15, 2015
SHEET:	7 of 9

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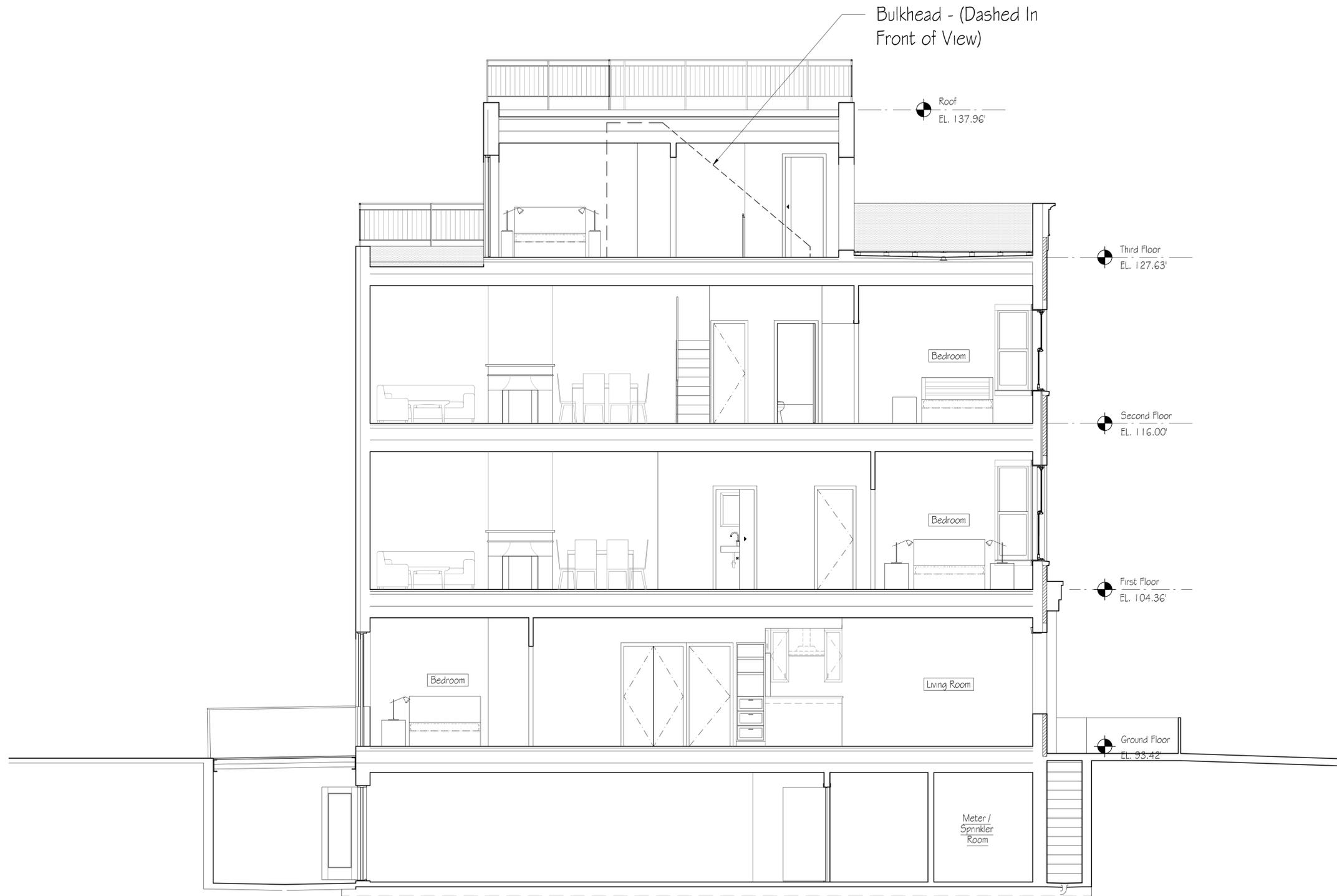


2 Side (North) Elevation - Proposed  
 1/4" = 1'-0"



2 Rear (West) Elevation - Proposed  
 1/4" = 1'-0"

348



① Longitudinal Section - Proposed  
 Scale: 1/4" = 1'-0"

REVISIONS:

