



3 PHOTOS OF BLOCK CONTEXT
 NOT TO SCALE



4 EXISTING BLOCK ELEVATION
 1/8" = 1'-0"

317 WEST 11TH STREET AREA OF WORK



2 EXISTING GARDEN ELEVATION
 1/8" = 1'-0"

317 WEST 11TH STREET AREA OF WORK



1 PLOT PLAN
 1:150

No.	Date	Issued For	By
03	10/10/14	LANDMARKS BOARDS	SPAN
02	08/29/14	DOB FILING SET	SPAN
01	07/21/14	LANDMARKS FILING	SPAN

11th STREET TOWNHOUSE

317 West 11th Street
 New York, NY 10014

SITE CONTEXT

SCALE:	N/A	A-100.00
DATE:	10/10/14	
JOB INFO:	1405	
PAGE:	1 of 10	

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02	08/29/14	DOB FILING SET	SPAN
01	07/21/14	LANDMARKS FILING	SPAN

11th STREET TOWNHOUSE

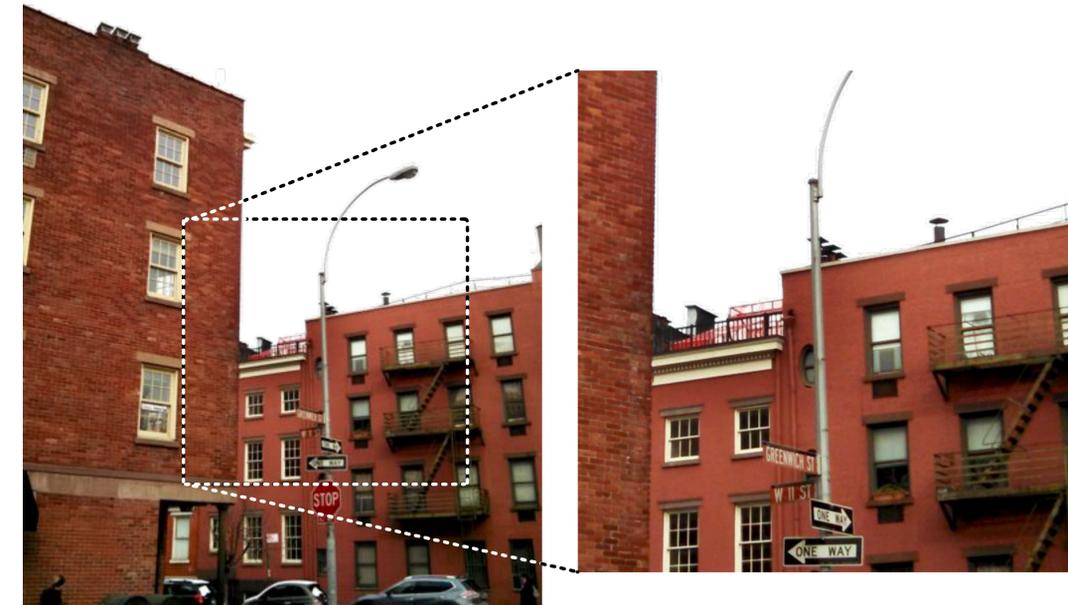
317 West 11th Street
 New York, NY 10014

SITE CONTEXT

SCALE:	N/A
DATE:	03/03/15
JOB INFO:	1405
PAGE:	2 of 10



5 BULKHEAD MOCKUP
 NTS



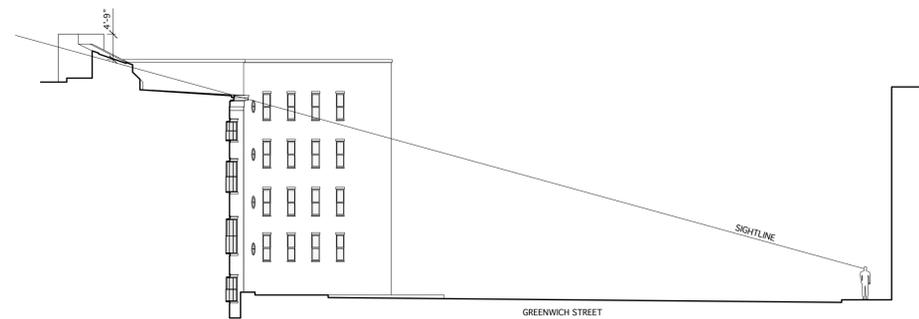
3 PHOTOS OF BLOCK CONTEXT - VIEW B
 NTS



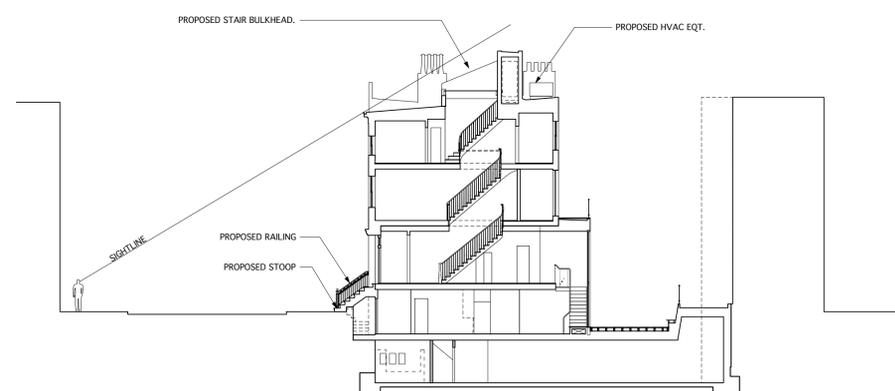
1 PHOTOS OF BLOCK CONTEXT - VIEW A
 NTS



6 BLOCK PLAN
 1" = 40'-0"



4 PROPOSED STREET SECTION - VIEW B
 1/16" = 1'-0"



2 PROPOSED STREET SECTION - VIEW A
 1/16" = 1'-0"

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11th STREET TOWNHOUSE

317 West 11th Street
 New York, NY 10014

SOUTH ELEVATION

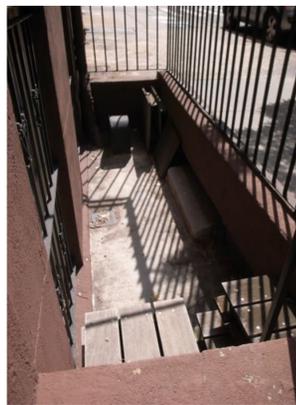
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DATE:	03/03/15	
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5 TAX PHOTO
NO SCALE



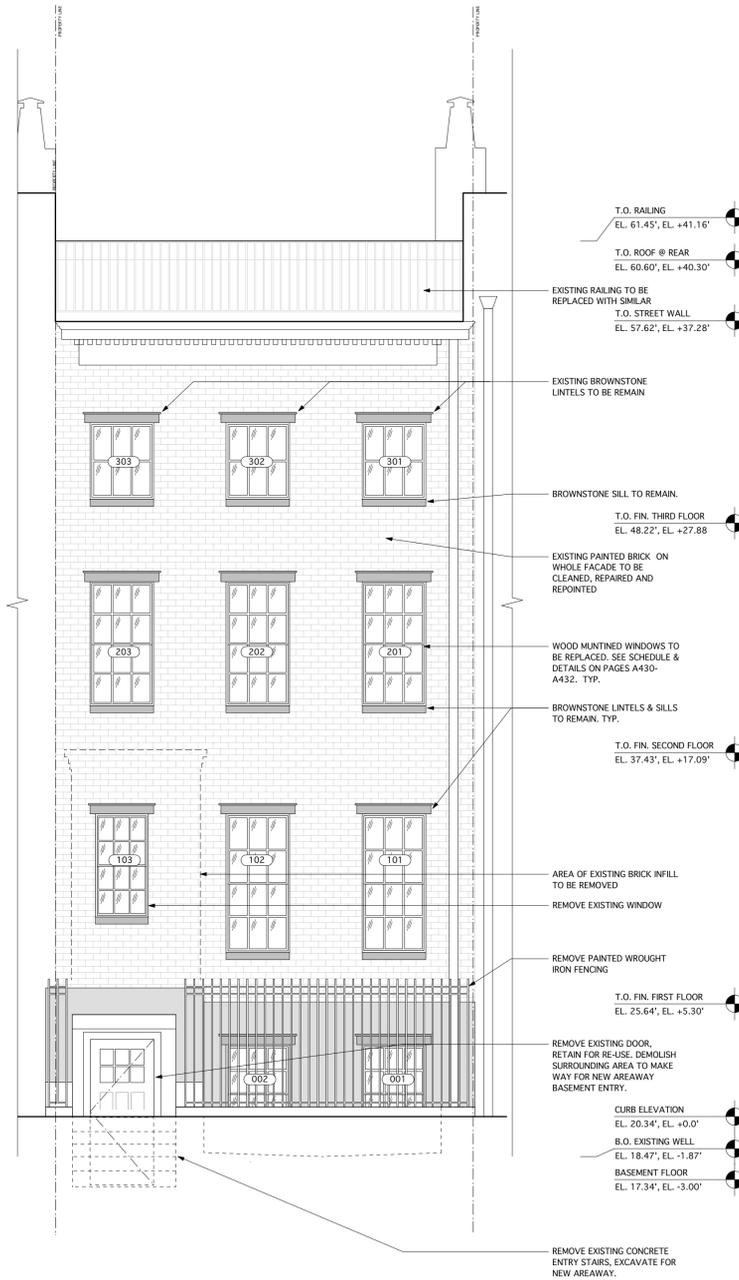
4 PHOTO OF BRICKED IN ENTRY
NO SCALE



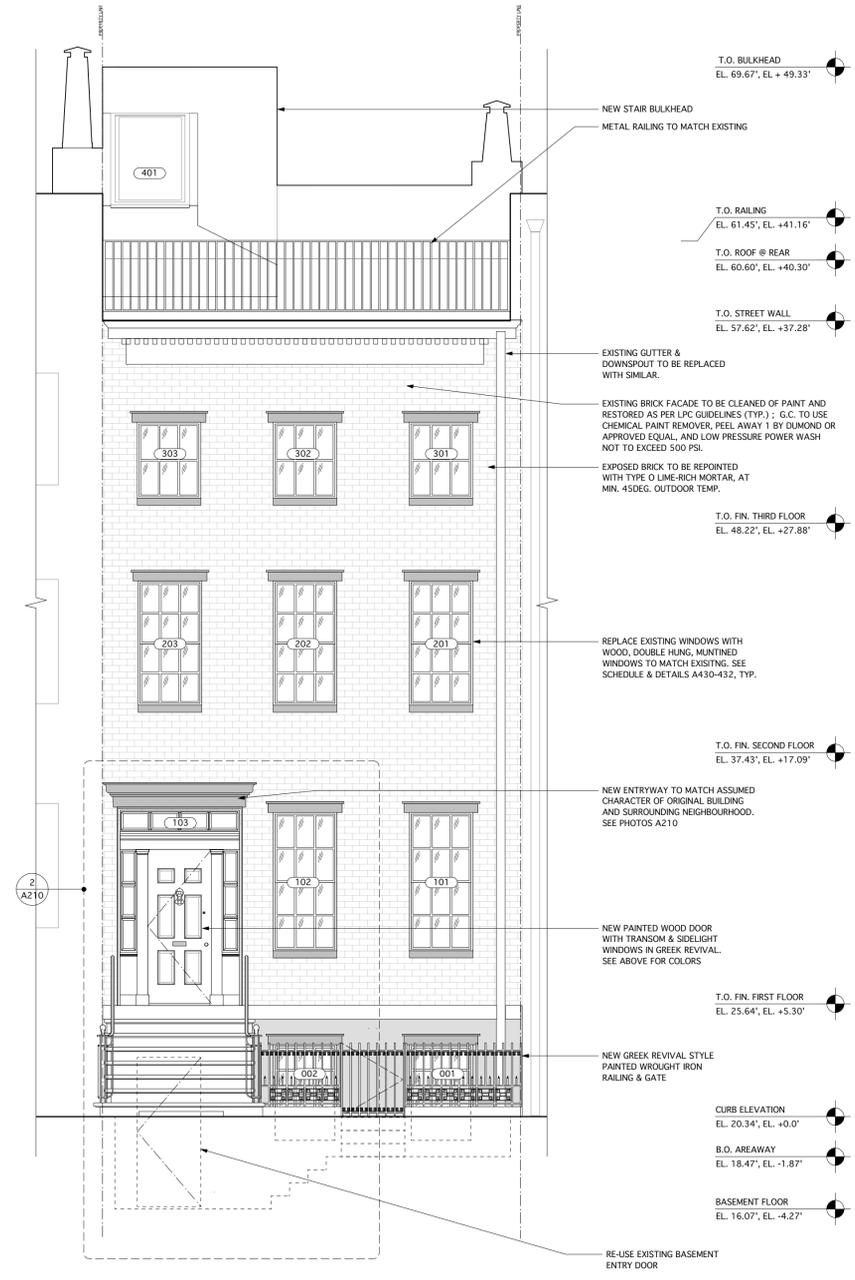
6 INTERIOR OF EXISTING WELL
NTS



3 PHOTOS - EXISTING CONDITIONS
NO SCALE



2 EXISTING SOUTH ELEVATION
1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
1/4" = 1'-0"

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01	07/21/14	LANDMARKS FILING	SPAN

11th STREET TOWNHOUSE

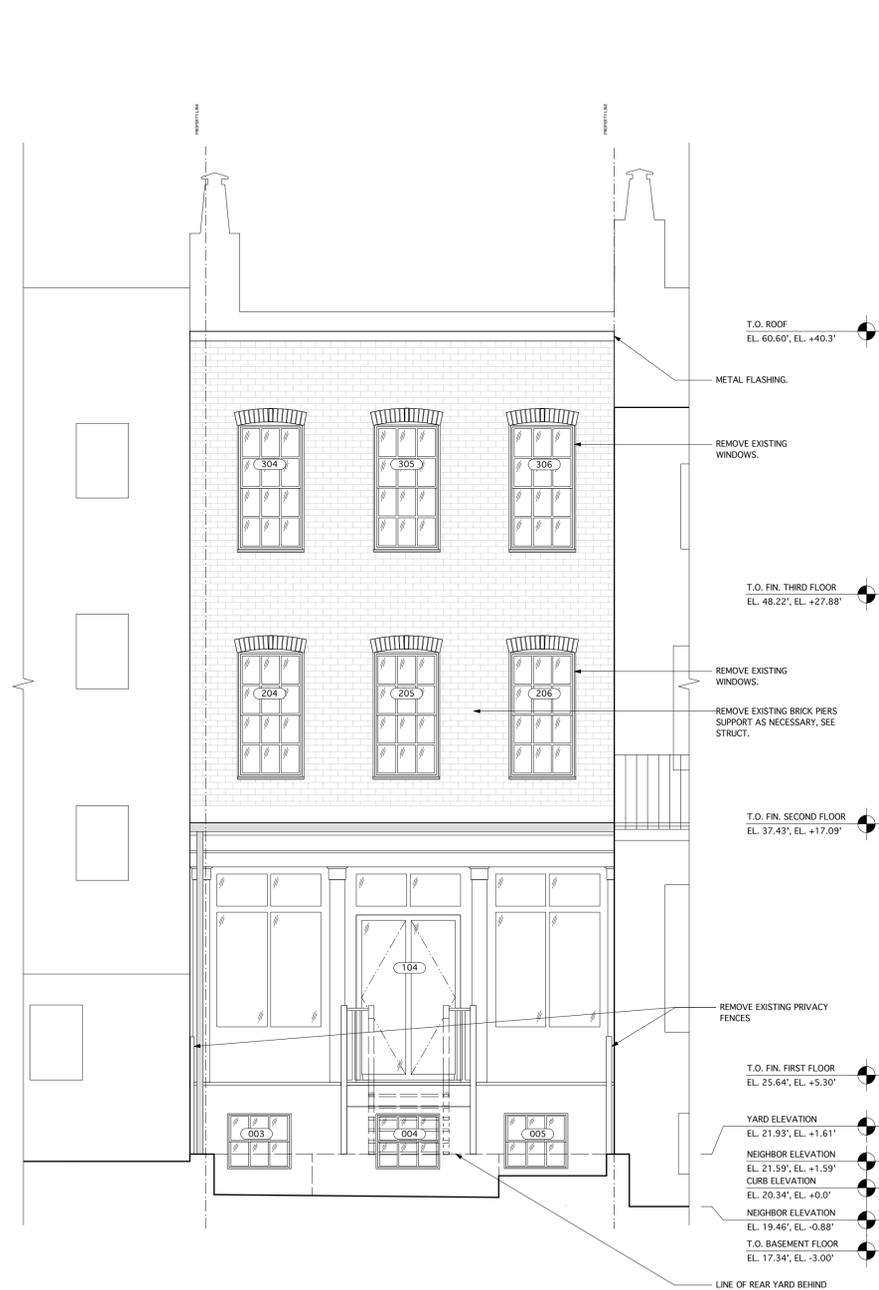
317 West 11th Street
 New York, NY 10014

NORTH ELEVATION

SCALE:	VARIES	A-201.00
DATE:	03/03/15	
JOB INFO:	1405	
PAGE:	4 of 10	



3 PHOTOS OF EXISTING BACKYARD CONDITIONS
 N.T.S.



2 EXISTING NORTH ELEVATION
 1/4" = 1'-0"



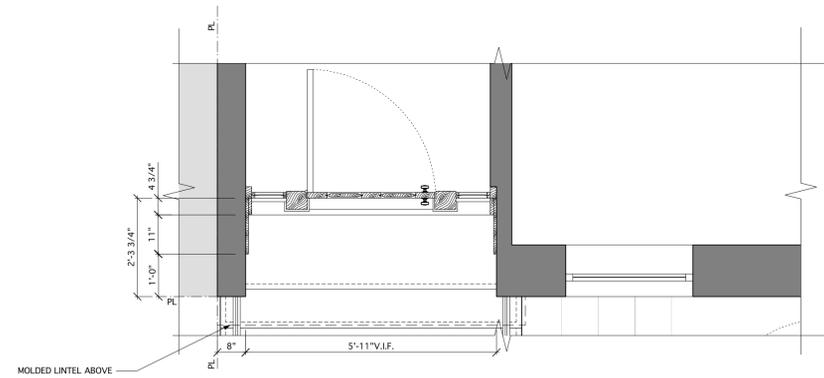
1 PROPOSED NORTH ELEVATION
 1/4" = 1'-0"



ENTRYWAY AT 312 WEST 11TH STREET



ENTRYWAY AT 318 WEST 11TH STREET



4 PROPOSED ENTRYWAY PLAN
1/2" = 1'-0"



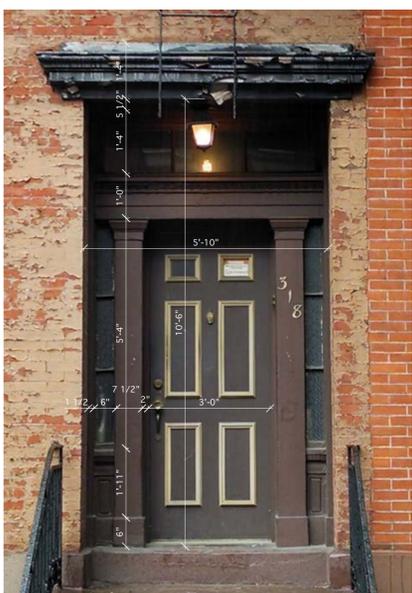
BENJAMIN MOORE FRENCH CANVAS
C1334 ENTRYWAY WOODWORK & WINDOW
FRAME COLOR THROUGHOUT

