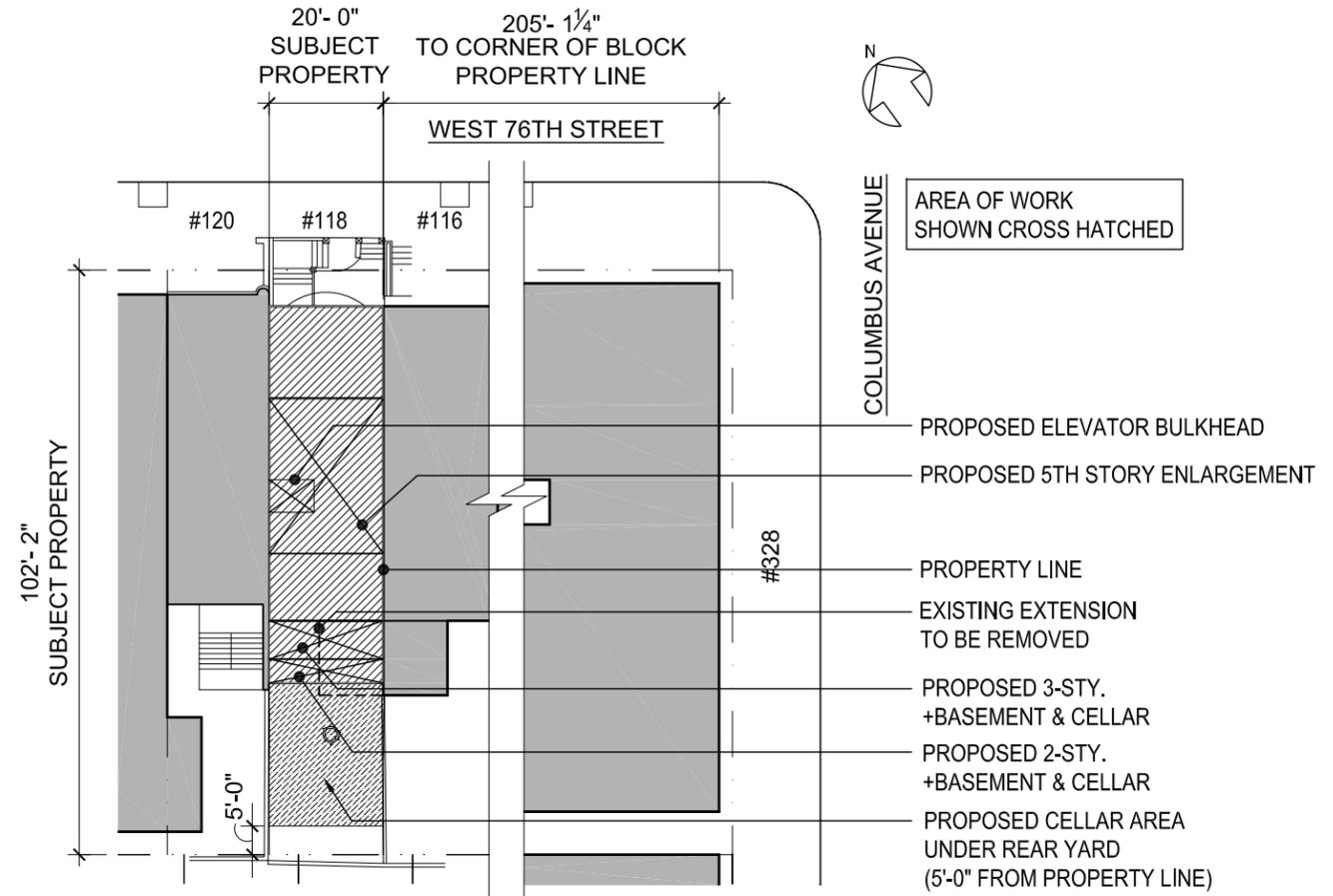




*118 West 76th Street
1940s Tax Photo*

Alterations to:
118 W. 76th St. New York, NY 10023
Block: 1147
Lot: 41



Submitted for Review to:
Landmarks Preservation Commission

Drawing List:

LPC-00	Cover
LPC-01	Street View Diagram
LPC-02	Proposed Street Views
LPC-03	Existing & Proposed Front Elevations
LPC-04	Existing Conditions Photos at Front Facade
LPC-05	Existing Conditions Photos at Rear Facade
LPC-05A	Existing Conditions Photos of Rooftopscape & Rear Yard
LPC-05B	Interior Block Diagram
LPC-05C	Existing Interior Donut Photos
LPC-05D	In-District Precedents
LPC-06	Aerial View of Existing
LPC-07	Aerial View of Proposed
LPC-08	Existing & Proposed Rear Elevations
LPC-09	Interior Donut with Proposed Rear Elevation
LPC-09a	Proposed Rear Elevation
LPC-10	Existing Building Section
LPC-11	Proposed Building Section
LPC-11A & 11B	Rooftop Mock-up Photos
LPC-11C	Photo Montage of Rooftop Condensers
LPC-12, 13	Demolition & Proposed Plans
LPC-13a	Proposed Rear Yard
LPC-14, 15 & 16	Demolition & Proposed Plans