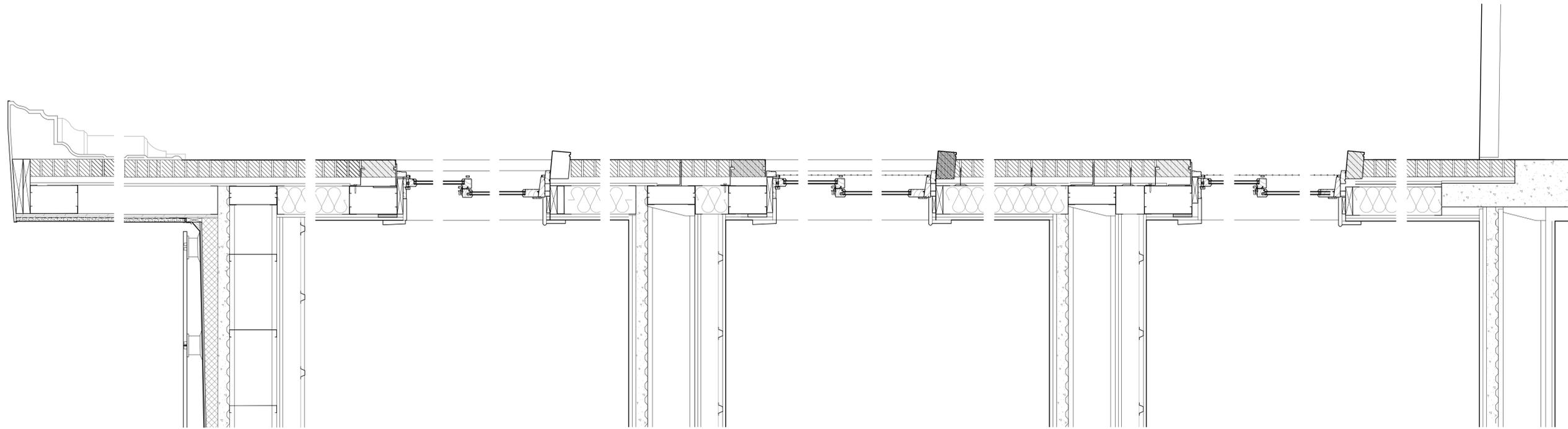
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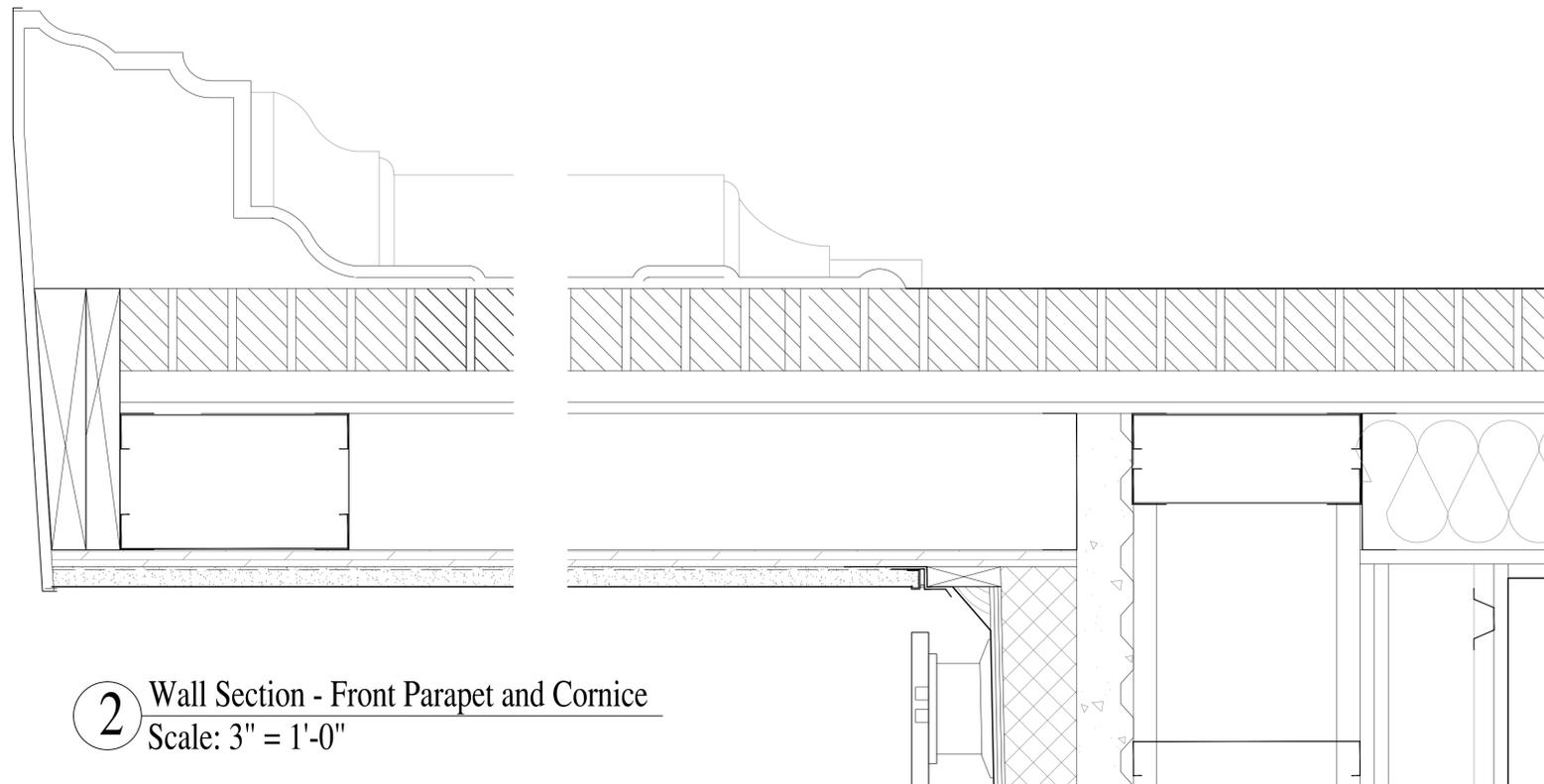
DRAWING TITLE:  
 Proposed Elevations

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**1** Wall Section @ Front Facade  
Scale: 1-1/2" = 1'-0"



**2** Wall Section - Front Parapet and Cornice  
Scale: 3" = 1'-0"

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L-009.00