BENJAMIN MOORE BLACK NIGHT (2136-10)
PARLOR & BASEMENT ENTRY DOOR
LEAVES

6 PROPOSED PAINT COLORS
NTS

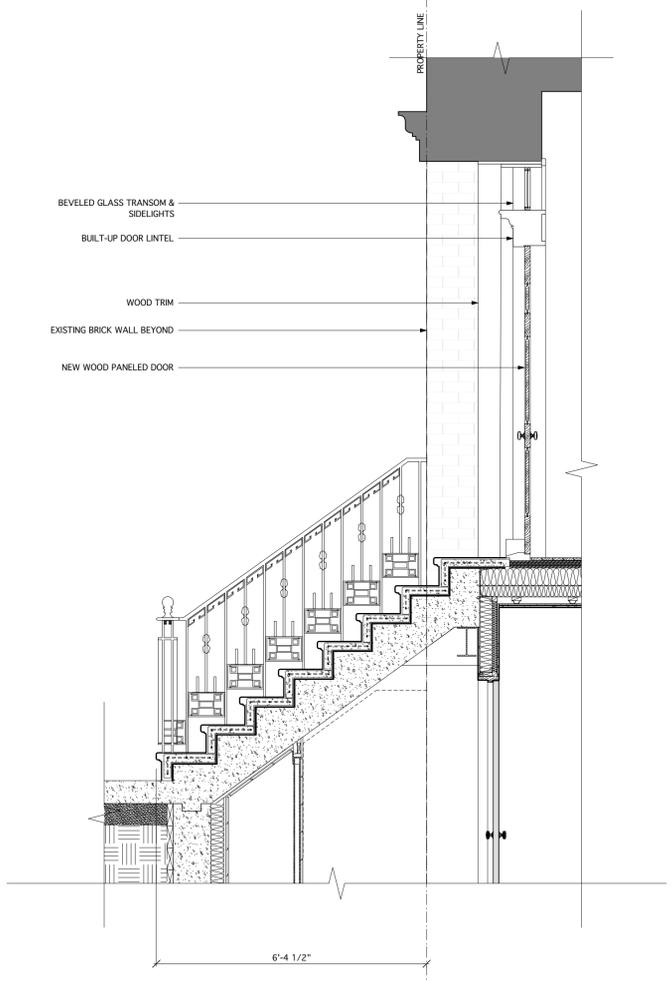


ENTRYWAY AT 312 WEST 11TH STREET

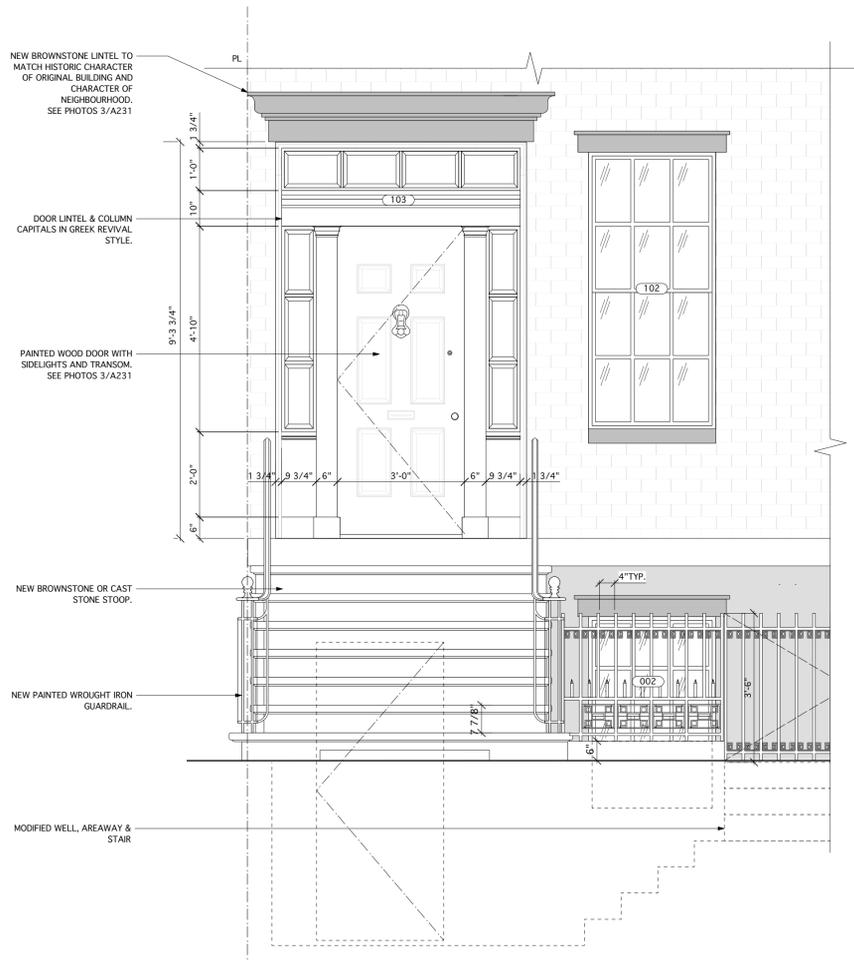


ENTRYWAY AT 318 WEST 11TH STREET

5 PRECEDENT ENTRYWAYS
N.T.S.



3 PROPOSED AREAWAY PLAN - BASEMENT LEVEL
1/2" = 1'-0"



2 PROPOSED STOOP ELEVATION
1/2" = 1'-0"

1 MODEL ENTRYWAYS
N.T.S.

Stoney Pelinski architects Neukomm LLC
11 Broadway, Suite 1500
New York, NY 10004
Tel. (212) 732-7012
Fax (212) 732-0121

Code Consultant
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299 Broadway, Suite 1420
New York, NY 10007
Tel. (212) 766-2115
Fax (212) 766-2787

Structural Engineer
Blue Sky Design, Inc.
121 West 27th Street, Ste 904
New York, NY 10001
Tel. (646) 230-9900

MEP Engineer
ABS Engineering, PLLC.
443 Park Ave. South, 3rd Floor
New York, NY 10016
Tel. (646) 600-8600

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11th STREET
TOWNHOUSE
317 West 11th Street
New York, NY 10014

STOOP &
AREAWAY
ELEVATIONS
SCALE: VARIES
DATE: 10/10/14
JOB INFO: 1405 A-210.00
PAGE: 5 of 10
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310 & 312 WEST 11TH



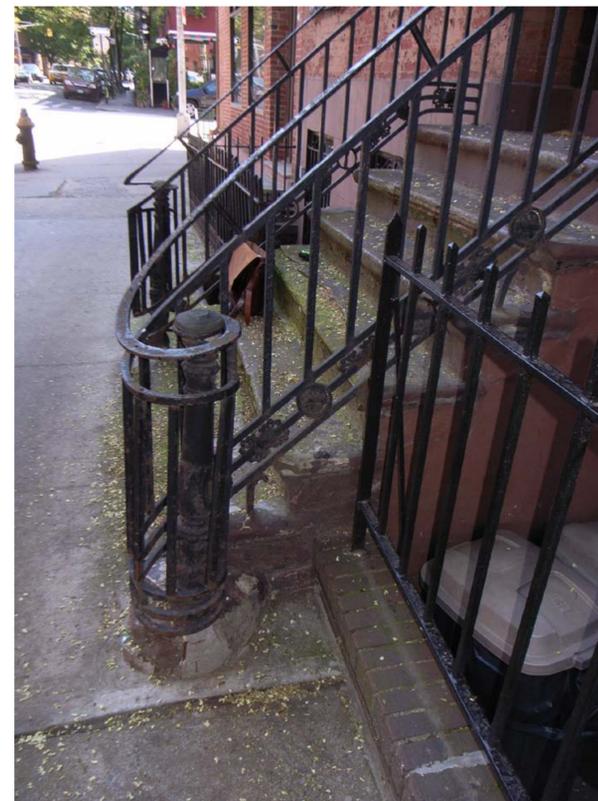
312 WEST 11TH



318 WEST 11TH



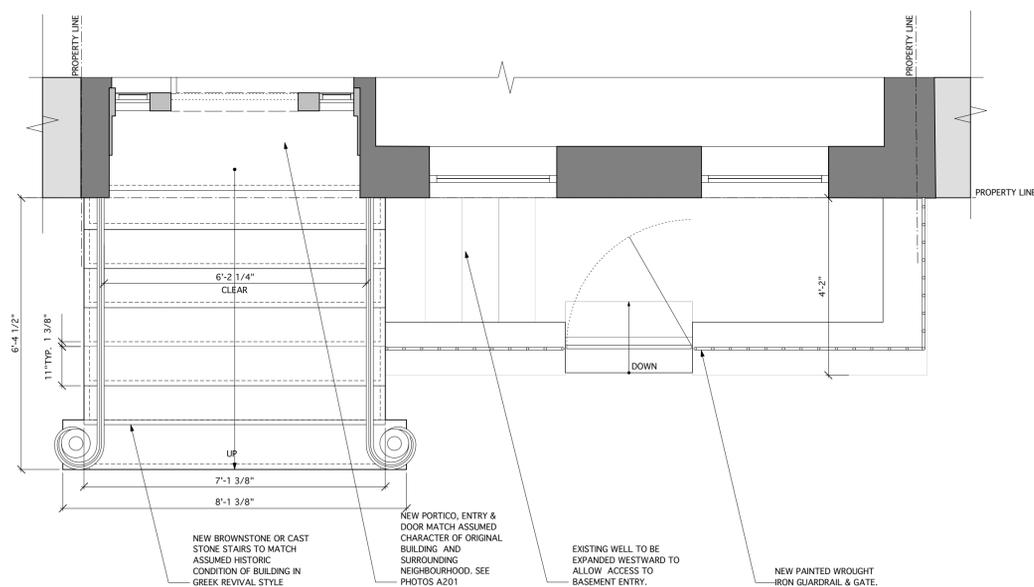
STOOP AT 28 BETHUNE STREET



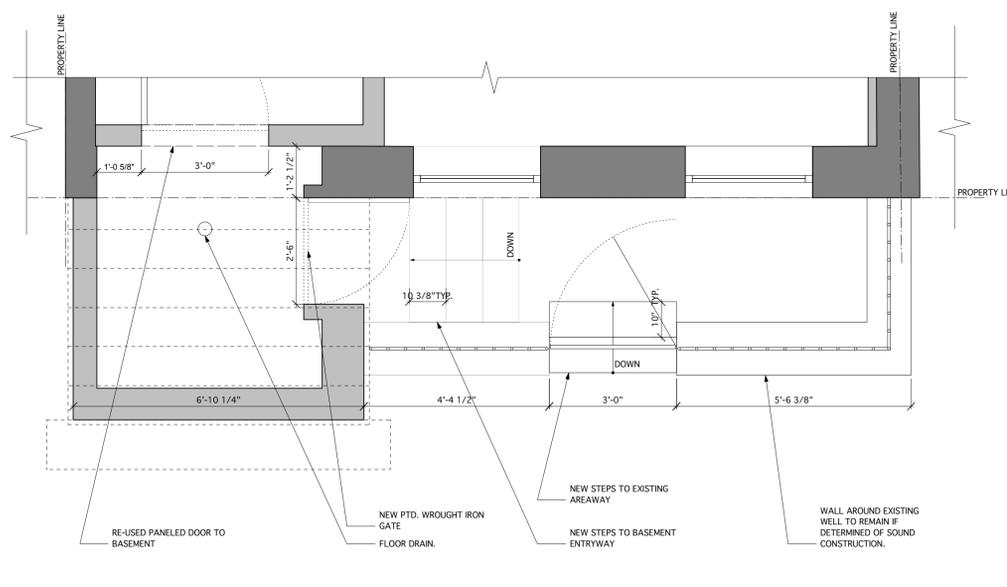
STOOP AT 318 WEST 11TH STREET

7 PHOTOS OF NEIGHBORHOOD STOOPS, AREAWAYS N.T.S.

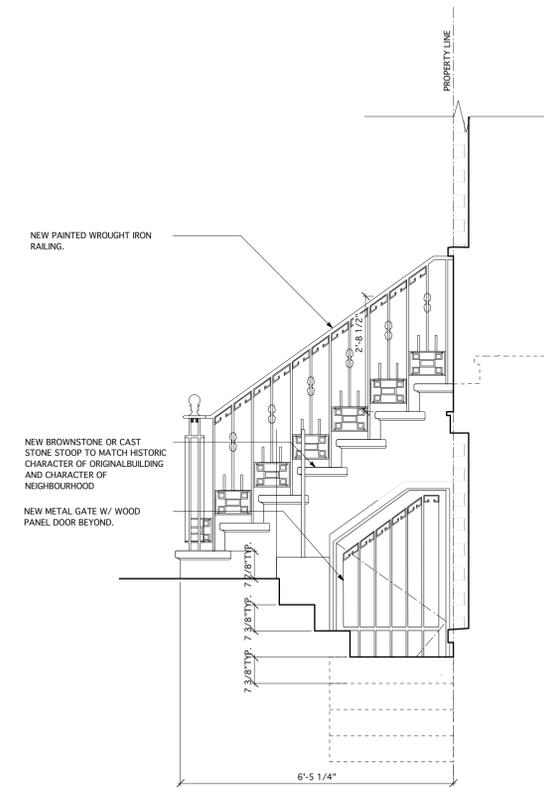
6 NEIGHBORHOOD RAILINGS N.T.S.



4 PROPOSED AREAWAY PLAN - FIRST FLOOR
 1/2" = 1'-0"



3 PROPOSED AREAWAY PLAN - BASEMENT LEVEL
 1/2" = 1'-0"



1 PROPOSED AREAWAY ELEVATION
 1/2" = 1'-0"

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11th STREET TOWNHOUSE
 317 West 11th Street
 New York, NY 10014

STOOP & AREAWAY

SCALE:	VARIES	
DATE:	10/10/14	A-211.00
JOB INFO:	1405	
PAGE:	6 of 10	

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01	07/21/14	LANDMARKS FILING	SPAN

11th STREET TOWNHOUSE

317 West 11th Street
 New York, NY 10014

BACK YARD ELEVATIONS

SCALE:	VARIES
DATE:	03/03/15
JOB INFO:	1405
PAGE:	7 of 10

A-212.00



6 TEA PORCHES, BRICKS & BROWNSTONE
 CHARLES LOCKWOOD, P.68



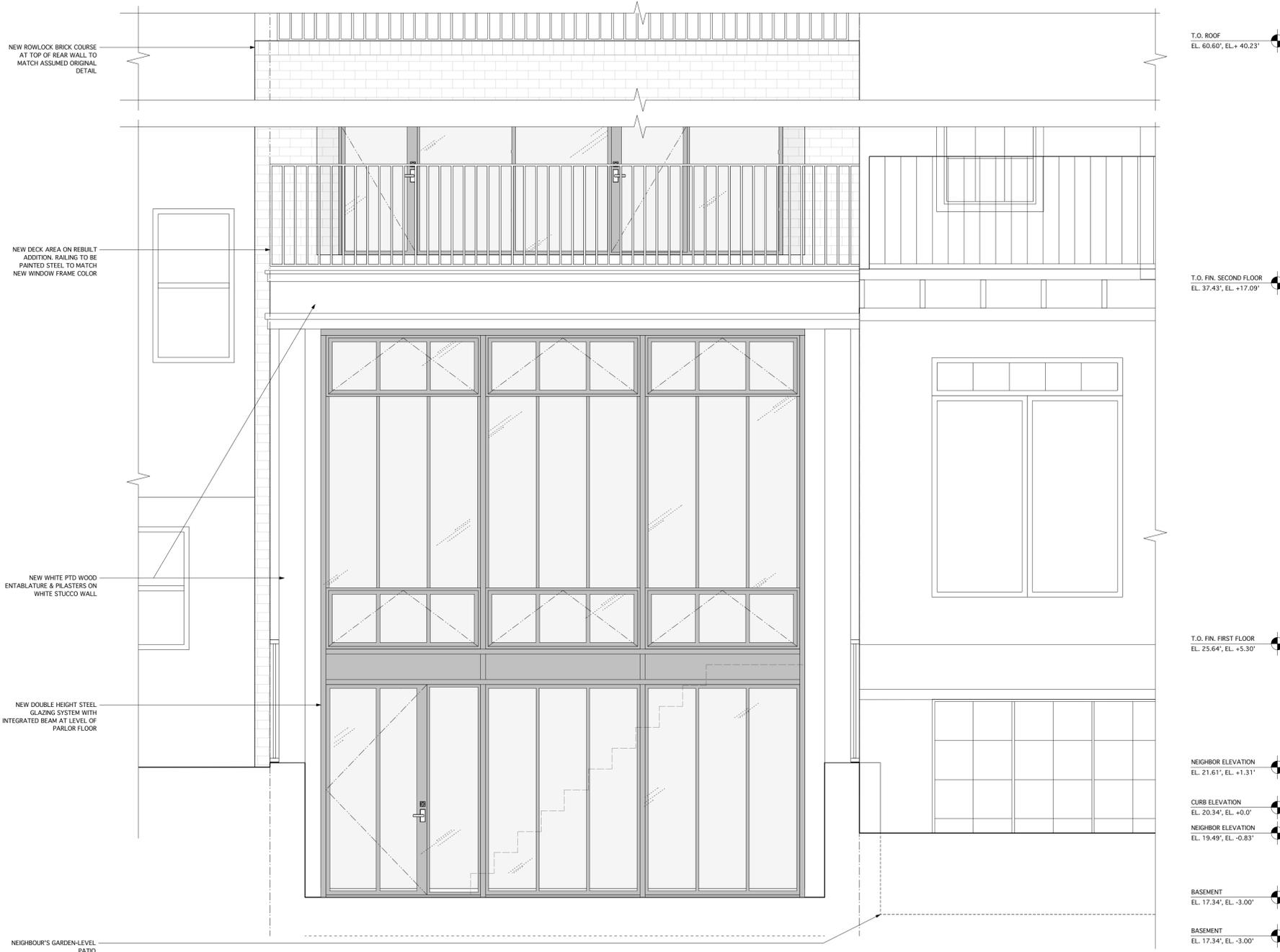
5 EXISTING YARD PAVING
 N.T.S.



4 1996 LPC FILE PHOTOS
 N.T.S.



3 EAST NEIGHBOUR NORTH ELEVATION
 N.T.S.



2 PROPOSED NORTH ELEVATION
 1/2" = 1'-0"



1 WEST NEIGHBOUR NORTH ELEVATION
 N.T.S.

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11th STREET TOWNHOUSE

317 West 11th Street
 New York, NY 10014

BACK YARD ELEVATIONS

SCALE:	VARIABLE	
DATE:	10/10/14	A-212.00
JOB INFO:	1405	
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3 EAST NEIGHBOR
 N.T.S.



A. SECOND FLOOR NORTH INTERIOR WALL PROBE.

2 WYTHE BRICK WALL WITH WOOD & INSULATION AT SECOND FLOOR. WALL REBUILT PER 1996 PERMIT.



B. PORCH NORTH INTERIOR WALL PROBE.



C. PORCH FLOOR PROBE.

PARGED WOOD PIER, ASSUMED HISTORICAL ELEMENT CONDITION DAMAGED AND DETERIORATED.

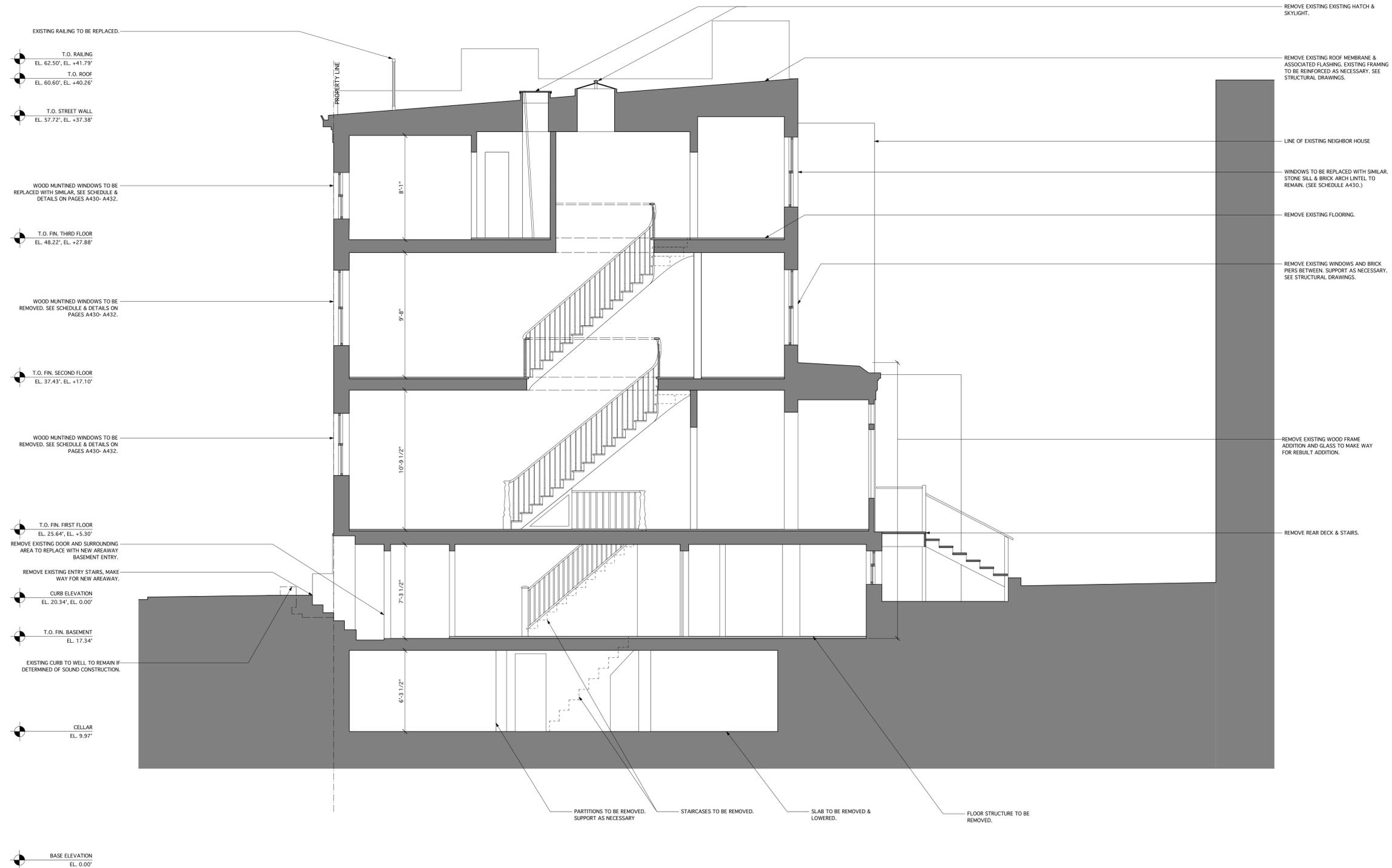
PAINTED WIDE BOARD WOOD FLOOR STRUCTURE, ASSUMED HISTORICAL ELEMENT IN DETERIORATED CONDITION.