Total Pages: 26

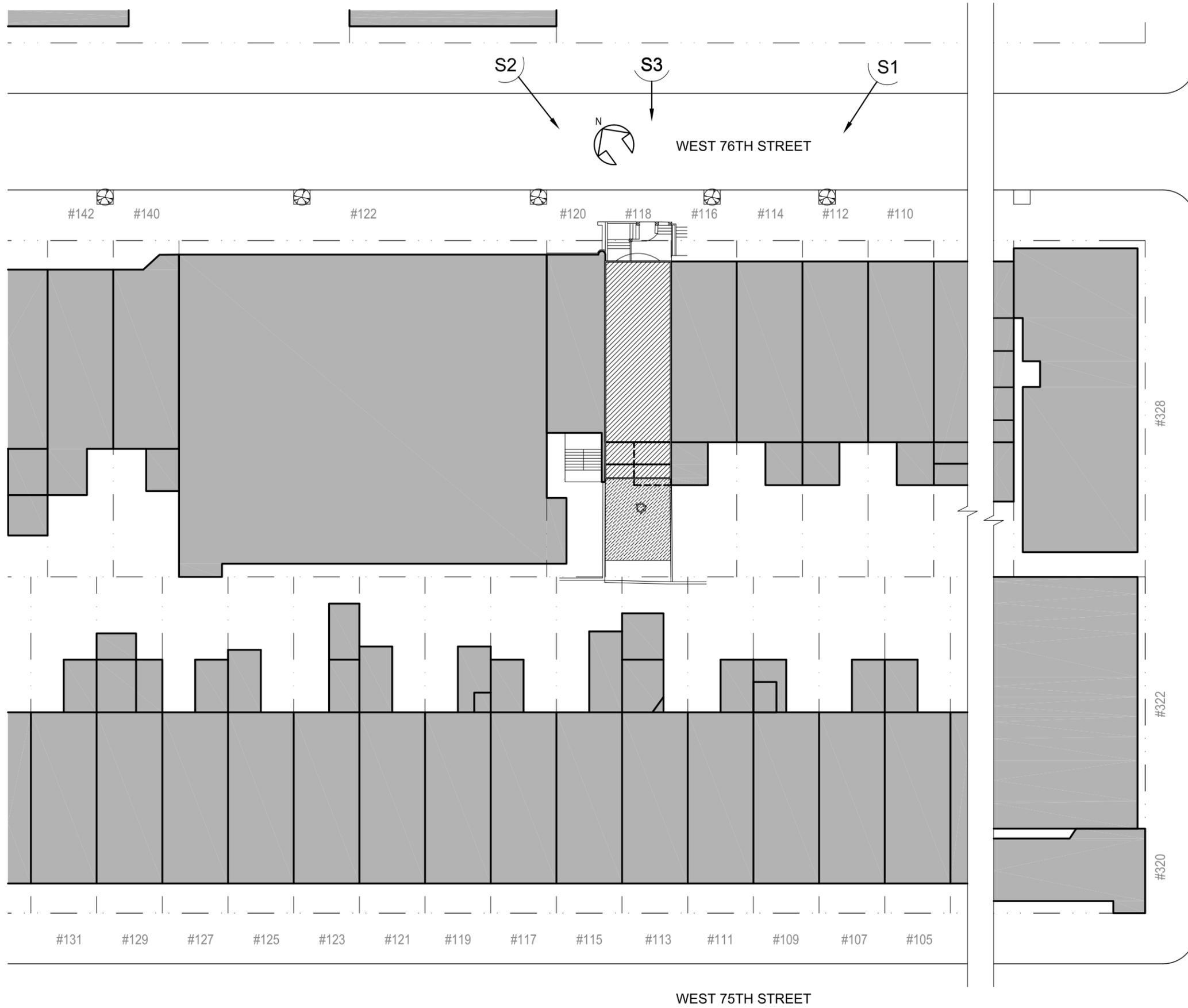
Cover

May 19, 2015

LPC-00

ZIVKOVIC CONNOLLY ARCHITECTS P.C.
1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010

Alterations to:
118 West 76th Street, New York, NY 10023
Landmarks Preservation Commission Review



SEE SHEET
LPC-11A FOR
ADDITIONAL VIEWS

COLUMBUS AVENUE

1 Street & Interior Donut View Diagram
Scale : 1/32" = 1'-0"



S1 West 76th St View Looking Southwest
(Penthouse Addition Not Visible)



S3 West 76th St Detail View Looking South
(Penthouse Addition Not Visible)



S2 West 76th St View Looking Southeast
(Penthouse Addition Not Visible)

ARROWS INDICATE
118 WEST 76TH STREET
(SUBJECT BUILDING)

T.O. METAL CORNICE
EL. 146.62'

MAX. BLDG. HT. PER ZONING
EL. 146.36'

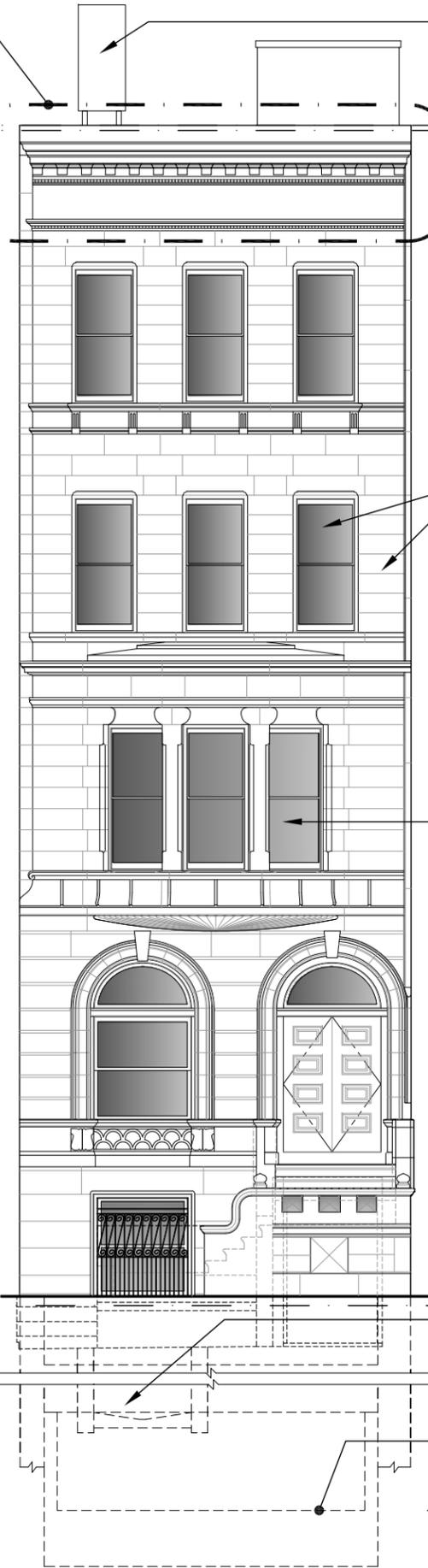
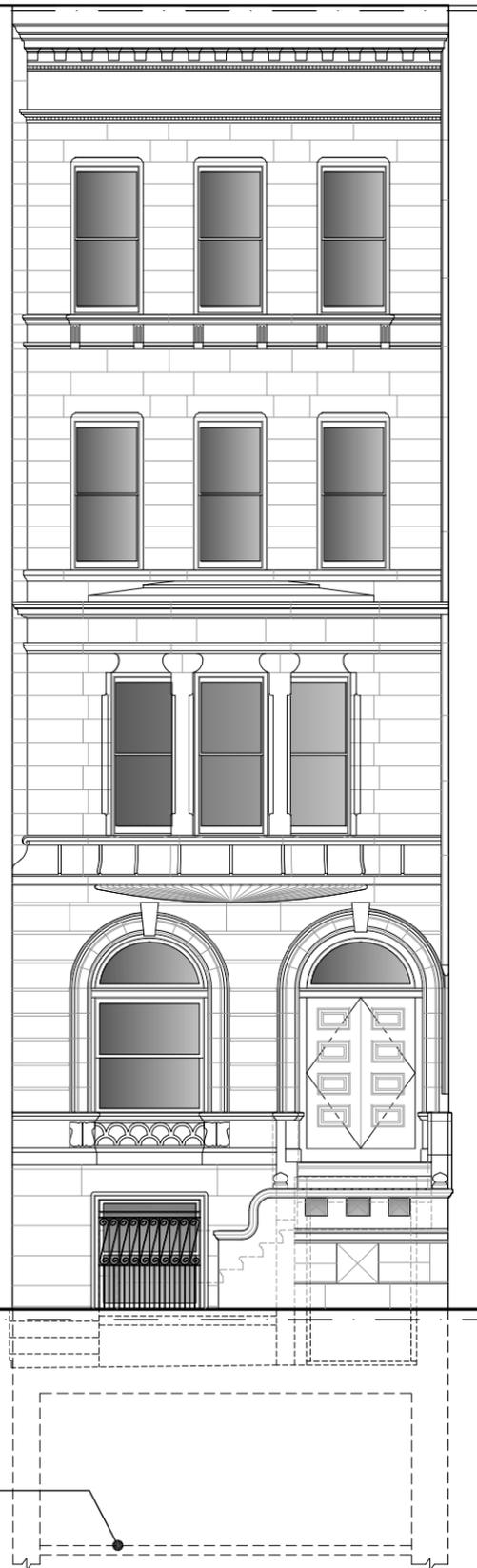
CORNICE REPAIR FILED UNDER
SEPARATE APPLICATION
DOCKET # 16-8864