2 PROBES
 N.T.S.



1 WEST ADJACENCIES
 N.T.S.

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1 EXISTING BUILDING SECTION
 1/4" = 1'-0"

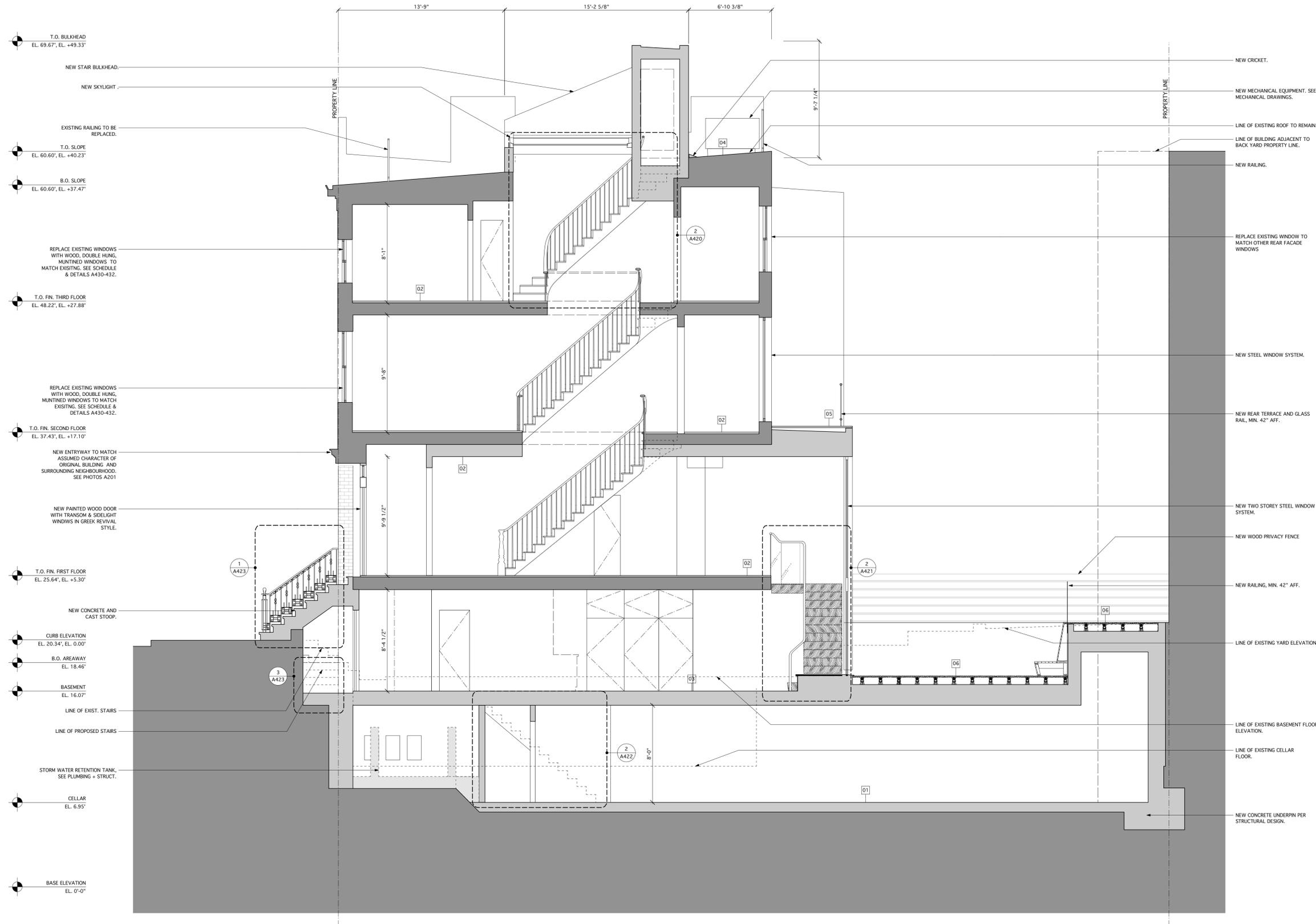
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01	07/21/14	LANDMARKS FILING	SPAN

11th STREET TOWNHOUSE

317 West 11th Street
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EXISTING BUILDING SECTION

SCALE:	1/4" = 1'-0"	A-300.00
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01	07/21/14	LANDMARKS FILING	SPAN

11th STREET TOWNHOUSE

317 West 11th Street
New York, NY 10014

PROPOSED BUILDING SECTION

SCALE:	1/4" = 1'-0"	A-301.00
DATE:	03/03/15	
JOB INFO:	1405	
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1 PROPOSED BUILDING SECTION
1/4" = 1'-0"

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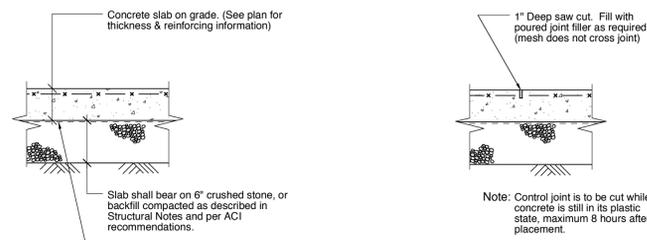
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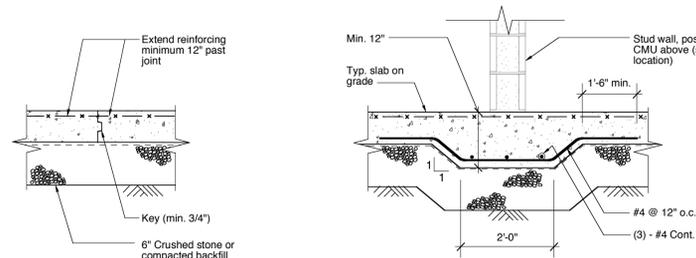
TYPICAL SECTIONS & DETAILS

SCALE:	AS NOTED
DATE:	07/21/14
BSD JOB INFO:	14080
PAGE:	2 OF 15



Typical Slab

Control Joint



Construction Joint

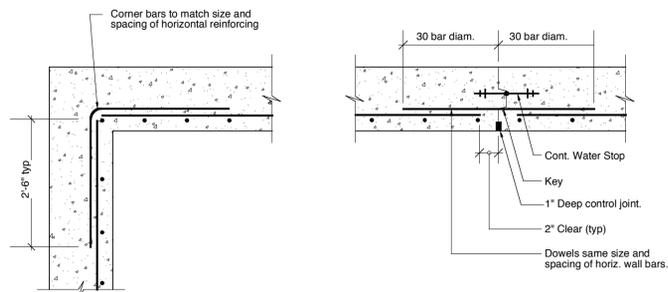
Thickened Slab

Typical Slab on Grade Details

Scale: N.T.S.

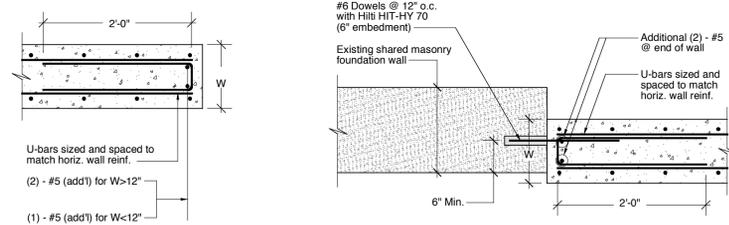
151

FO102



Corner

Construction Joint



End

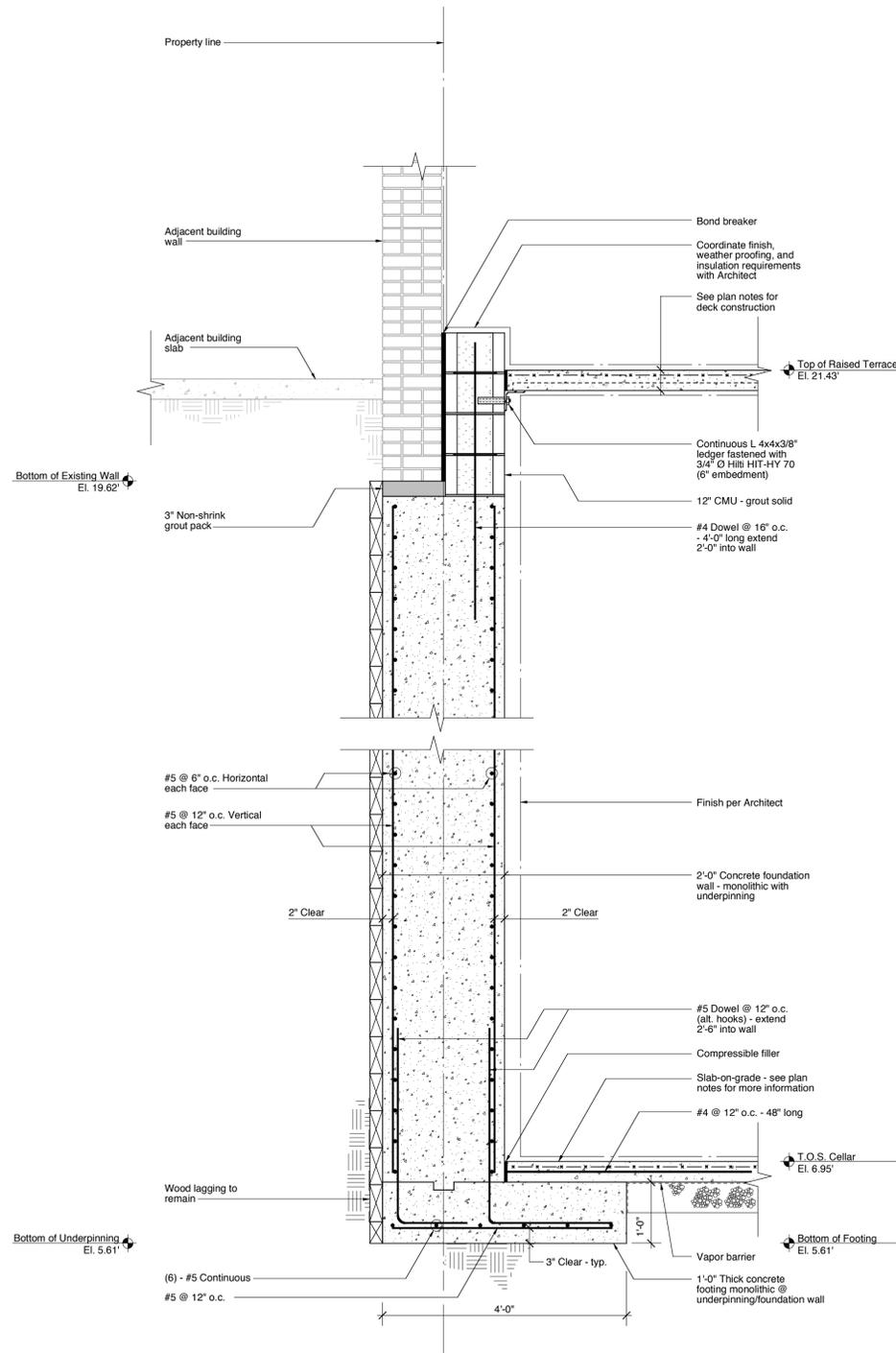
End @ Existing Wall

Typical Concrete Wall Details

Scale: N.T.S.

152

FO102

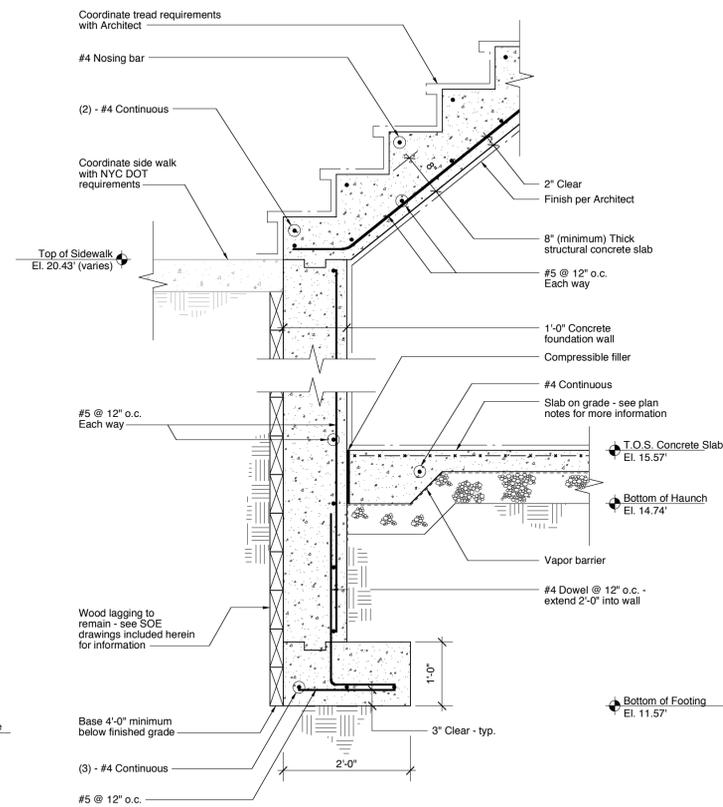


Section

Scale: 3/4" = 1'-0"

101

FO102

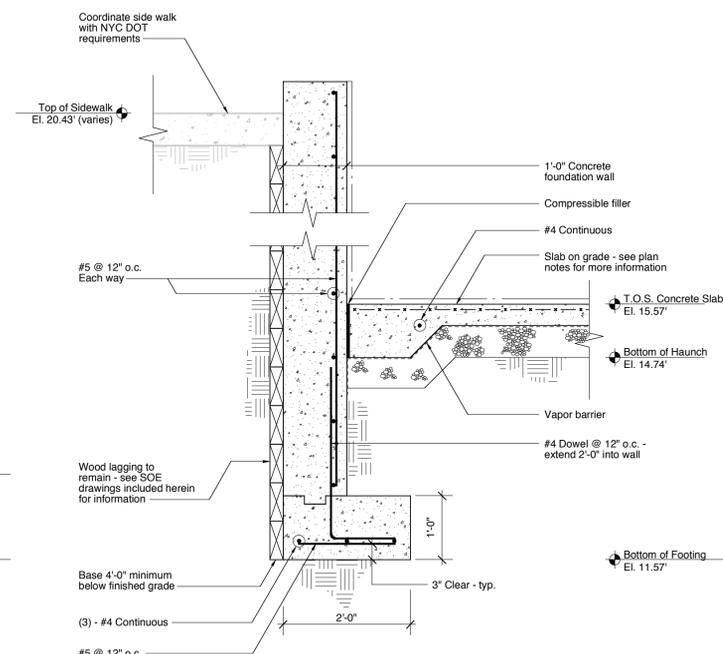


Section

Scale: 3/4" = 1'-0"

101A

FO102

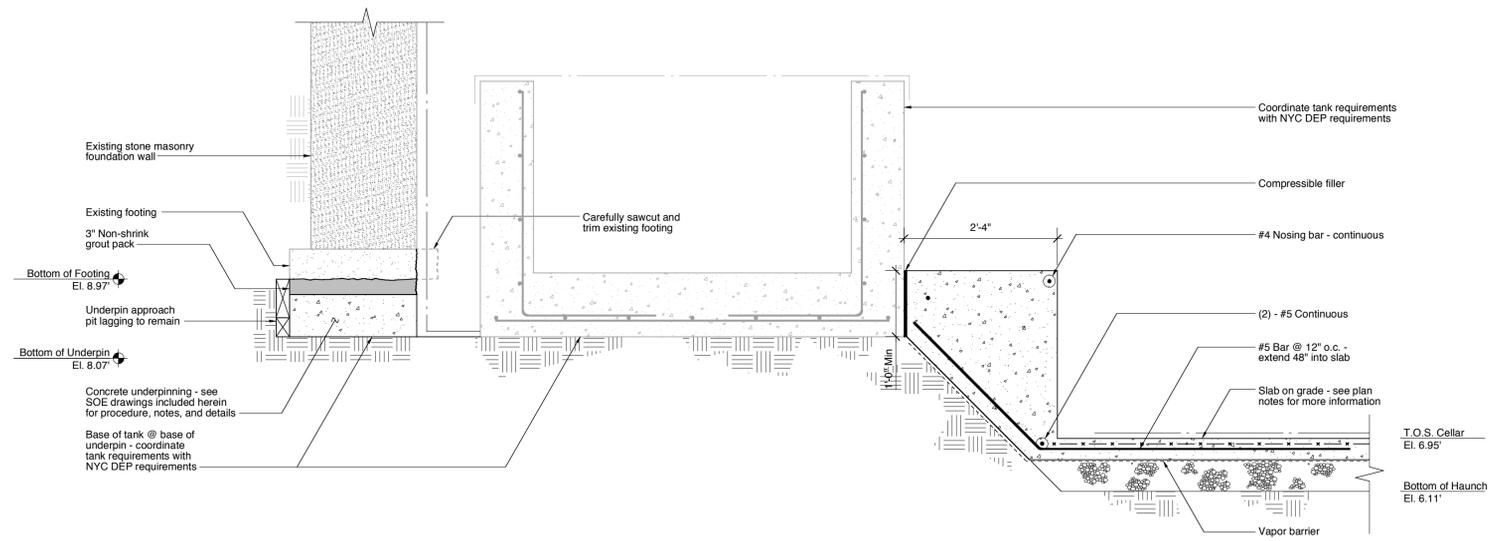


Section

Scale: 3/4" = 1'-0"

101B

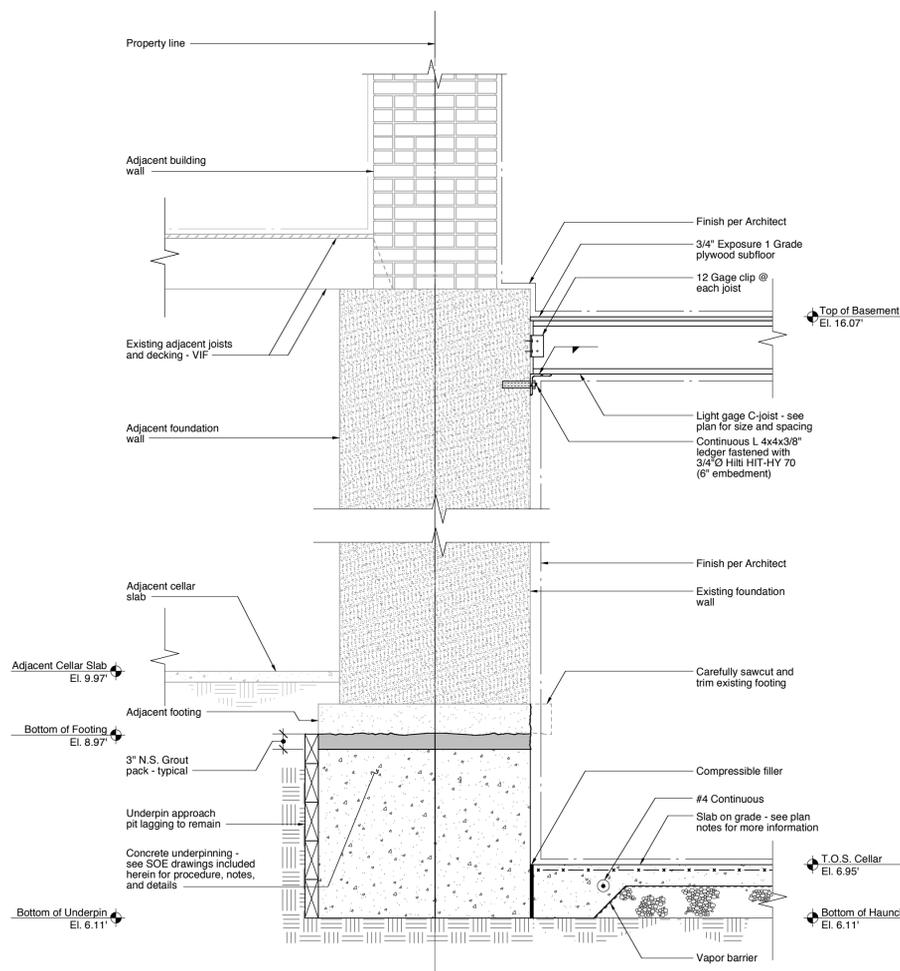
FO102



Section

Scale: 3/4" = 1'-0"

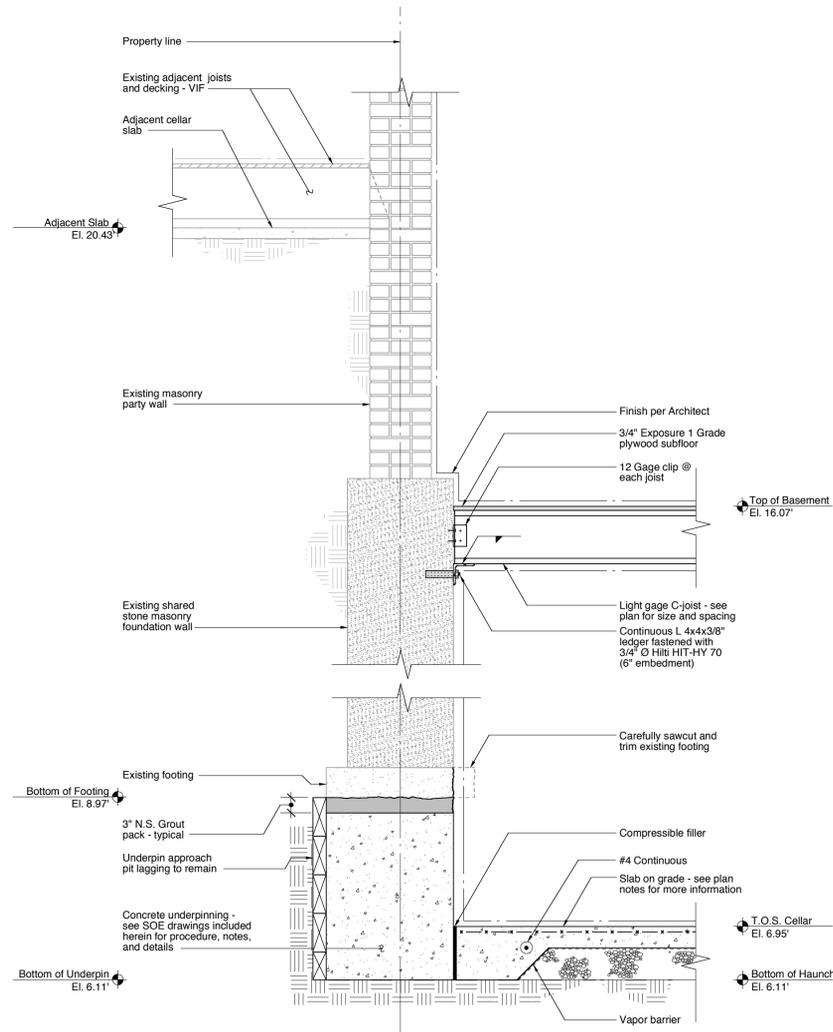
104A
FO103



Section

Scale: 3/4" = 1'-0"

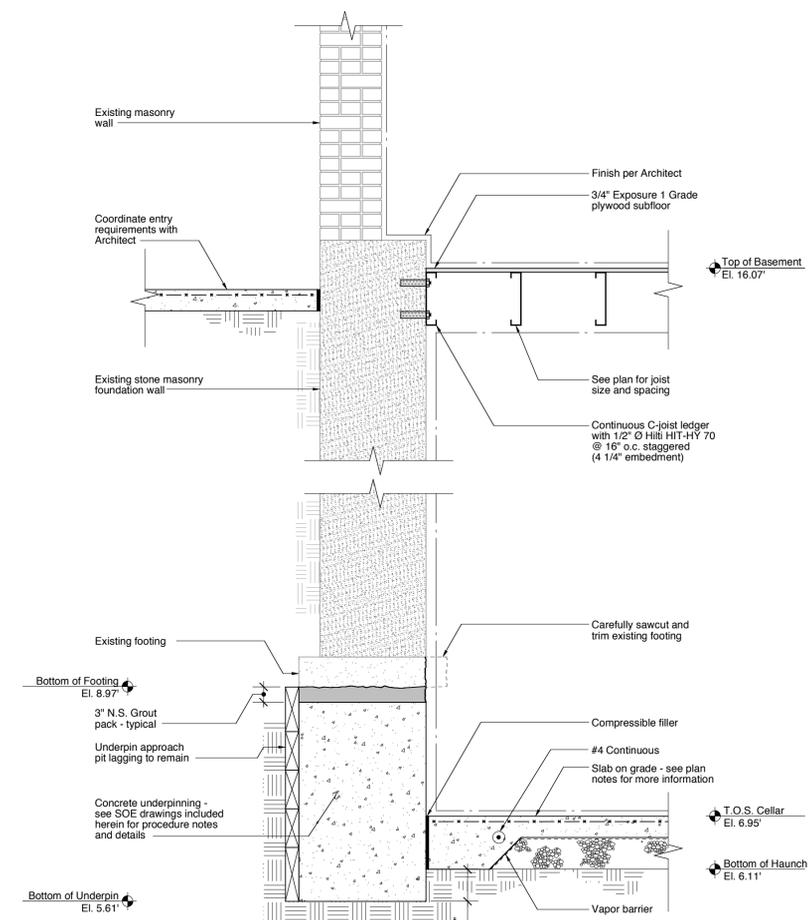
102
FO103



Section

Scale: 3/4" = 1'-0"

103
FO103



Section

Scale: 3/4" = 1'-0"

104
FO103

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11th STREET TOWNHOUSE

317 West 11th Street
 New York, NY 10014

TYPICAL SECTIONS & DETAILS

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FO-103.00

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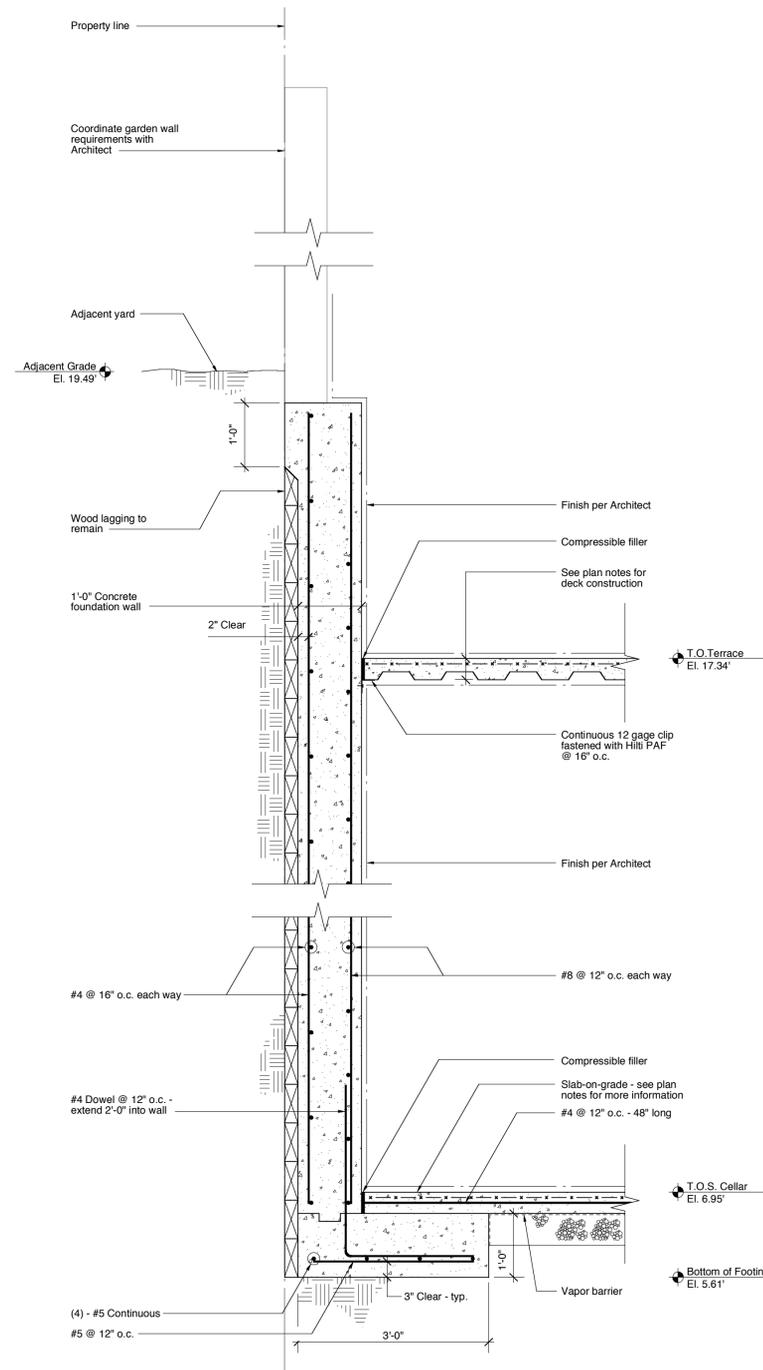
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11th STREET TOWNHOUSE

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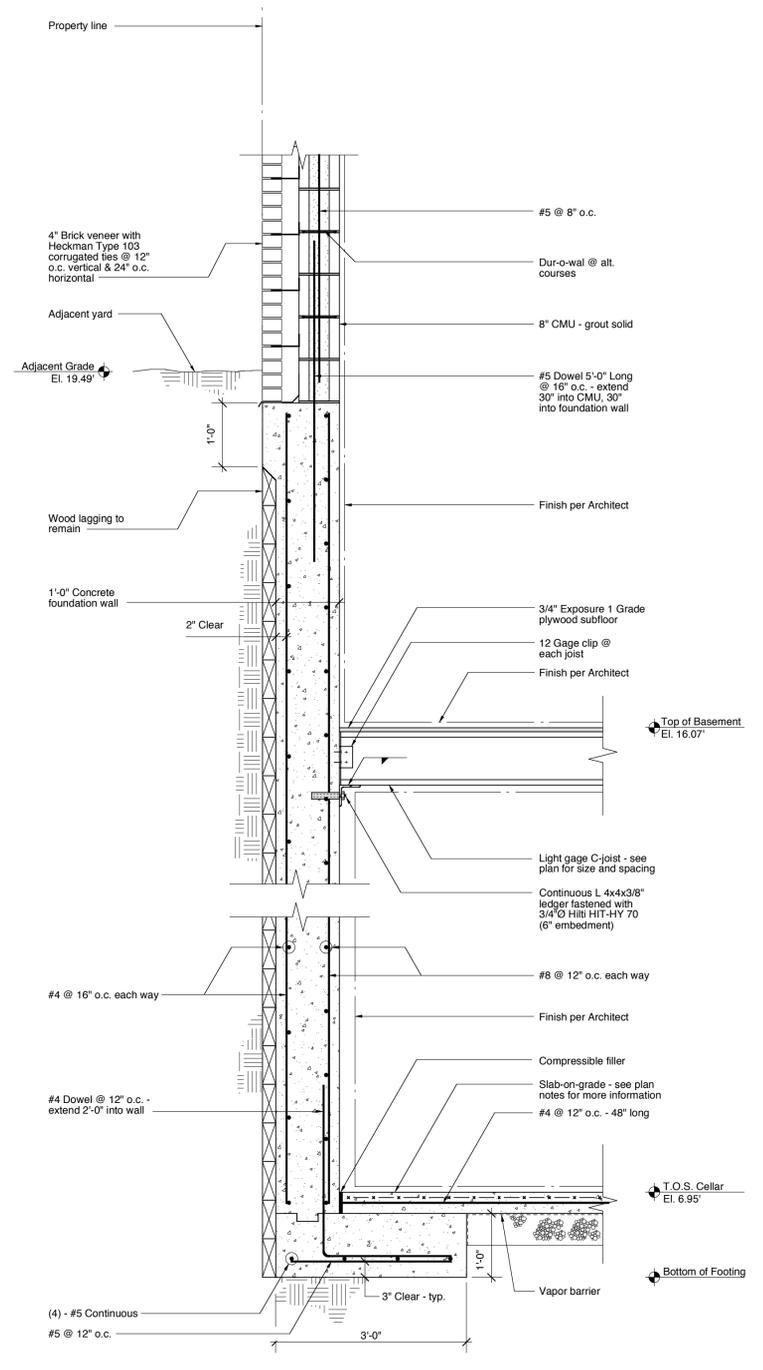
TYPICAL SECTIONS & DETAILS

SCALE:	AS NOTED
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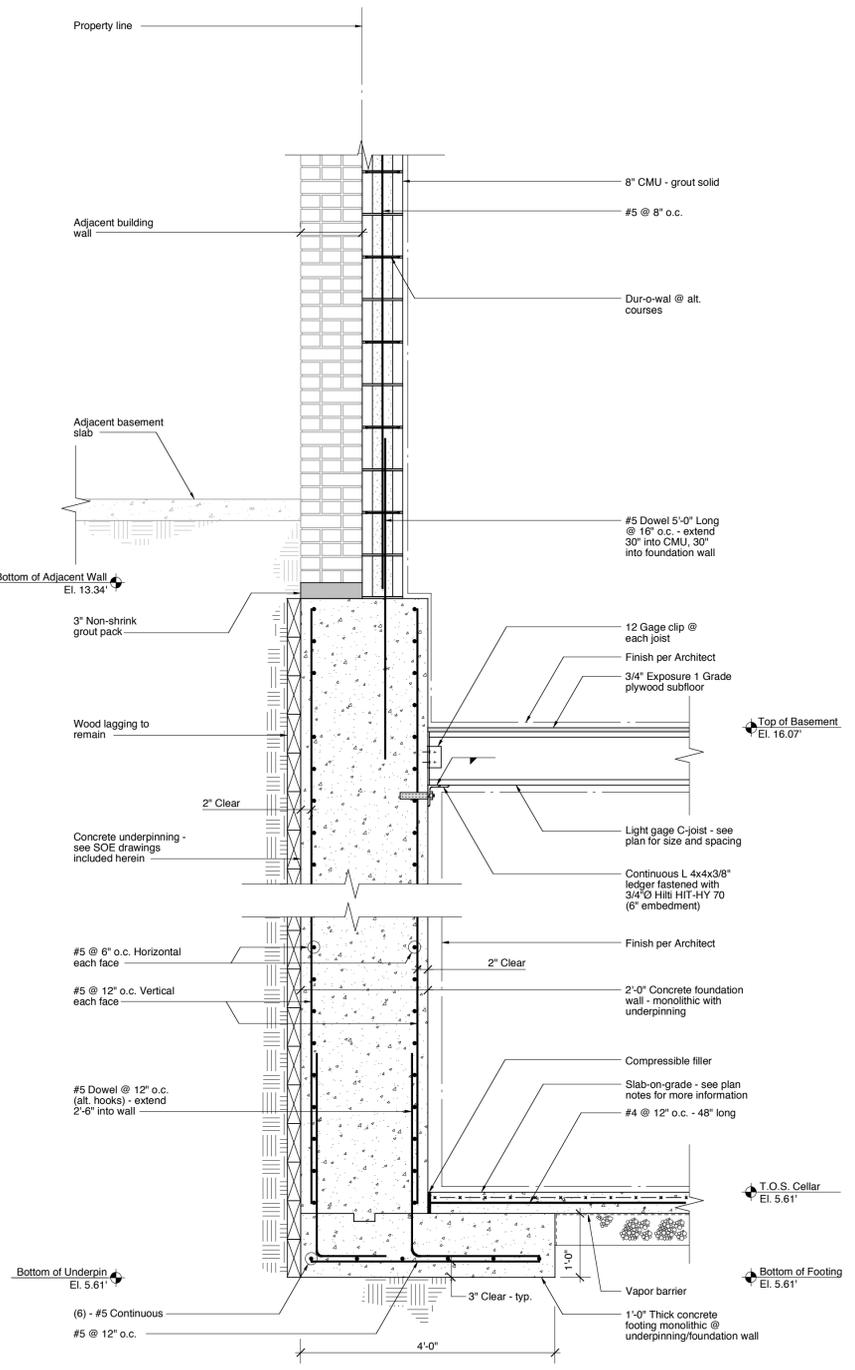
Section
 Scale: 3/4" = 1'-0"

105
 FO104



Section
 Scale: 3/4" = 1'-0"

106
 FO104



Section
 Scale: 3/4" = 1'-0"

107
 FO104

No.	Date	Issued For	By
03	10/08/14	LPC REVIEW	KC
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01	07/25/14	PROGRESS SET	KC
			By

11th STREET TOWNHOUSE
 317 West 11th Street
 New York, NY 10014

SECOND AND THIRD FLOOR FRAMING PLANS

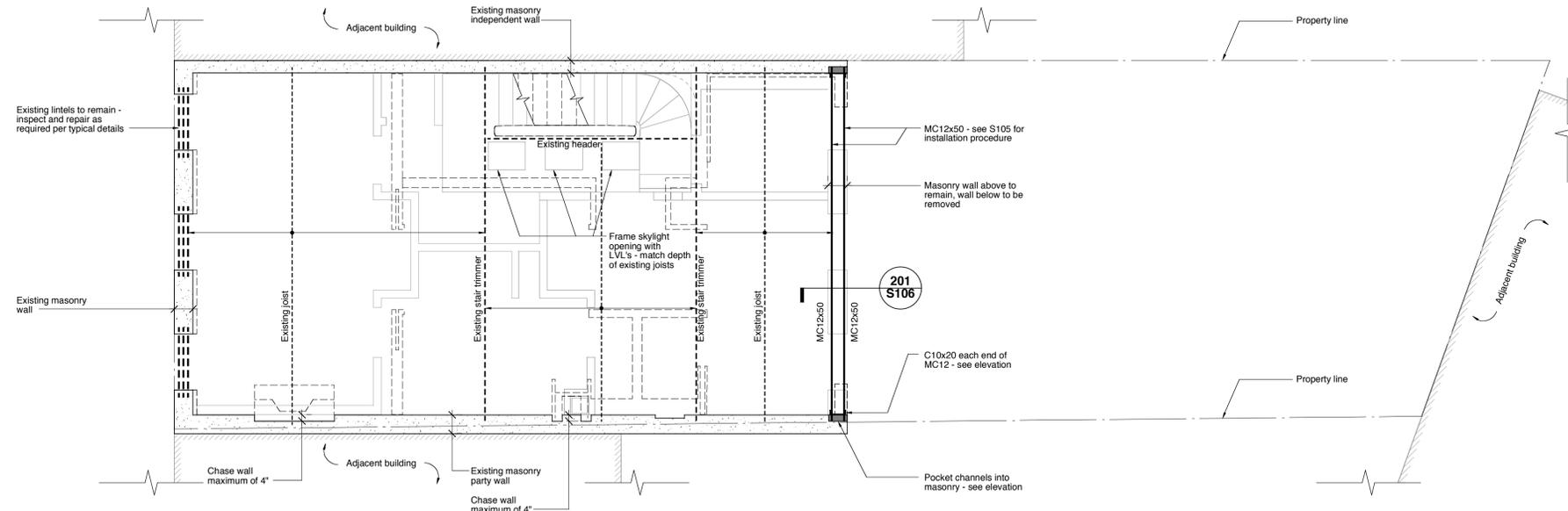
SCALE:	AS NOTED	S-102.00
DATE:	07/21/14	
BSD JOB INFO:	14080	
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3rd Floor Framing Plan

Scale: 1/4" = 1'-0"

NOTES:

- Coordinate all dimensions and elevations with Architectural Drawings and field conditions, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
- Verify elevations with Architect.
- Typical new floor deck where required shall be 3/4" T&G Exposure 1 Grade plywood sheathing.
- Refer to Structural Notes FO101 for additional information.
- Denotes Architectural plan below, refer to Architectural Drawings for layout.
 - - - - - Denotes Architectural plan above, refer to Architectural Drawings for layout.
- All framing shown shall be new U.N.O.
- Stairs shall be engineered and detailed by stair fabricator. Drawings shall be submitted signed by licensed Architect or Engineer for review by Blue Sky.
- Where replacing existing joists with new, use 1 3/4" wide LVL of typical joist depth in that area.