PROPOSED HVAC
EQUIP. (REFER TO
SAMPLE IMAGE
ON LPC-07)

PROPOSED
ELEVATOR BULKHEAD

PROPOSED
GUARDRAIL

PROPOSED LADDER
FOR FIRE DEPT.
ACCESS



3 Proposed Penthouse Elevation
Scale : 1/8" = 1'-0"

PROPOSED WINDOW
REPLACEMENT AND FACADE
REPAIR TO BE FILED UNDER
SEPARATE APPLICATION

EXISTING CURVED WINDOWS
TO BE REPLACED WITH NEW
CURVED WINDOWS TO MATCH
EXISTING (UNDER SEPARATE
APPLICATION)

T.O. CURB LEVEL (BASE PLANE)
EL. 86.36'

EXISTING CELLAR SLAB

PROPOSED LIGHTWELL

PROPOSED STRUCTURAL SLAB

T.O. PROPOSED CELLAR SLAB
EL. 71.33'

1 Existing Front Elevation
Scale : 1/8" = 1'-0"

2 Proposed Front Elevation
Scale : 1/8" = 1'-0"

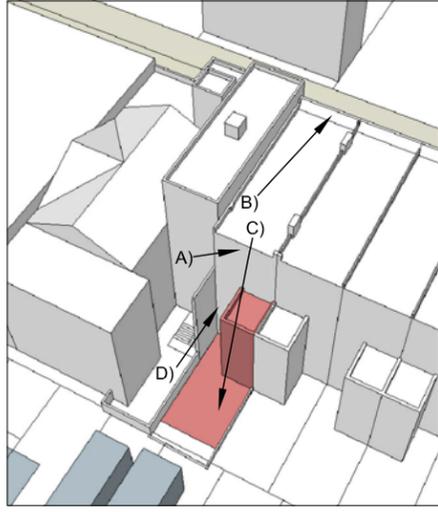


FACADE REPAIR INCLUDING STUCCO REPAIR AND PAINT REMOVAL WILL BE FILED UNDER SEPARATE APPLICATIONS



NEW WINDOWS AND DOORS WILL BE FILED UNDER SEPARATE APPLICATION