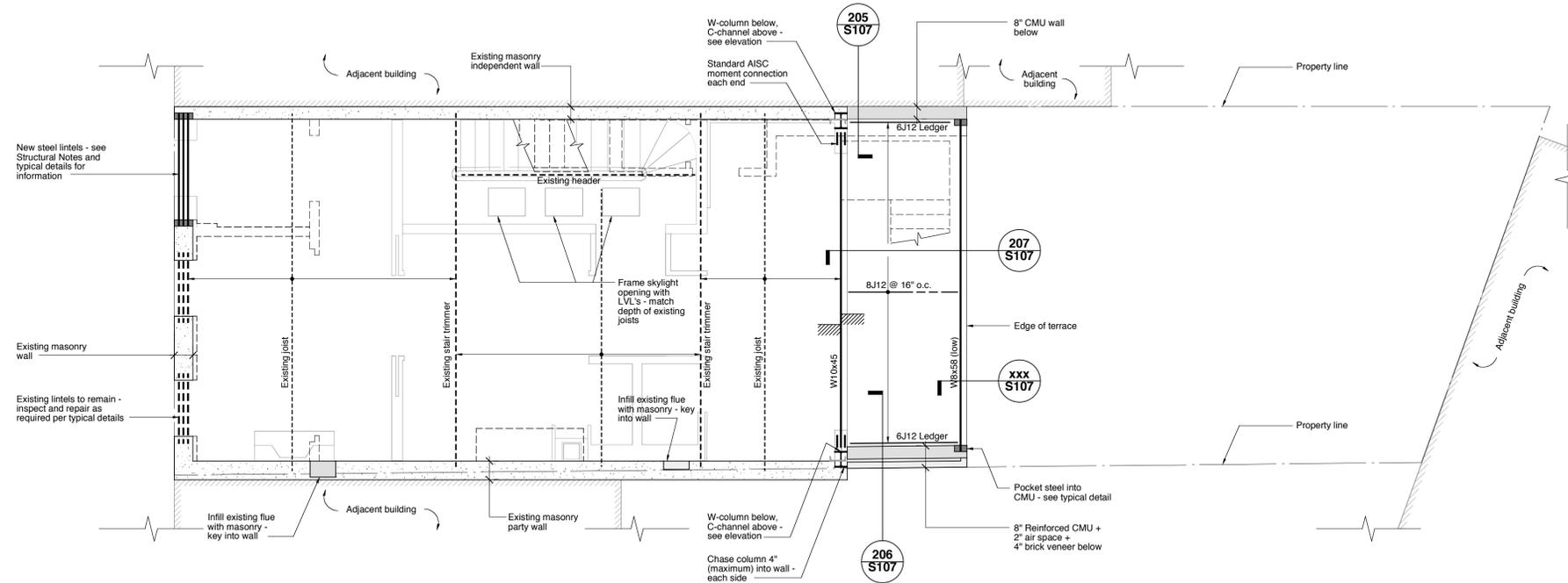


2nd Floor Framing Plan

Scale: 1/4" = 1'-0"

NOTES:

- Coordinate all dimensions and elevations with Architectural Drawings and field conditions, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
- Verify elevations with Architect.
- Typical new floor deck where required shall be 3/4" T&G Exposure 1 Grade plywood sheathing.
- Refer to Structural Notes FO101 for additional information.
- Denotes Architectural plan below, refer to Architectural Drawings for layout.
 - - - - - Denotes Architectural plan above, refer to Architectural Drawings for layout.
- All framing shown shall be new U.N.O.
- Stairs shall be engineered and detailed by stair fabricator. Drawings shall be submitted signed by licensed Architect or Engineer for review by Blue Sky.
- Where replacing existing joists with new, use 1 3/4" wide LVL of typical joist depth in that area.
- Denotes standard AISC moment connection.



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11th STREET TOWNHOUSE

317 West 11th Street
 New York, NY 10014

ROOF AND BULKHEAD ROOF FRAMING PLANS

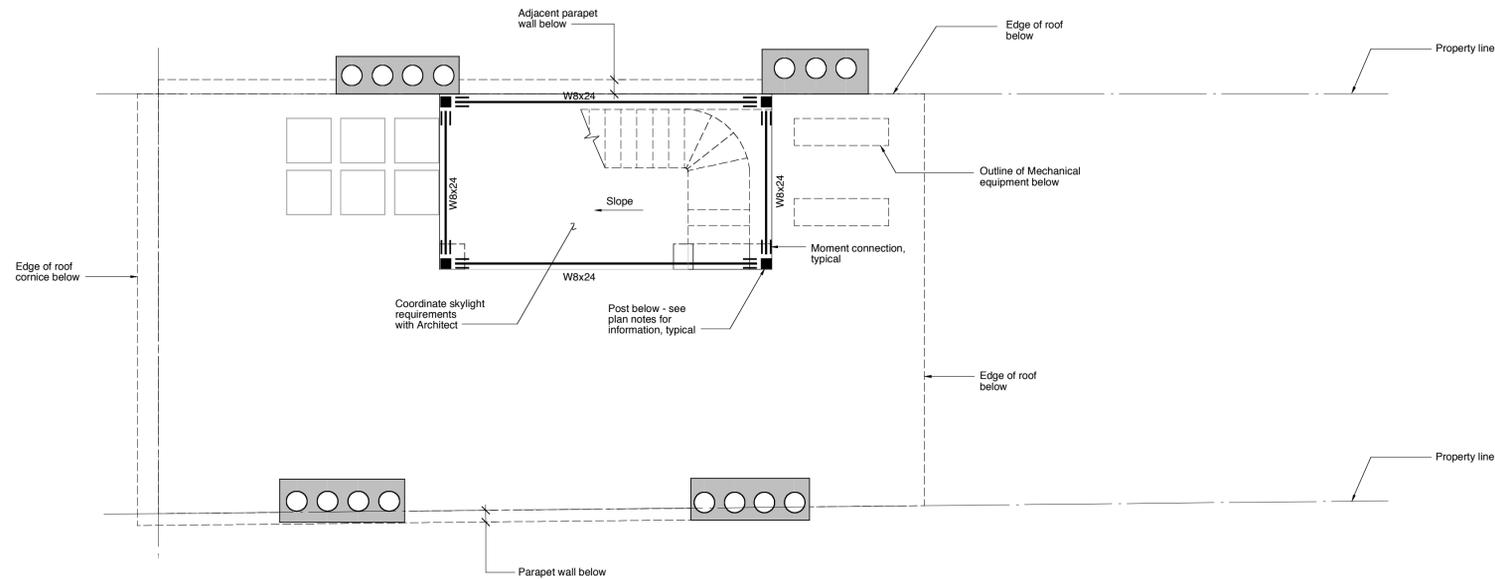
SCALE:	AS NOTED	S-103.00
DATE:	07/21/14	
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Bulkhead Roof & Dunnage Framing Plan

Scale: 1/4" = 1'-0"

NOTES:

1. Coordinate all dimensions and elevations with Architectural Drawings and field conditions, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
2. Verify elevations with Architect.
3. Typical roof deck shall be 3/4" T&G Exposure 1 Grade plywood sheathing.
4. Refer to Structural Notes FO101 for additional information.
5. --- Denotes Architectural plan below, refer to Architectural Drawings for layout.
6. ■ Denotes post below - use TS 5 x 5 x 12" U.N.O.
7. // Denotes 6SW18 studs @ 16" o.c. with 4" wide - 18 gage flat strap cross-bracing top to bottom. Provide 3/4" Exposure 1 Grade plywood sheathing on exterior face.
8. — Denotes standard AISC moment connection.

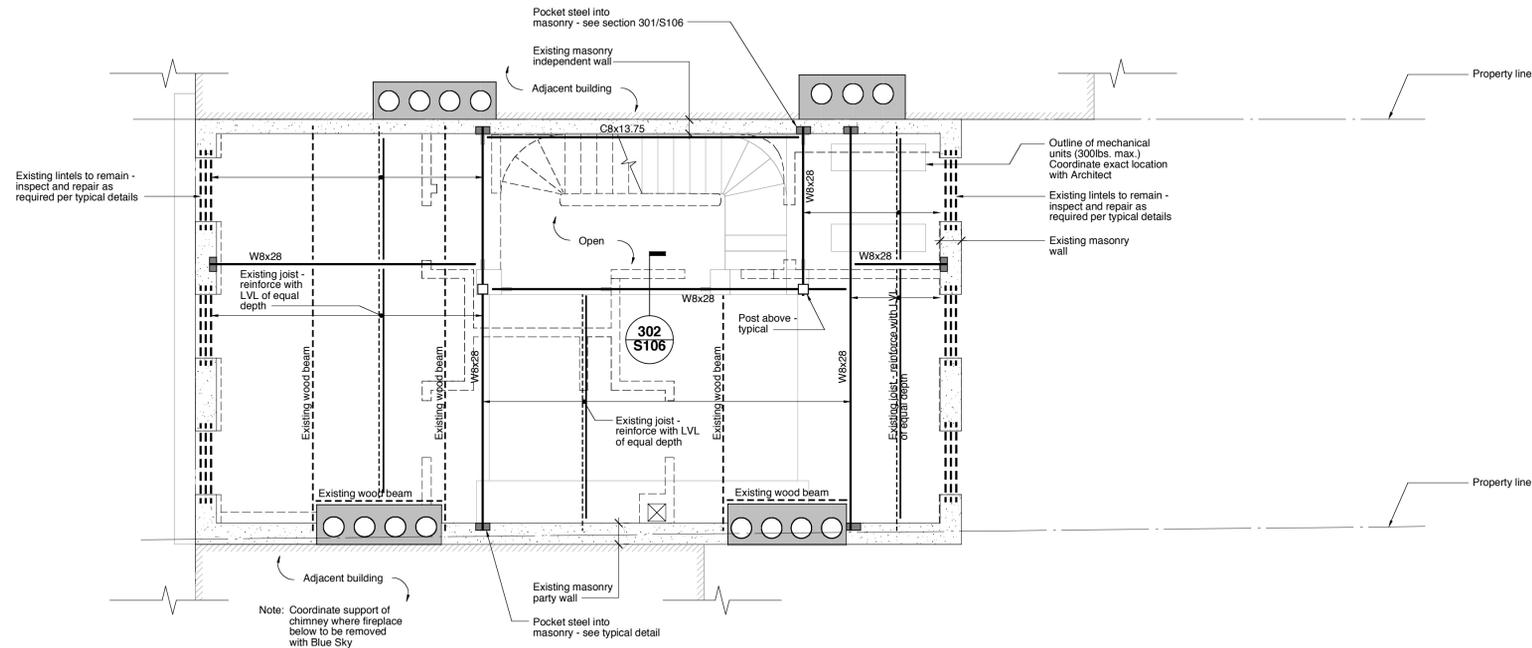


Roof Framing Plan

Scale: 1/4" = 1'-0"

NOTES:

1. Coordinate all dimensions and elevations with Architectural Drawings and field conditions, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
2. Verify elevations with Architect.
3. Typical floor deck shall be 3/4" T&G Exposure 1 Grade plywood sheathing.
4. Refer to Structural Notes FO101 for additional information.
5. --- Denotes Architectural plan below, refer to Architectural Drawings for layout.
6. □ Denotes post above - typical shall be TSS5x12" U.N.O.



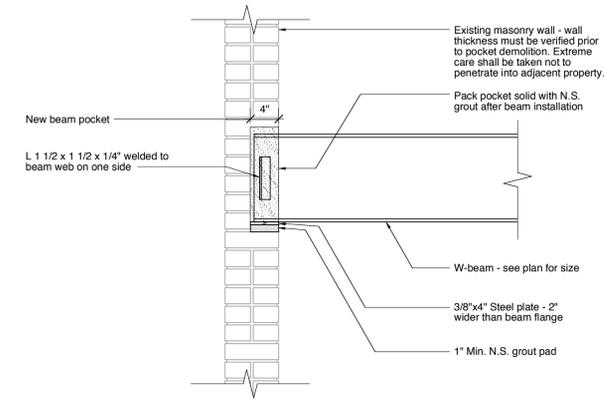
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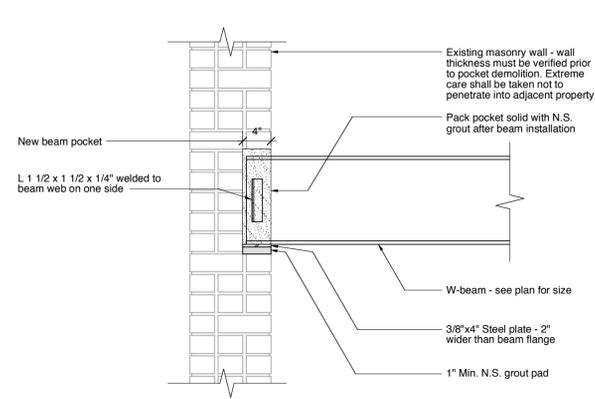
11th STREET TOWNHOUSE
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TYPICAL SECTIONS & DETAILS

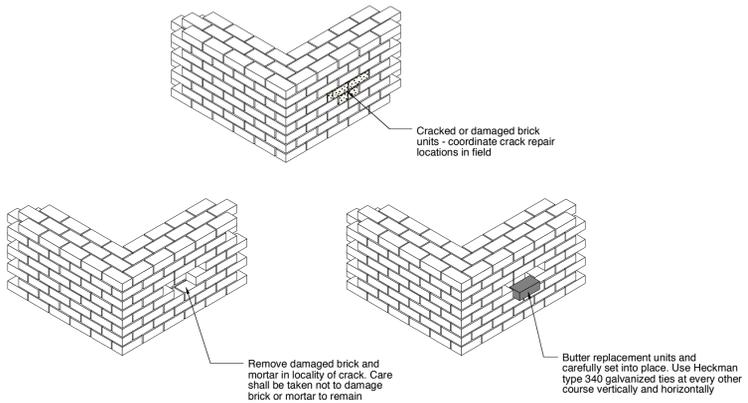
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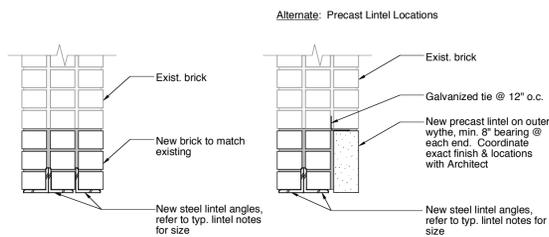
Section - Typical Steel Beam Bearing
 Scale: N.T.S. **252 S104**



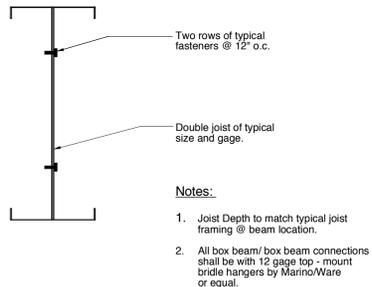
Section - Typical Steel Beam Bearing
 Scale: N.T.S. **251 S104**



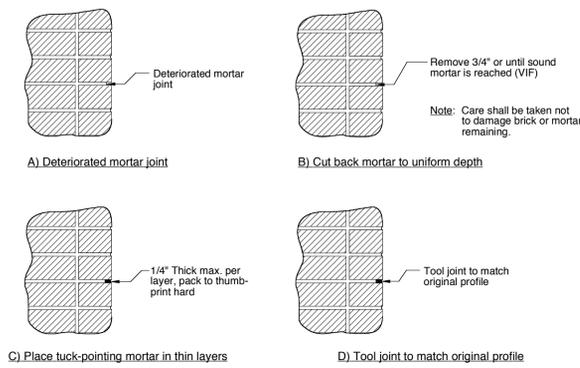
Typical Crack/Damaged Brick Repair - Replacement of Brick Units
 Scale: N.T.S. **255 S104**



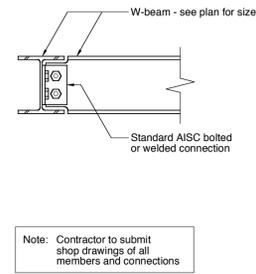
Section - Typical New Steel Lintels
 Scale: N.T.S. **254 S104**



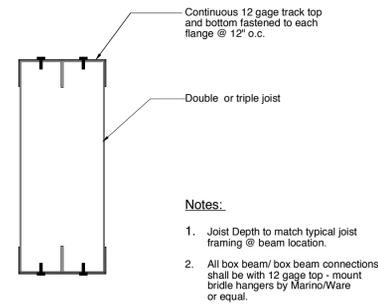
Section - Typical Double Joist
 Scale: N.T.S. **257 S104**