*Existing Conditions Photos:
Front Elevation & Misc. Facade Details*



Aerial View



A View of Existing Rear Facade



B View of Existing Roof

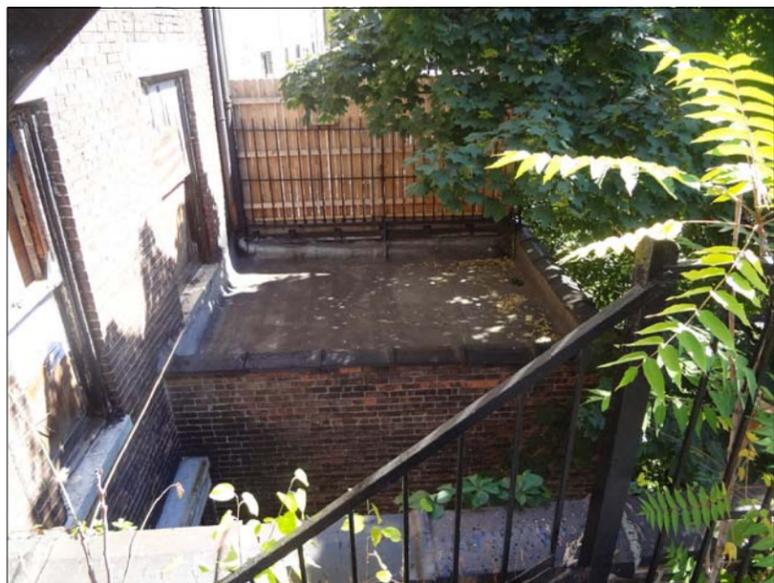


C View of Existing Rear Yard

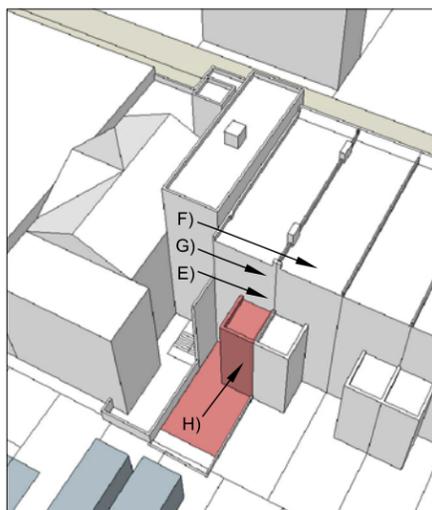


D View of Existing Rear Facade

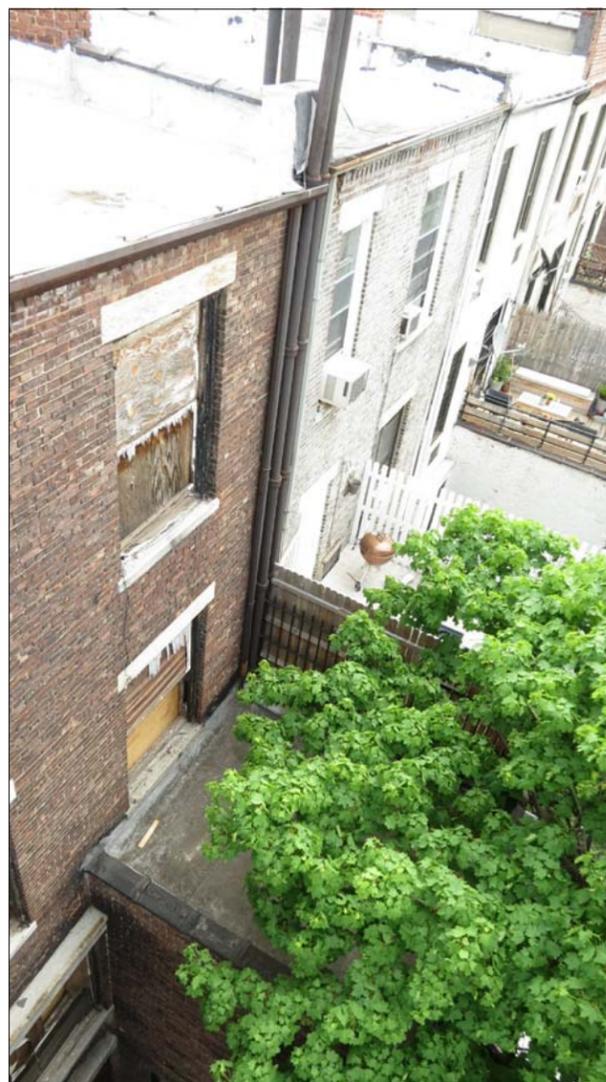
*Existing Conditions Photos:
Rear Elevation, Roof & Rear Yard*



E View at Roof of Existing Extension Looking East



Aerial View



G View of Existing Rear w/ East Neighboring House



H Existing Rear Extension w/ E. Neighboring House

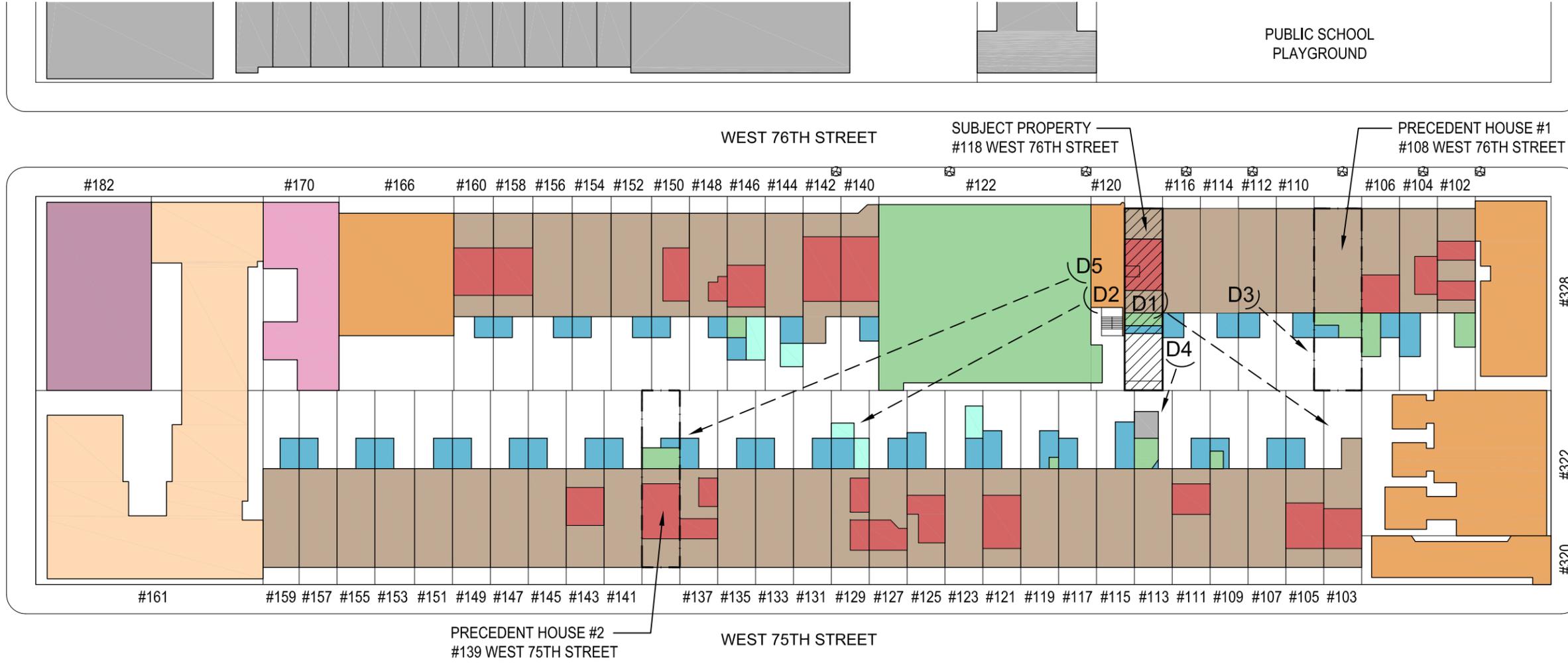


F View of Existing East Neighboring Roofscape

Existing Conditions Photos: Roofscape and Rear Yard

AMSTERDAM AVENUE

COLUMBUS AVENUE



1 Interior Block Diagram
 Scale : 1/64" = 1'-0"



LEGEND:

 1-STORY	 4-STORY	 6-STORY
 2-STORY	 5-STORY	 8-STORY
 3-STORY	 PENTHOUSE	 15-STORY

NOTE: ALL STORIES INCLUDE BASEMENTS BELOW THEIR RESPECTIVE 1ST STORIES

- PRECEDENT #1:**
 #108 WEST 76TH STREET
- FULL WIDTH 3-STORY EXTENSION PLUS ADDITIONAL AREA WITHIN TYPICAL IN-BLOCK FOOTPRINT

- PRECEDENT #2:**
 #139 75TH STREET
- FULL WIDTH 3-STORY EXTENSION SIMILAR TO PROPOSED
 - BALCONY AT THIRD FLOOR OVER TYPICAL REAR EXTENSION FOOTPRINT REMAINING



FULL WIDTH PENTHOUSES
SIMILAR TO PROPOSED
NOT VISIBLE FROM STREETS

"WEDDING CAKE" REAR ELEVATION
SIMILAR TO PROPOSED
REFER TO PHOTO #1, SHEET LPC-5C

THIRD STORY ADDITION
AT REAR EXTENSION

D1 View of Interior Block East of Project Site



FULL WIDTH PENTHOUSES
SIMILAR TO PROPOSED

"WEDDING CAKE" REAR ELEVATION
SIMILAR TO PROPOSED
REFER TO PHOTO #3, SHEET LPC-5C

FULL 4-STORY REAR EXTENSION

NEIGHBORING CHURCH OCCUPIES
MOST OF THEIR REAR YARD

D2 View of Interior Block West of Project Site

BALCONY AT FOURTH FLOOR
WITHIN FOOTPRINT OF TYPICAL
REAR YARD EXTENSION

FULL WIDTH THIRD FLOOR
REAR EXTENSION



D3 Precedent House #1: 108 West 76th St.
Full width "Wedding Cake" configuration at Rear



3-STORY & BASEMENT HEIGHT
WITHIN FOOTPRINT OF TYPICAL
REAR YARD EXTENSION

ADDITIONAL 1-STORY W/
BASEMENT EXTENSION
INTO REAR YARD

D4 113 West 75th St.
"Wedding Cake" within width of typical in-block rear extension.

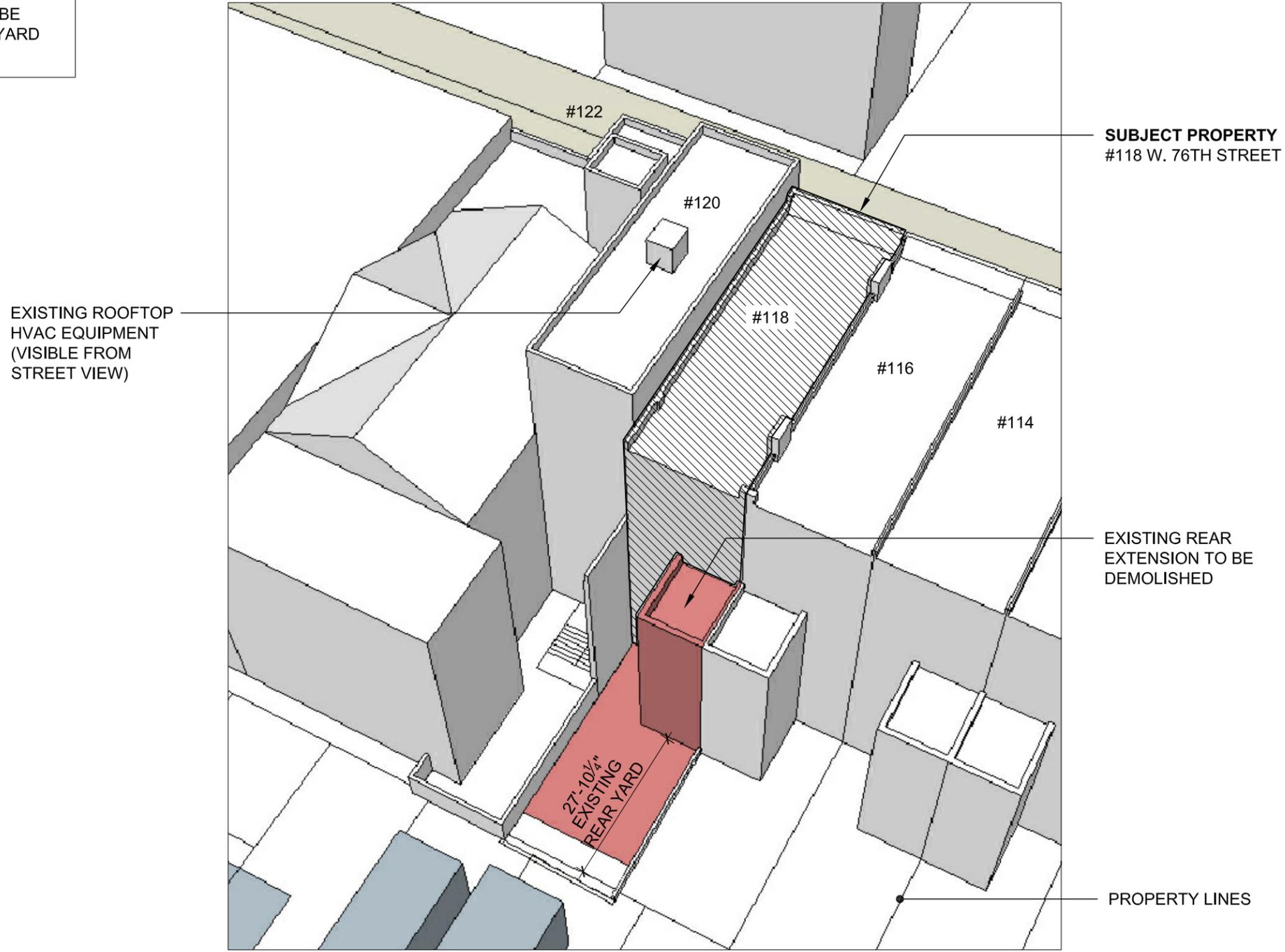
FULL WIDTH THIRD FLOOR SIMILAR
TO PROPOSED AT 118 W. 76TH

BALCONY AT THIRD FLOOR WITHIN
FOOTPRINT OF TYPICAL REAR YARD
EXTENSION FOOTPRINT



D5 Precedent House #2: 139 West 75th St.
Partial "Wedding Cake" Rear Configuration