Section - Typical Masonry Pointing Repair
 Scale: N.T.S. **250 S104**



Detail - Typical Steel Beam/Beam Connection
 Scale: N.T.S. **253 S104**



Section - Typical Double/Triple Joist Box Beam
 Scale: N.T.S. **256 S104**

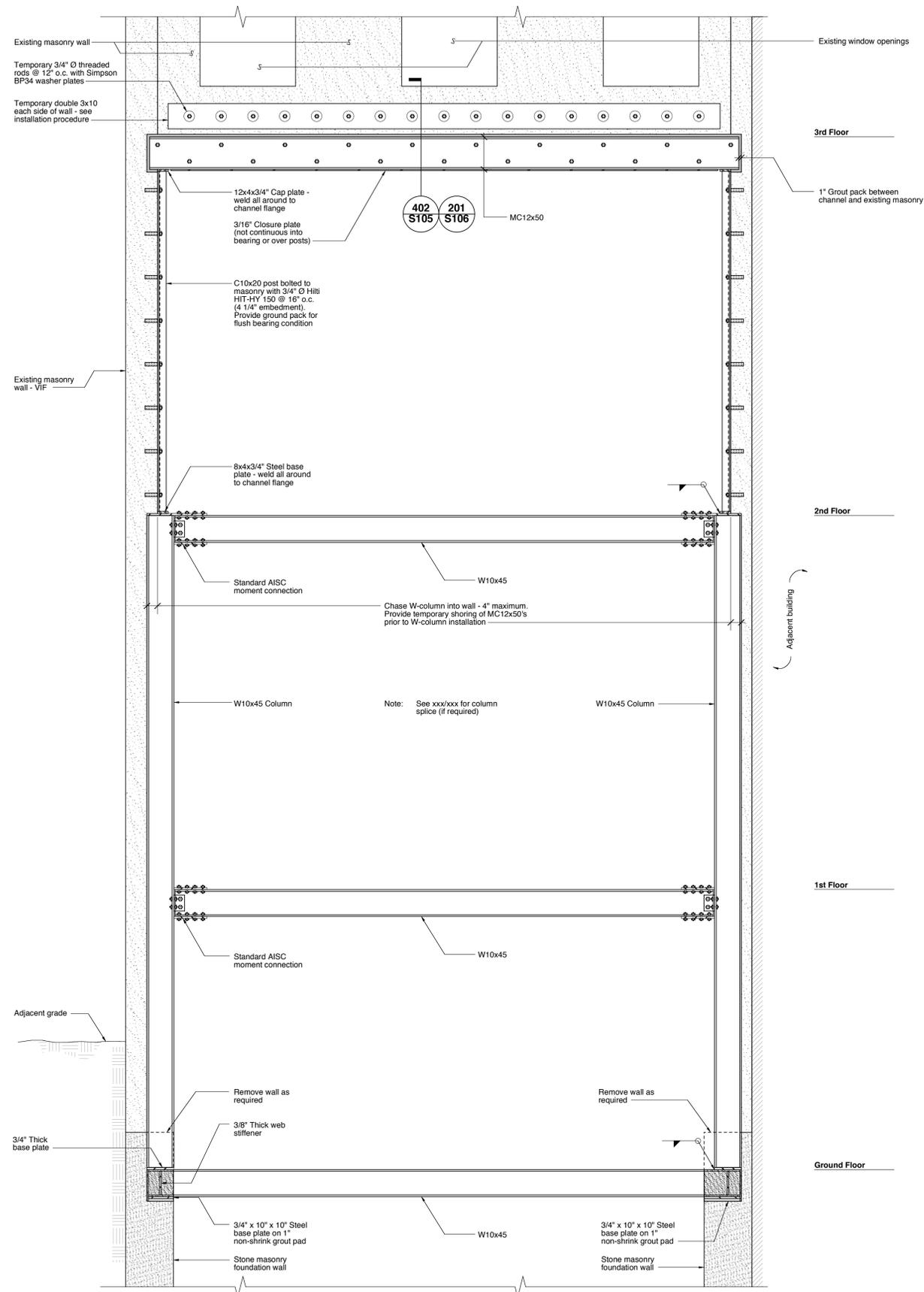
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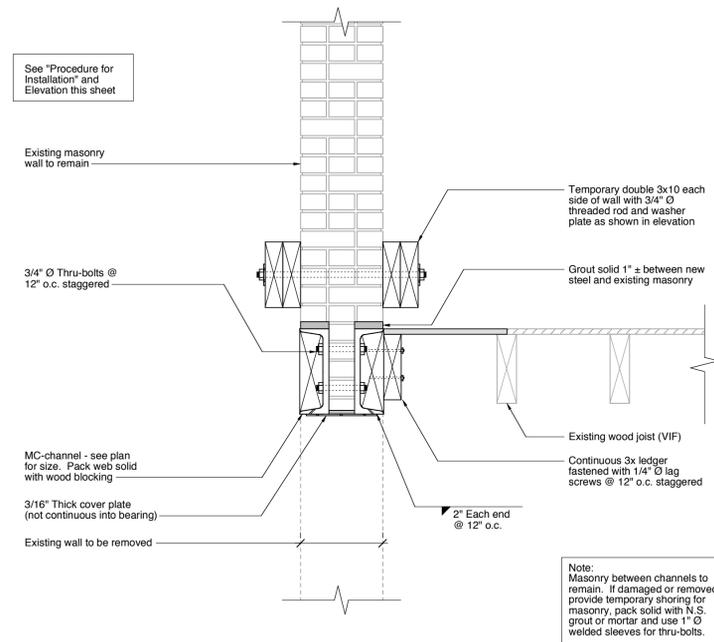
SECTIONS & DETAILS

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Elevation - New Masonry Wall Opening
 Scale: 1/2" = 1'-0"
 Looking South

401
 S105



Section
 Scale: 1" = 1'-0"

402
 S105

- Procedure for Installation of New Channel Lintels @ South Wall:**
1. Install temporary 3x10's as shown in elevation.
 2. Patch and repair any damaged brick above proposed opening and re-point all deteriorated mortar joints as per typical details in these drawings. This work must be inspected by Special Inspection Engineer before proceeding to step 3.
 3. Carefully chase exterior side of existing masonry wall for placement of steel channel (#1). Remove only one wythe of masonry for full bearing of channel flange. Locate top of steel channel slightly below bottom of brick wall above (1" +/-). Provide level N.S. grout pad @ bearing.
 4. Install 1/2" HILTI HIT anchor bolts as required for temporary support (temporary anchors are not to penetrate thru entire wall), or another form of temporary support.
 5. Force grout into voids on back side of channel. Grout is to cure fully before proceeding to next step. Grout solid (N.S.) the void between the top flange of new channel (#1) and existing masonry.
 6. Prepare holes through the existing brick for the installation of the new thru-bolts using a drill bit size equal to the bolt diameter plus 1/8".
 7. Repeat steps (3) - (5) for channel #2. The demolition required for the installation of the channel #2 should not disturb or damage the work completed in steps (3) - (5). Remove only one wythe of masonry for full bearing of the channel flange (channel #2). If a 12" wall, should the interior course of brick become damaged or removed, the brick above must be temporarily shored, N.S. grout or mortar must be packed within the void, and 1" O welded sleeves must be used for thru-bolts.
 8. Install thru-bolts between channels for full length as shown in details. Prior to fastening the bolts, force (N.S.) grout or epoxy into voids around the bolt shafts.
 9. Install posts @ each end of new opening as shown in elevation drawing this sheet.
 10. Upon satisfactory completion of all steps above and only after inspection and written sign-off from Special Inspection Engineer, remove the specified section of masonry wall.
 11. Install bottom closure plate as shown.
 12. Grout full any voids between the new beams (above bottom cover plate).
 13. Remove temporary 3x10's and fill holes with Type N mortar to match existing.

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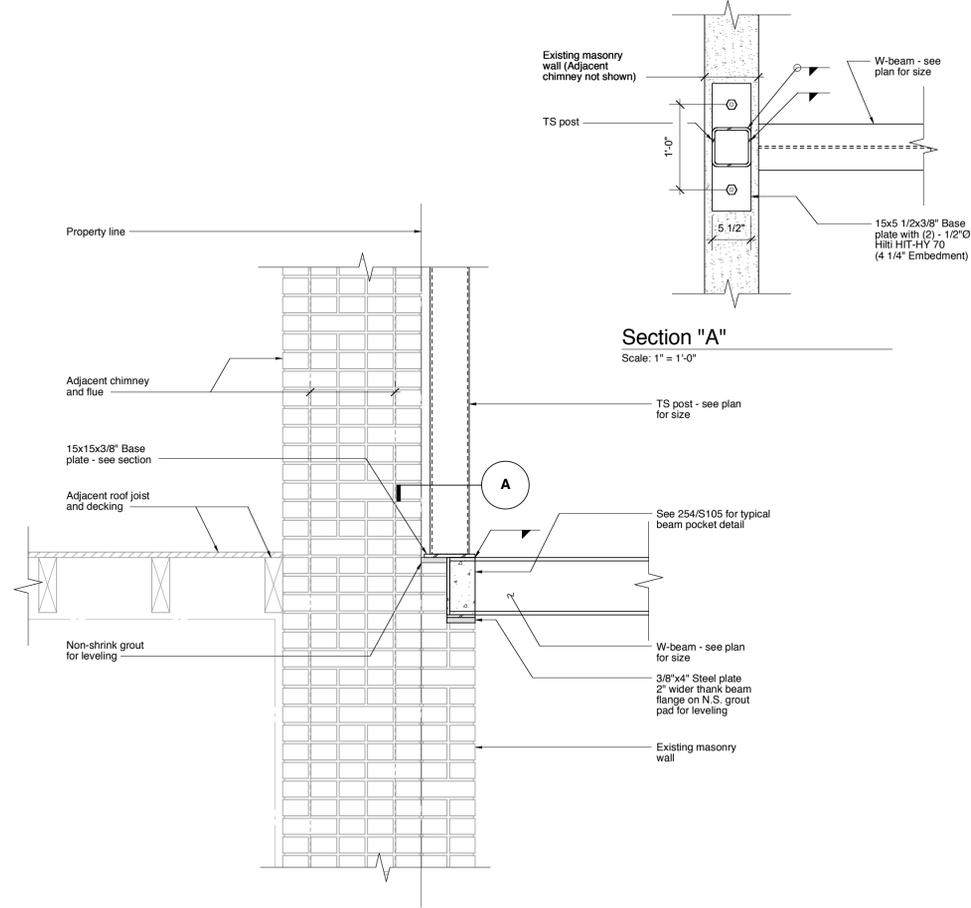
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SECTIONS & DETAILS

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Section "A"

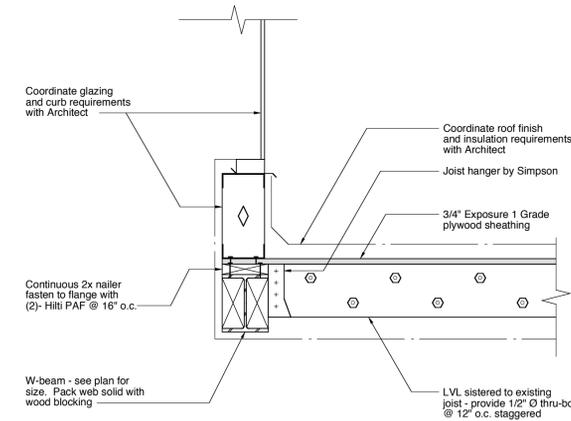
Scale: 1" = 1'-0"

Section

Scale: 1" = 1'-0"

301

S106

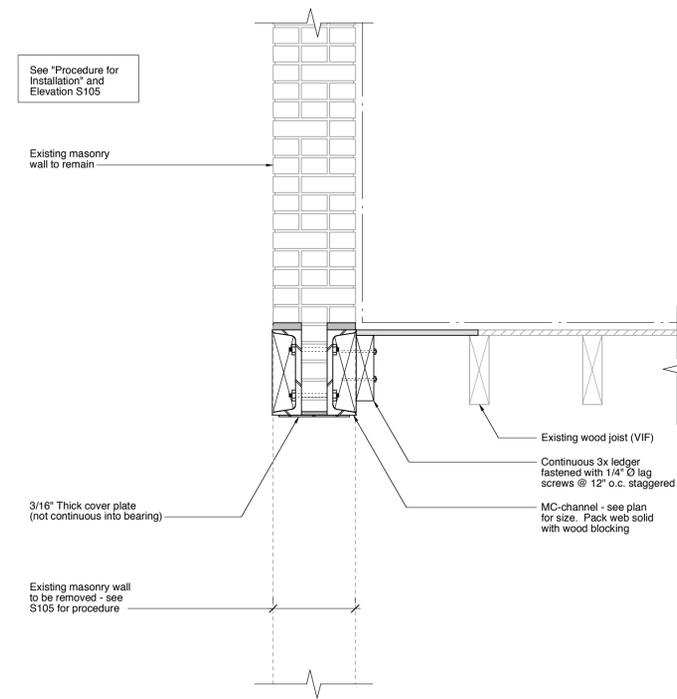


Section

Scale: 1" = 1'-0"

302

S106

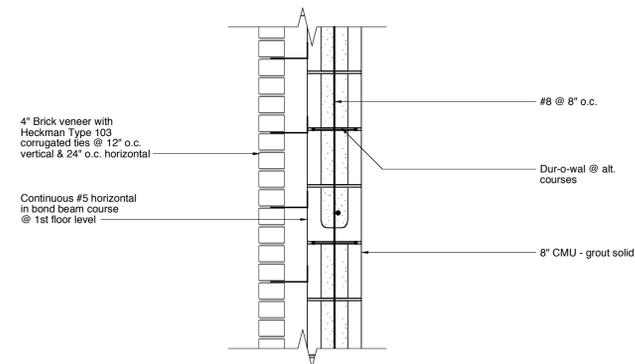


Section

Scale: 1" = 1'-0"

201

S106

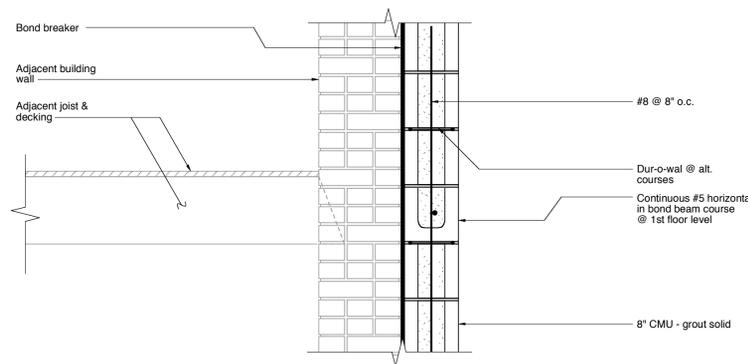


Section

Scale: 1" = 1'-0"

202

S106

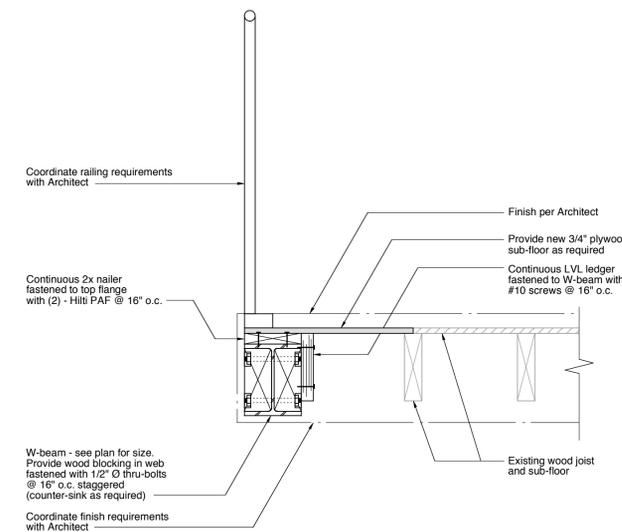


Section

Scale: 1" = 1'-0"

203

S106



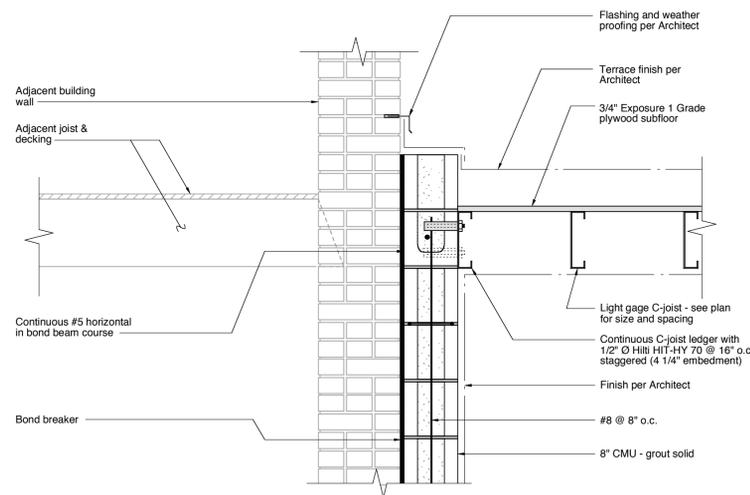
Section

Scale: 1" = 1'-0"

204

S106

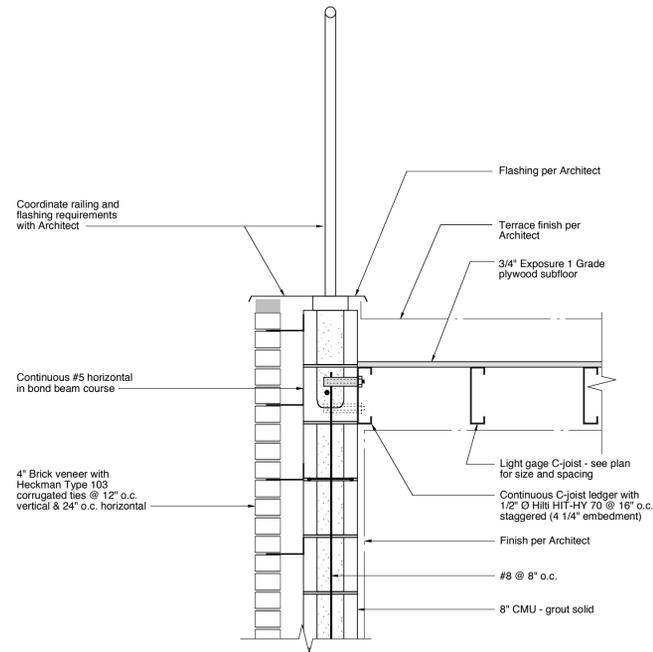
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Section

Scale: 1" = 1'-0"

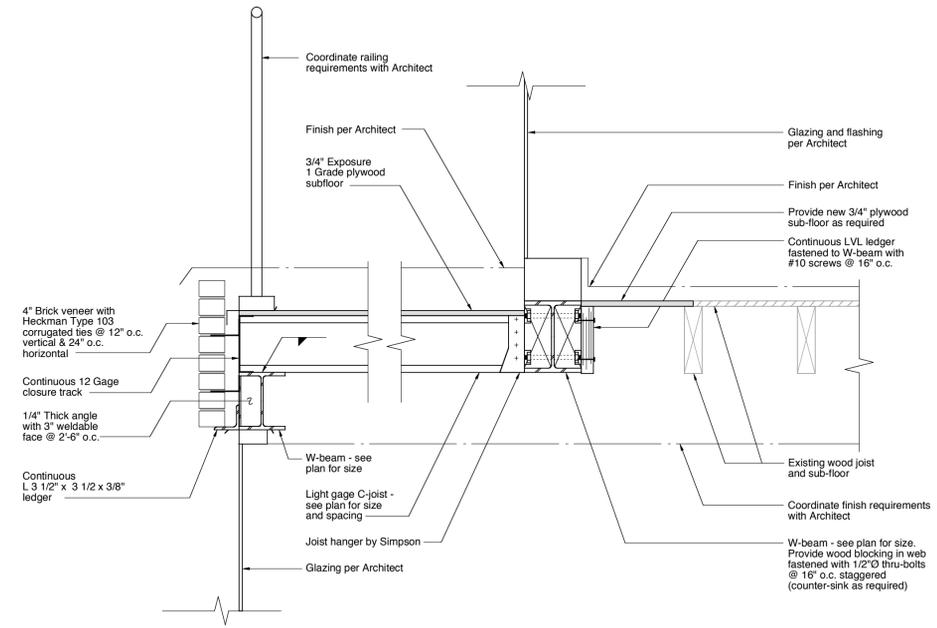
205
S107



Section

Scale: 1" = 1'-0"

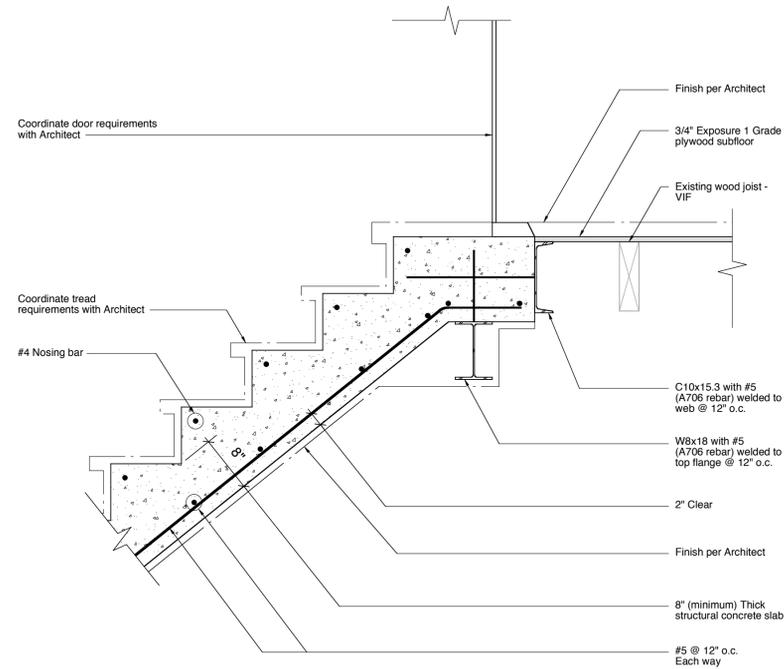
206
S107



Section

Scale: 1" = 1'-0"

207
S107



Section

Scale: 1" = 1'-0"

208
S107

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SECTIONS & DETAILS

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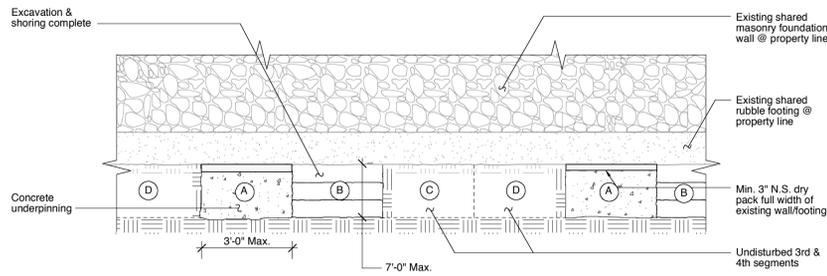
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11th STREET TOWNHOUSE

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UNDERPINNING/ EXCAVATION PLAN

SCALE:	AS NOTED
DATE:	07/21/14
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Underpinning Elevation

Scale: N.T.S.

Notes:

1. Refer to underpinning notes and procedure for additional requirements.

101
SOE101

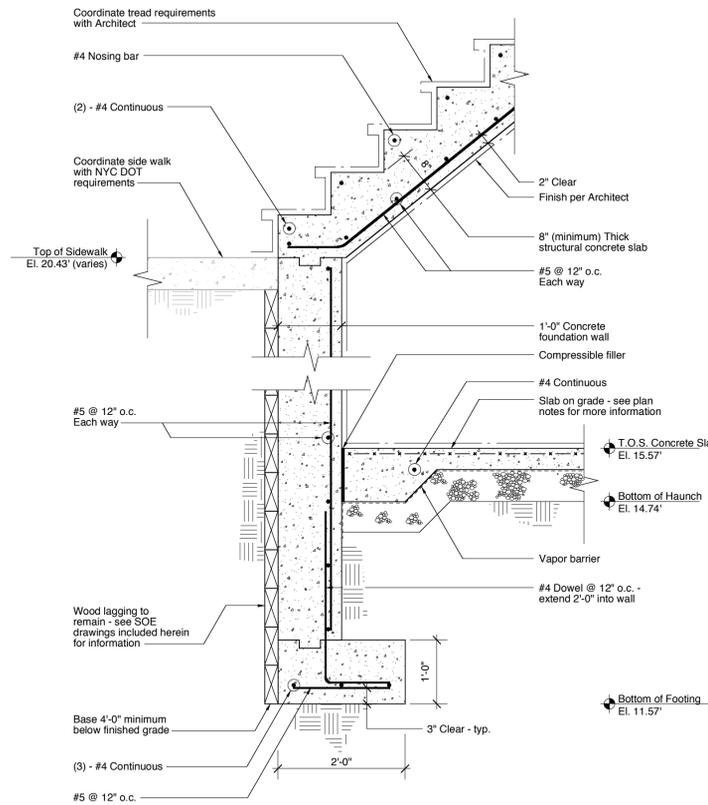
Underpinning Notes

1. The Contractor shall comply with all relevant provisions of the NYC old and new Building Codes and he/ she must notify The Department of Buildings within 48 hours of commencing excavation.
2. In Landmark districts all work must be in compliance with NYC-DOB TPPN #10/88, and no excavation work shall commence without a TPPN #10/88 monitoring program in place.
3. All foundation and earthwork operations shall be performed in accordance with the requirements of the NYC old and new Building Codes and all lots, buildings, service facilities, and utilities adjoining the foundation and earthwork areas shall be protected and supported at all times.
4. The owner shall have a pre-construction survey performed and retain a licensed surveyor to survey all load bearing walls, piers and columns to be underpinned. The surveyor shall check the datum of such structural elements every two weeks for the duration of the work. Landmarked buildings shall be checked every five working days.
5. The contractor and/ or sub-contractor(s) shall have completed no less than five (5) underpinning projects of a comparable size and type to this project, and must have at least five (5) years experience in the work and/ or applicable trade. Submit evidence of such experience for review by Blue Sky Design.
6. There shall be a pre-construction meeting on site with the Owner, Architect, Engineer of Record, General Contractor and sub-contractor (s) prior to any work commencing.
7. All grout shall be non-shrink with a minimum compressive strength of 5,000 PSI.
8. If water is encountered in the pit, provide a well point near the pit. The Contractor's licensed professional Engineer shall determine the location(s) of the well point(s) and the method(s) of removing water of removing water from the pit.
9. All excavations or embankments shall be inspected after rainstorms.
10. Excavated material and superimposed loads such as equipment and trucks shall not be placed closer to the edge of the excavation than a distance equal to one and one-half times the depth of such excavation.
11. The underpinning shall be installed in a matter such that the exposed face of the concrete is vertical (or as otherwise specified), clean and neat.
12. The depth of the underpinning pits shall be a maximum of one 1'-6" foot lift. The lift shall be without intermediate horizontal construction joints (cold joints). Multiple (vertical) levels of underpinning shall not be permitted.
13. All underpins are to be braced or backfilled so as not to buckle or translate at the joint between the existing footing/ wall/ column and the top of the underpins. All bracing to be removed only after new floor systems including floor/ slabs are in place.
14. Prior to any work Contractor must submit shop drawings to Engineer of Record for review and approval.

Underpinning Procedure

1. Underpinning shall be done in maximum 3'-0" sections. Successive or simultaneous cuts shall have at least 9'-0" clear distance between them.
2. Underpinning shall be scheduled as follows:
 - a. Contractor shall excavate each "A" section and shore 3 sides of excavation using 3x planks as shown in details above. These excavations shall be limited to a maximum of 3'-0" width along the length of the wall. These excavations shall undermine the existing foundation wall sections "A" only, and shall extend to desired depth, maximum 1'-6" below bottom of existing foundation wall.
 - b. After forming, place 4000 psi, Type III (high early) concrete as shown in step 3 above. Concrete shall be placed no higher than 3" below bottom of existing foundation wall.
 - c. After concrete underpinning for sections "A" has cured for a minimum of 48 hours, dry pack N.S. grout solid between new concrete and bottom of existing foundation wall. All dust & debris shall be removed prior to placing grout.

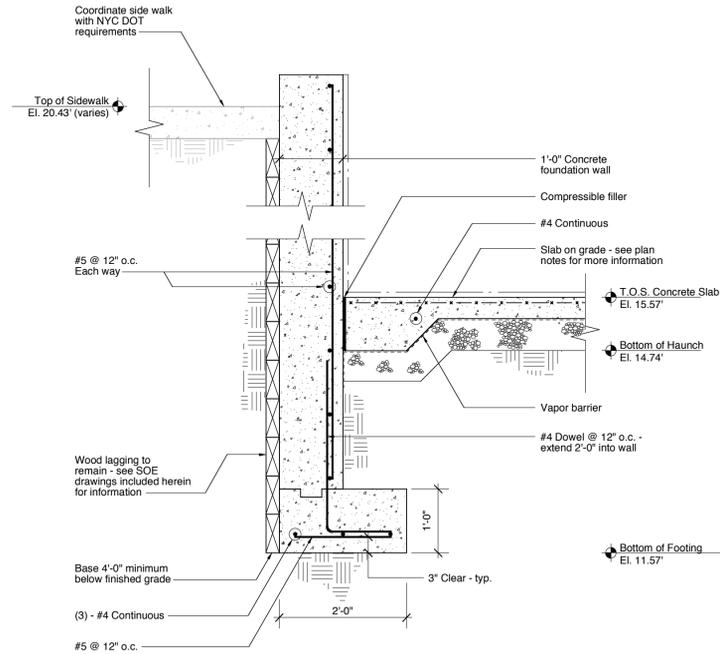
Work may then proceed on sections "B" (refer to plan). Similarly, work may proceed on sections "C" and "D" after concrete for sections "B" and "C" has cured for a minimum of 48 hours, and N.S. grout has been installed.
 - d. Underpinning work for sections "B", "C" and "D" shall follow the same procedure listed for sections "A" in steps a and b above, except only that existing planks from a previous pin may be used.
3. Refer to Structural Notes FO101 for all additional notes and materials specifications.



Section

Scale: 3/4" = 1'-0"

101A
SOE101



Section

Scale: 3/4" = 1'-0"

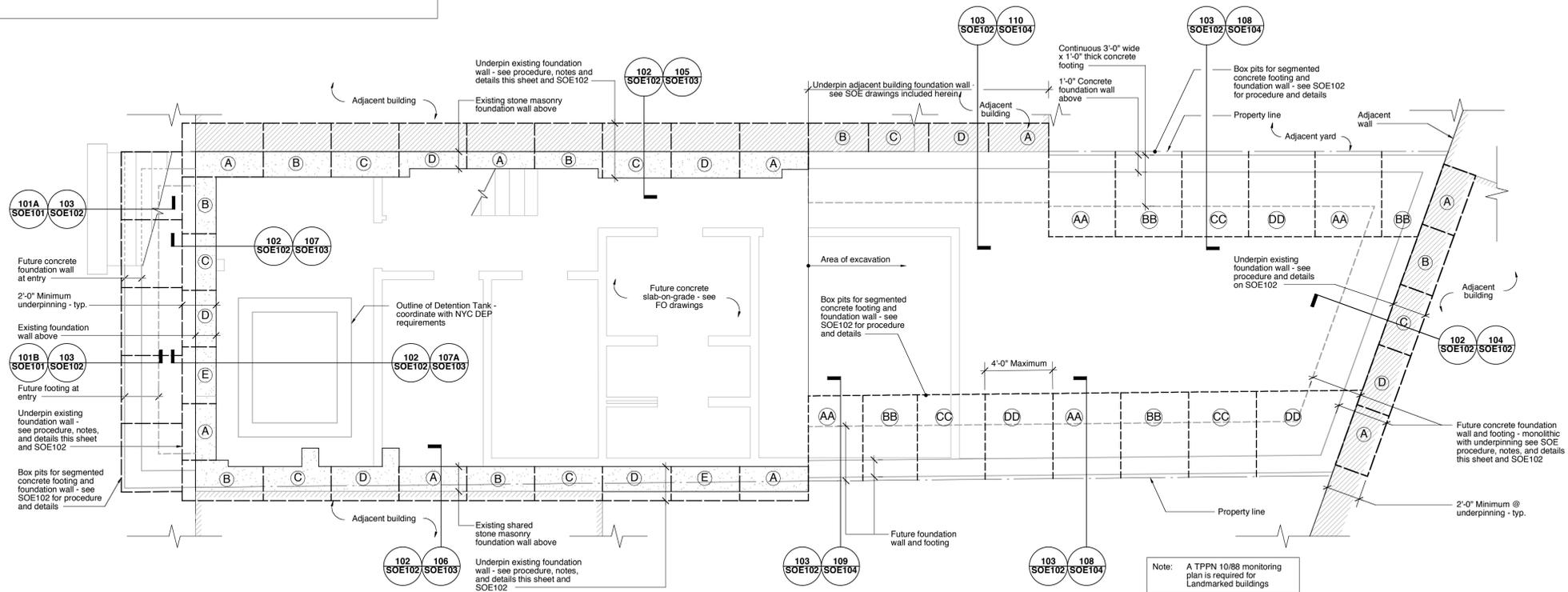
101B
SOE101

Underpinning Plan

Scale: 1/4" = 1'-0"

NOTES:

1. Coordinate all dimensions and elevations with Architectural Drawings and field conditions, and coordinate all work with Electrical, Mechanical, and Plumbing Drawings for floor and wall penetration requirements.
2. Refer to Structural Notes on FO101 for additional information.
3. (A) Denotes standard underpinning procedure @ existing foundation wall - refer to Underpinning Procedure, details, and notes included herein.
4. (AA) Denotes Special boxed excavation pits for segmented installation of new concrete foundation wall and footing.



Note: A TPPN 10/88 monitoring plan is required for Landmarked buildings

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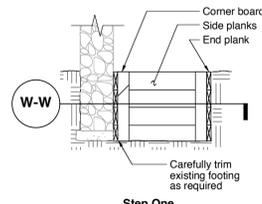
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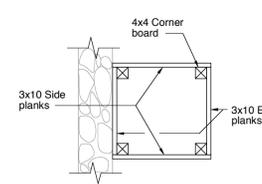
SHORING SECTIONS & DETAILS

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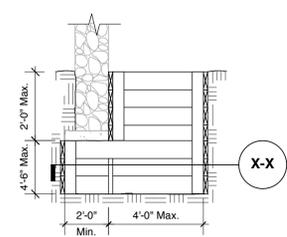


Step One

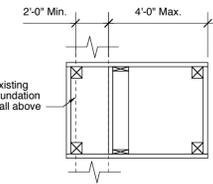
In general, place (2)-3x10 side planks & wedge (2)-3x10 end planks between them. Place 4x4 corner boards and fasten to side planks with min. (5) - 10d nails.



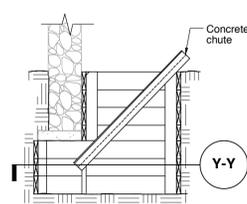
Plan W-W



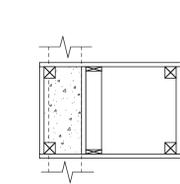
Step Two



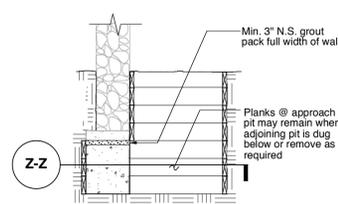
Plan X-X



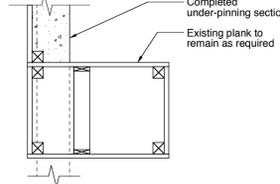
Step Three



Plan Y-Y



Step Four



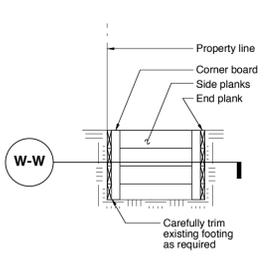
Plan Z-Z & Adjacent Pit

Excavation and Sequence of Underpinning

Underpinning Sections & Plans

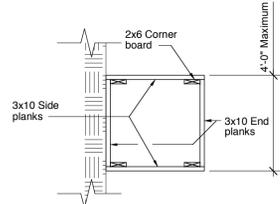
Scale: N.T.S.

102
SOE102

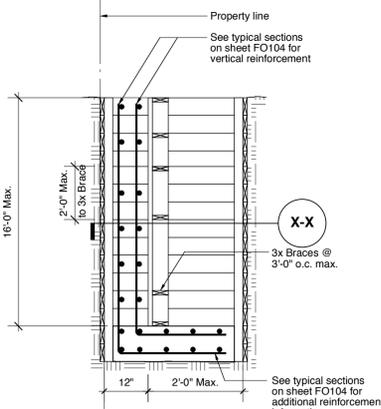


Step One

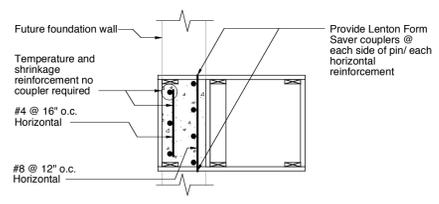
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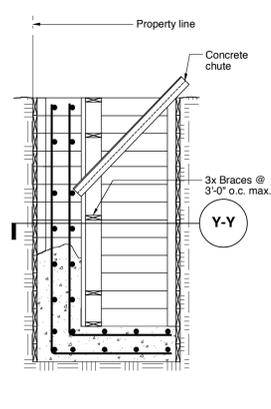
Plan W-W



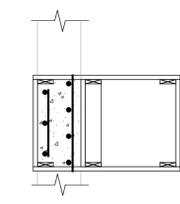
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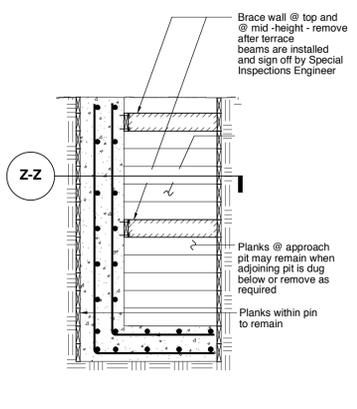
Plan X-X



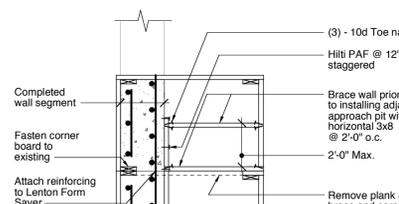
Step Three



Plan Y-Y



Step Four



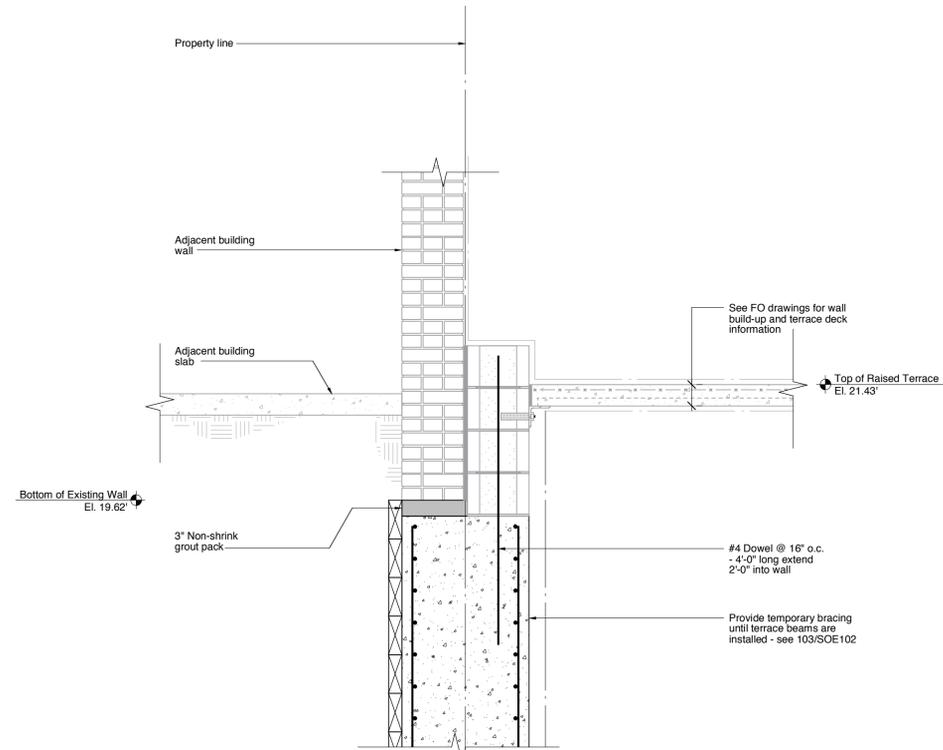
Plan Z-Z & Adjacent Pit

Excavation and Sequence of New Concrete Wall

Foundation Section & Plans

Scale: N.T.S.