 EXISTING BUILDING
 REAR EXTENSION TO BE DEMOLISHED / REAR YARD TO BE LOWERED

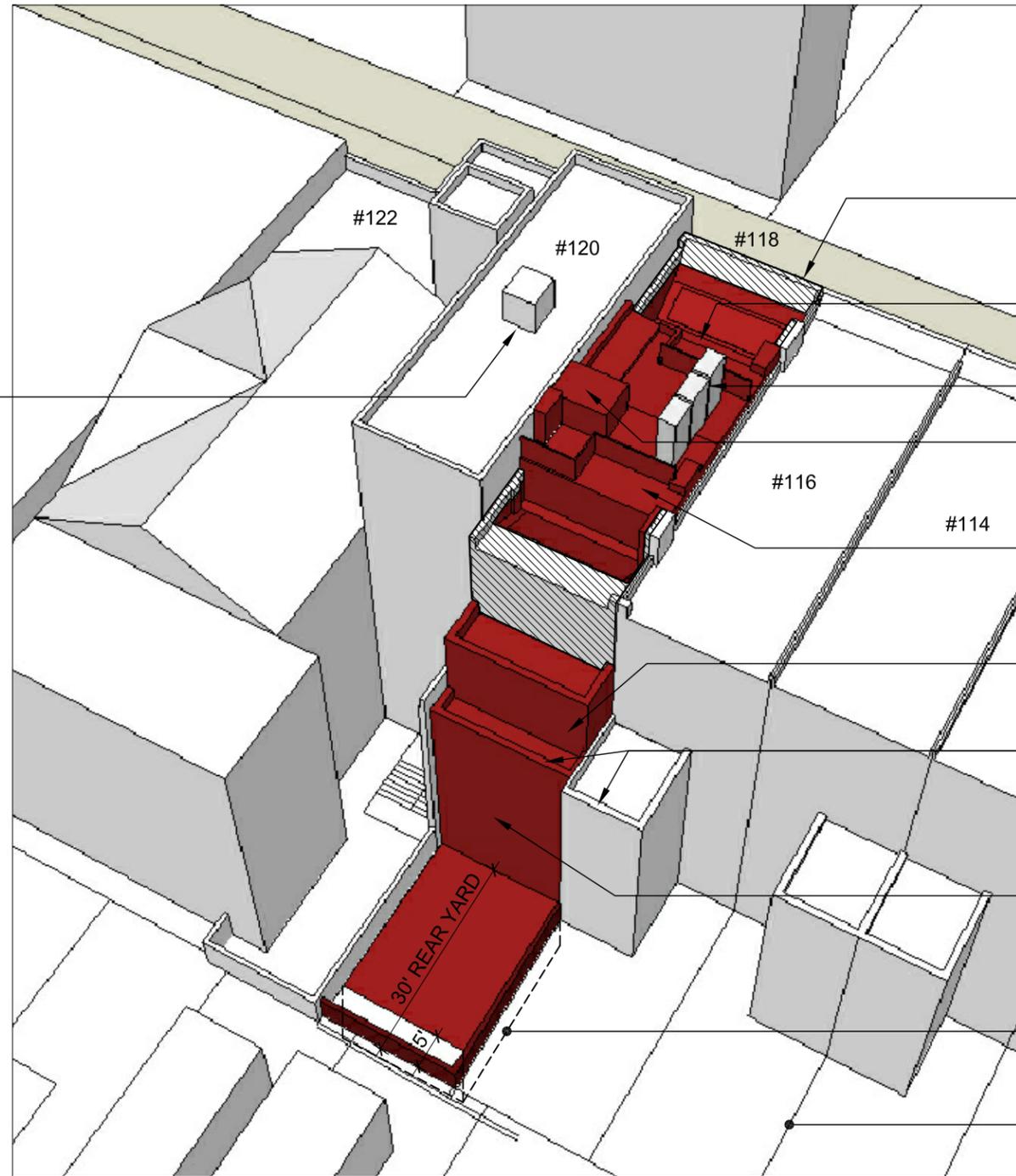


1 Aerial View of Existing Conditions at 118 W. 76th Street
 Not to Scale

 EXISTING BUILDING
 NEW ADDITION TO EXISTING BUILDING / REAR YARD LOWERED

EXISTING ROOFTOP HVAC EQUIPMENT (VISIBLE FROM STREET VIEW)

TYPICAL HVAC EQUIPMENT IN GALVANIZED STEEL FINISH:



SUBJECT PROPERTY
#118 W. 76TH STREET

PROPOSED ROOFTOP TERRACE

PROPOSED ROOFTOP HVAC EQUIPMENT (REFER TO SAMPLE IMAGE AT LEFT FOR TYPICAL UNIT)