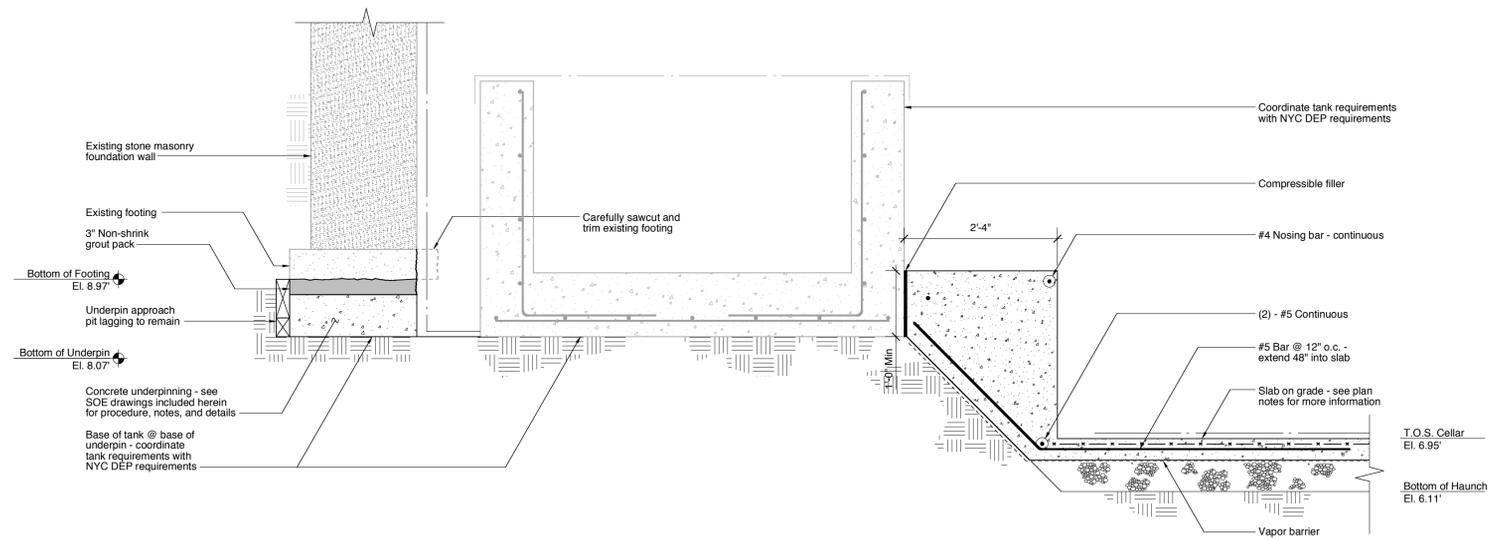
103
SOE102



Section

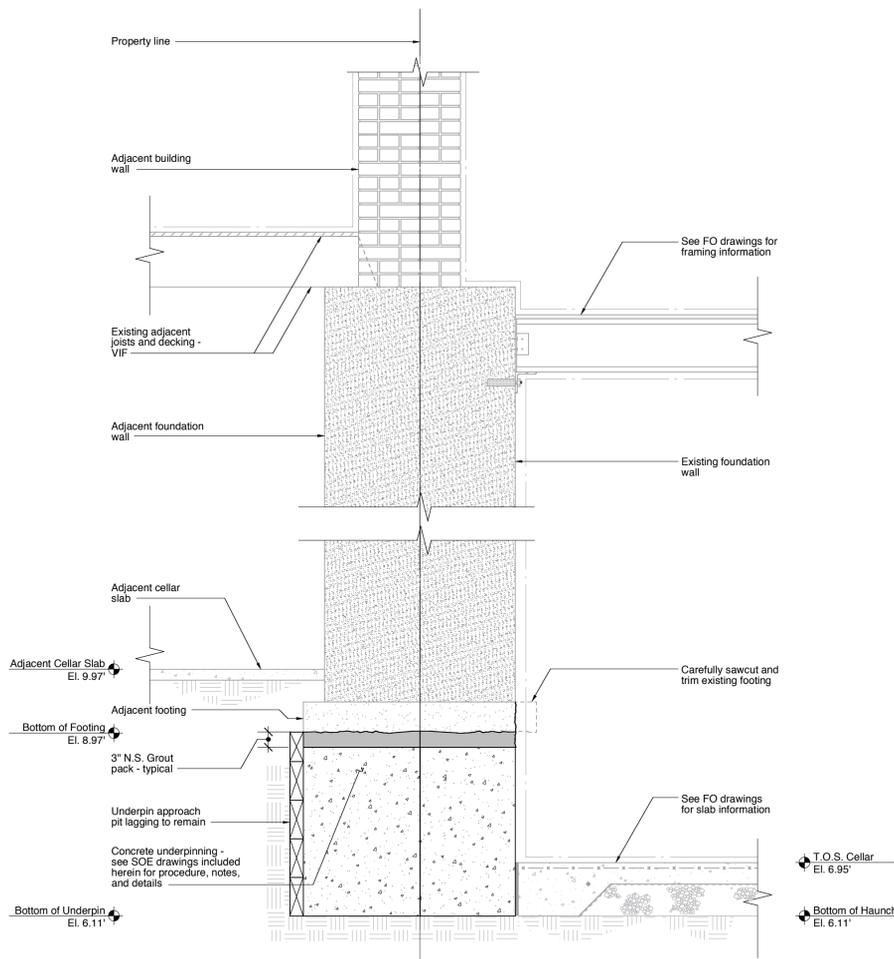
Scale: 3/4" = 1'-0"

104
SOE102



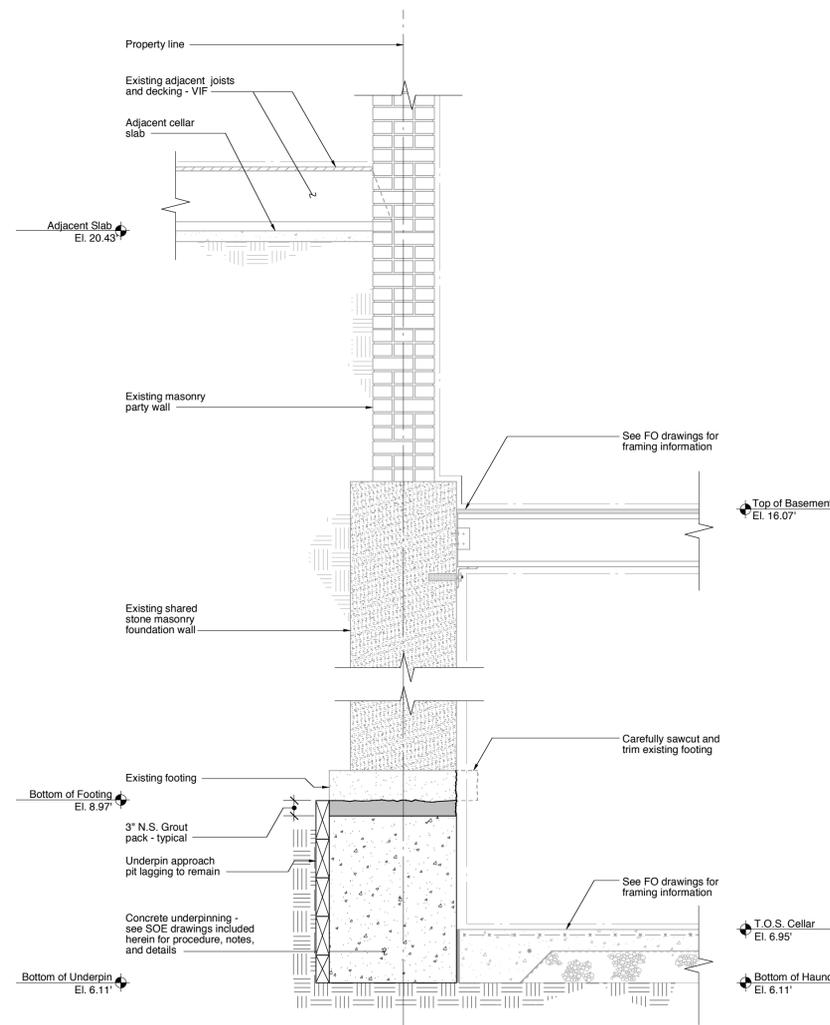
Section
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107A
 SOE103



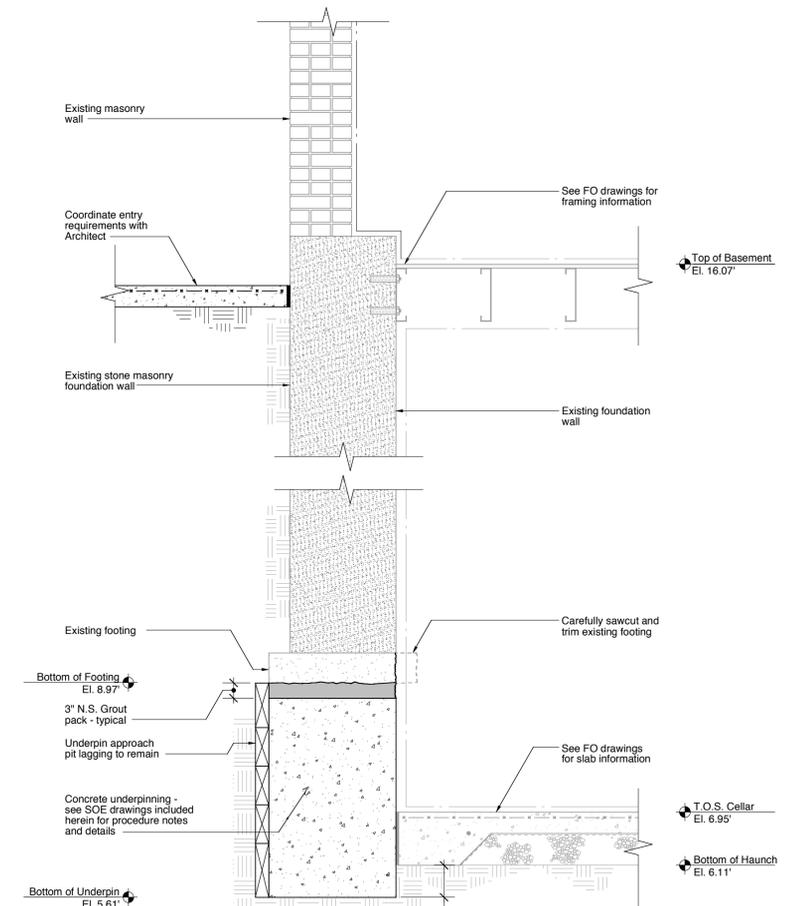
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105
 SOE103



Section
 Scale: 3/4" = 1'-0"

106
 SOE103



Section
 Scale: 3/4" = 1'-0"

107
 SOE103

Drawings, as instruments of services, are and shall remain the property of the Architect, whether the project for which they are made is executed or not. The drawings shall not be used by the Owner or General Contractor for other projects, for additions to this project, or for completion of this project by others, except by agreement in writing and appropriate compensation to the Architect.

No.	Date	Issued For	By
03	10/08/14	LPC REVIEW	KC
02	08/25/14	DOB FILING SET	KC
01	07/25/14	PROGRESS SET	KC

11th STREET TOWNHOUSE
 317 West 11th Street
 New York, NY 10014

TYPICAL SECTIONS & DETAILS

SCALE:	AS NOTED
DATE:	07/21/14
BSD JOB INFO:	14080
PAGE:	14 OF 15

SOE-103.00

Drawings, as instruments of services, are and shall remain the property of the Architect, whether the project for which they are made is executed or not. The drawings shall not be used by the Owner or General Contractor for other projects, for additions to this project, or for completion of this project by others, except by agreement in writing and appropriate compensation to the Architect.

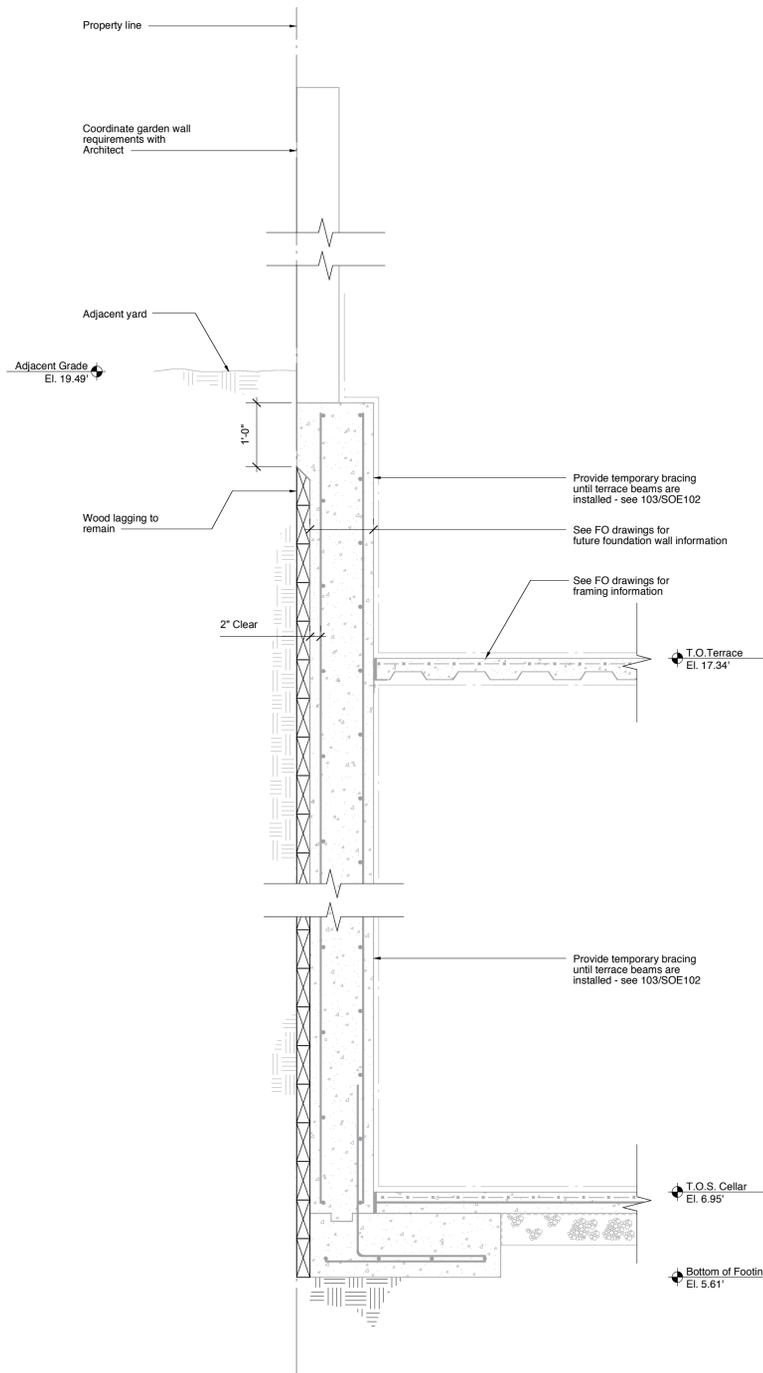
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02	08/25/14	DOB FILING SET	KC
01	07/23/14	PROGRESS SET	KC
No.	Date	Issued For	By

11th STREET TOWNHOUSE

317 West 11th Street
 New York, NY 10014

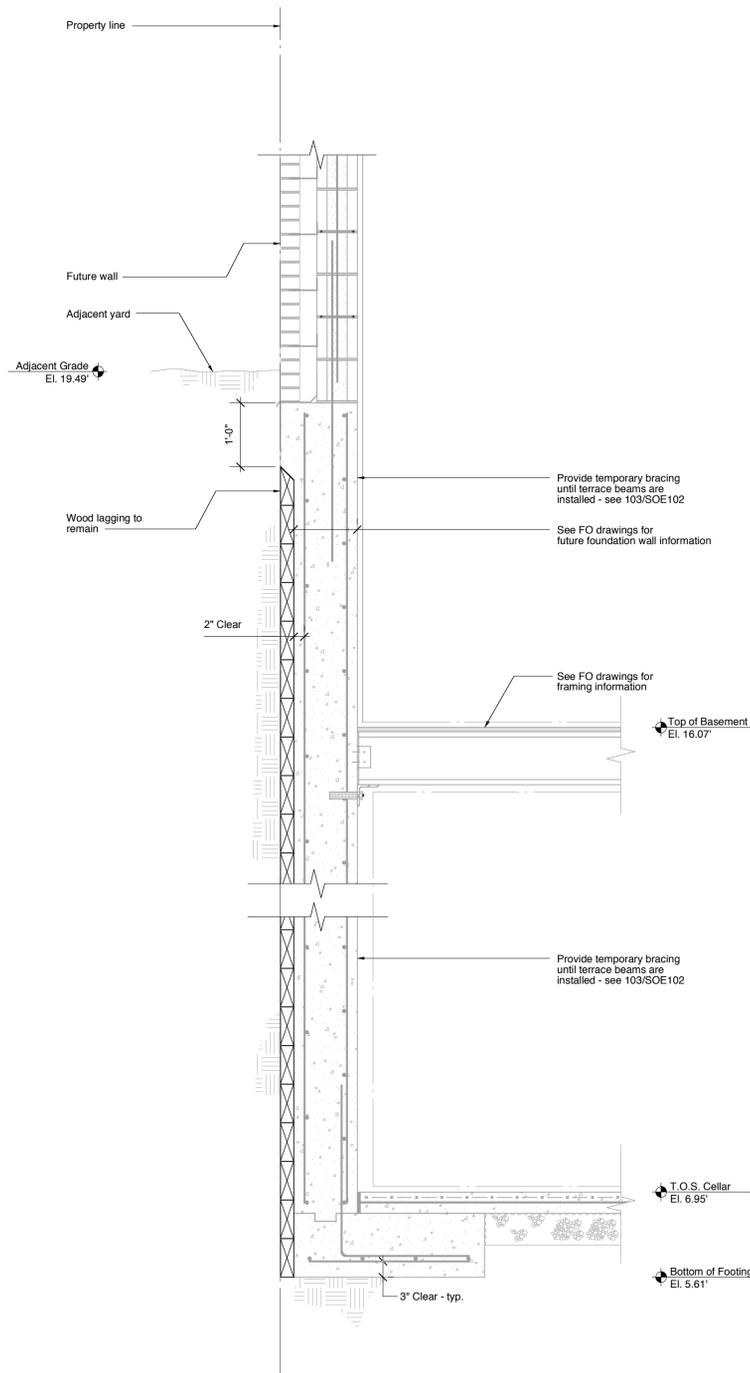
SECTIONS & DETAILS

SCALE:	AS NOTED	SOE-104.00
DATE:	07/21/14	
BSD JOB INFO:	14080	
PAGE:	15 OF 15	



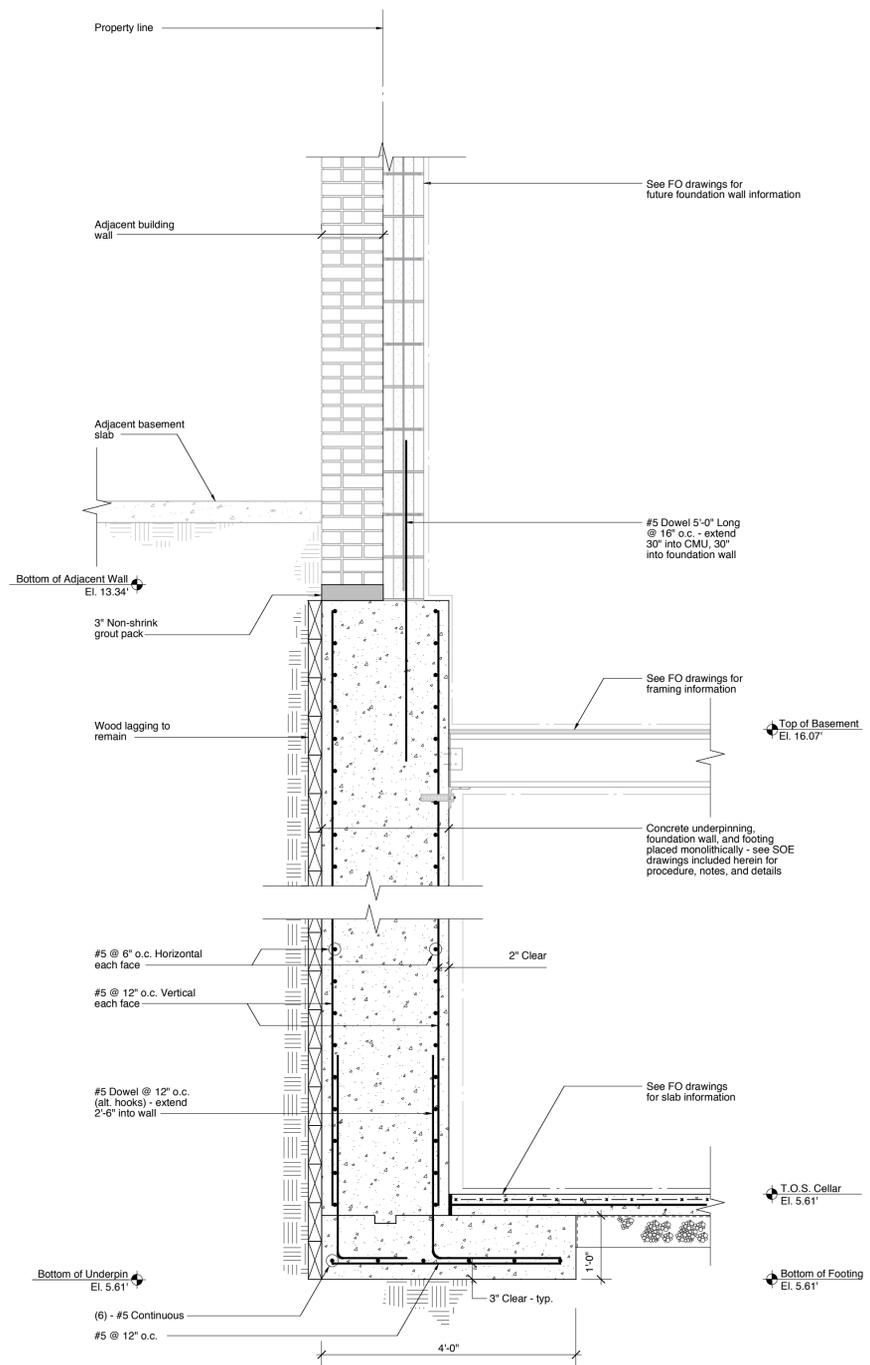
Section
 Scale: 3/4" = 1'-0"

108
 SOE104



Section
 Scale: 3/4" = 1'-0"

109
 SOE104



Section
 Scale: 3/4" = 1'-0"

110
 SOE104