PROPOSED ELEVATOR BULKHEAD

PROPOSED PENTHOUSE (1-STORY) ENLARGEMENT

THIRD FLOOR OF PROPOSED ADDITION STEPS BACK

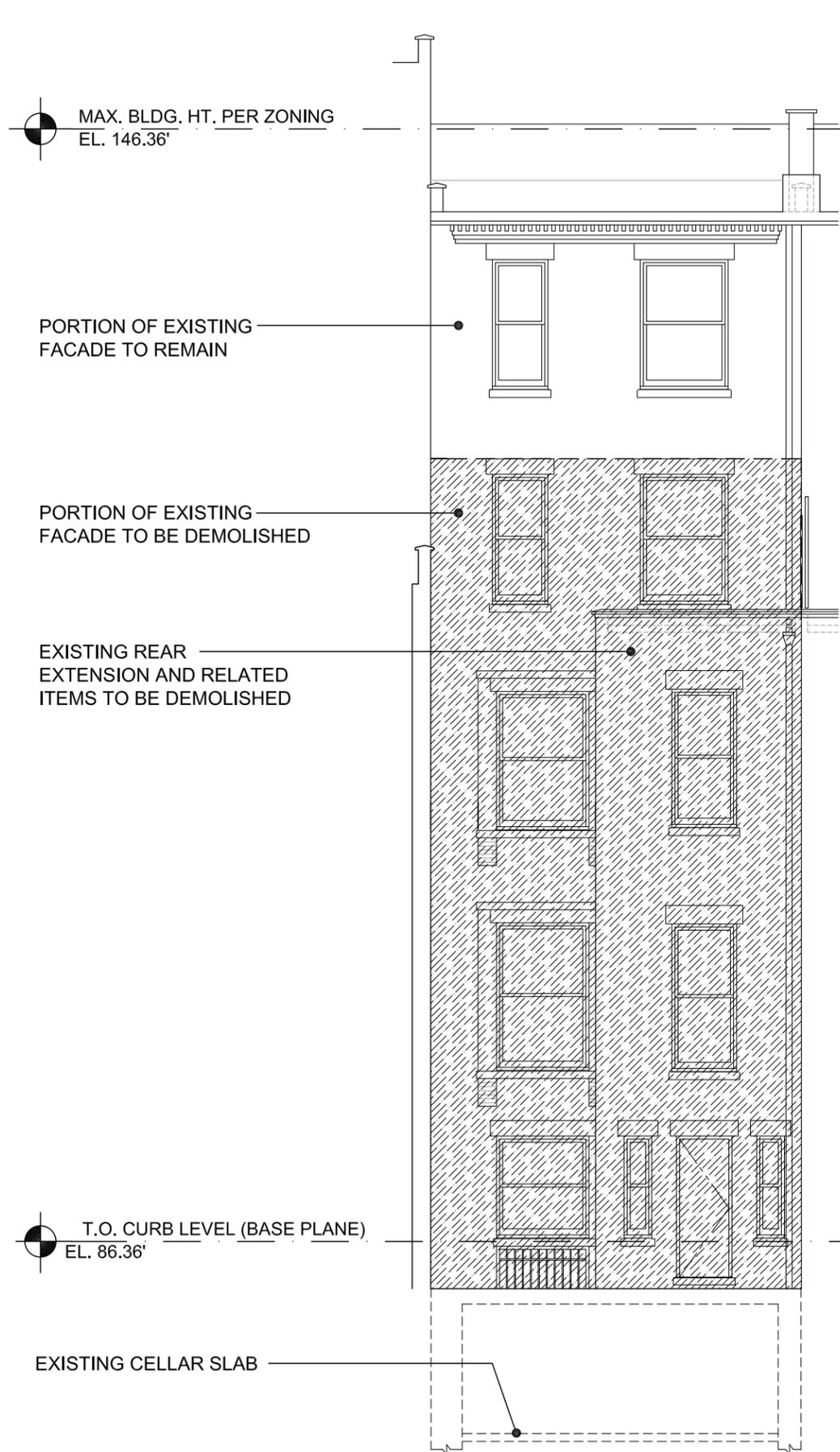
PARAPET HEIGHT AT PROPOSED BALCONY TO ALIGN WITH EAST NEIGHBOR'S REAR EXTENSION

PROPOSED REAR ADDITION

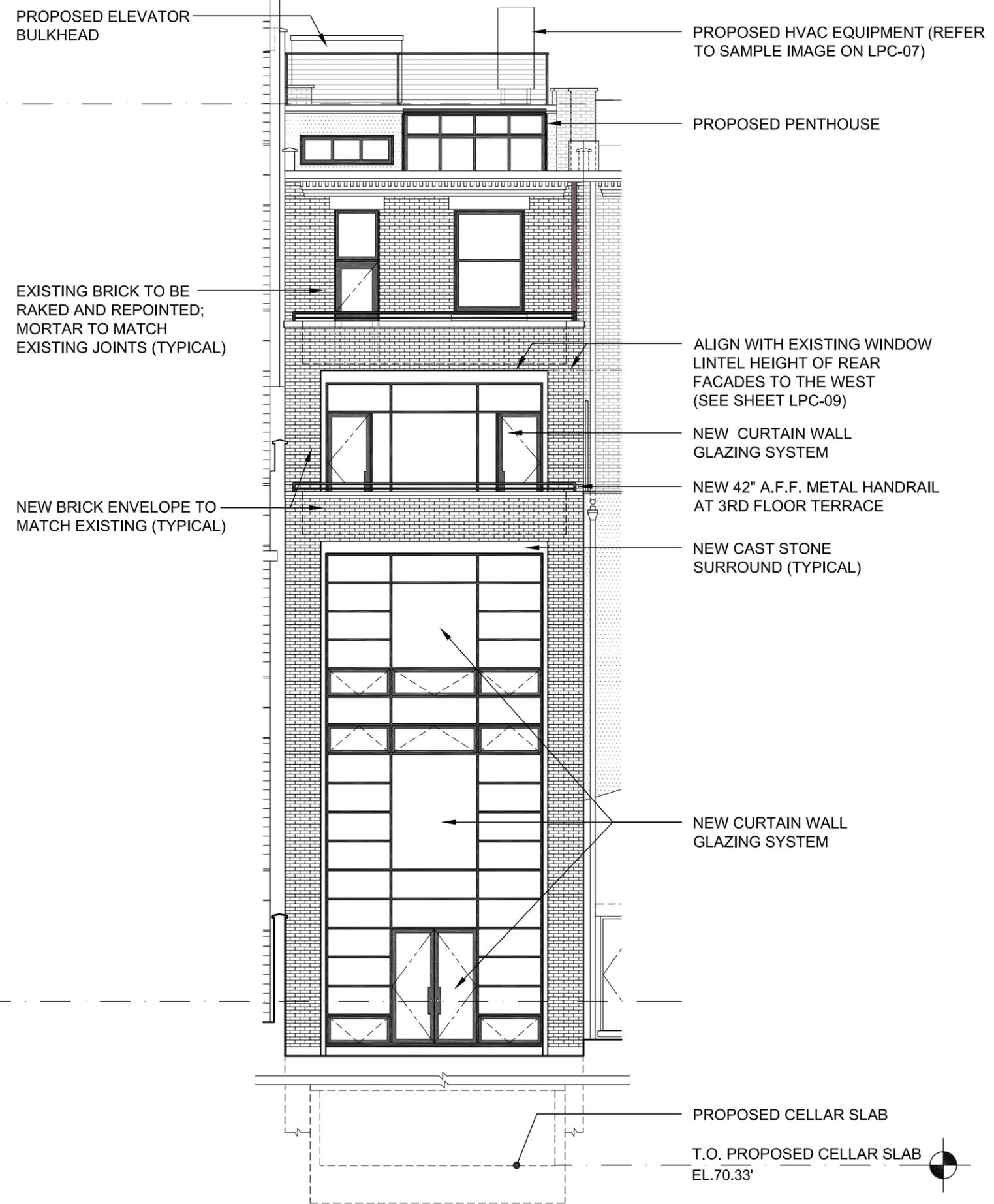
PROPOSED EXCAVATED CELLAR (5'-0" FROM PROPERTY LINE)

PROPERTY LINES

1 Aerial View of Proposed Conditions at 118 W. 76th Street
Not to Scale



1 Existing Rear Elevation
Scale : 1/8" = 1'-0"



2 Proposed Rear Elevation
Scale : 1/8" = 1'-0"



120 WEST 76TH STREET

118 WEST 76TH STREET

116 WEST 76TH STREET

114 WEST 76TH STREET

112 WEST 76TH STREET

1 Interior Donut: Existing Elevations with Proposed #118 Rear
 Scale : 1/8" = 1'-0"



1 Proposed Rear Elevation
Scale : 3/16" = 1'-0"

T.O. METAL CORNICE
EL. 146.62'

MAX. BLDG. HT. PER ZONING
EL. 146.36'

EXISTING WALL, FLOORING
OR AREA TO BE REMOVED

T.O. CURB LEVEL
EL. 86.36'

WEST 76TH STREET

60'-0" STREET WIDTH

T.O. CELLAR SLAB
EL. 71.33'

PROPERTY LINE

FLOOR STRUCTURE REPLACEMENT FILED
UNDER DOB APPLICATION # 122172790

EXISTING ROOF STRUCTURE TO
BE REMOVED

FOURTH FLOOR

LINE OF REQUIRED
30' REAR YARD

THIRD FLOOR

27'-10¹/₄"
EXISTING REAR YARD

SECOND FLOOR

EXISTING REAR EXTENSION
AND RELATED ITEMS TO BE
DEMOLISHED

FIRST FLOOR

BASEMENT

CELLAR EXCAVATION FILED UNDER
DOB APPLICATION # 122276866

PROPERTY LINE

Existing Building Section

May 12, 2015

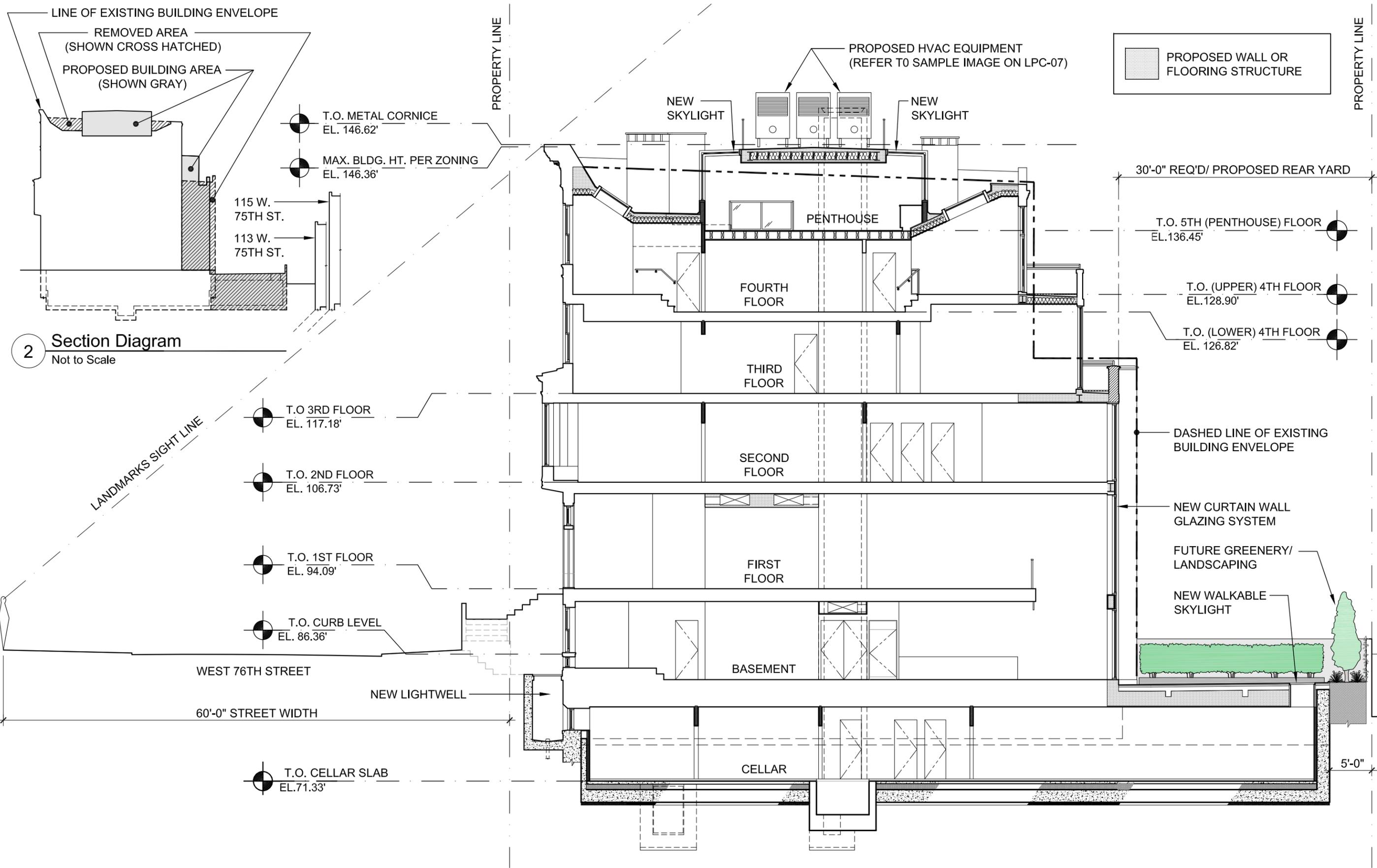
LPC-10

Alterations to:
118 West 76th Street, New York, NY 10023
Landmarks Preservation Commission Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.
1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010

1 Existing Building Section

Scale : 3/32" = 1'-0"



2 Section Diagram
Not to Scale

1 Proposed Building Section
Scale : 3/32" = 1'-0"

PROPOSED WALL OR FLOORING STRUCTURE

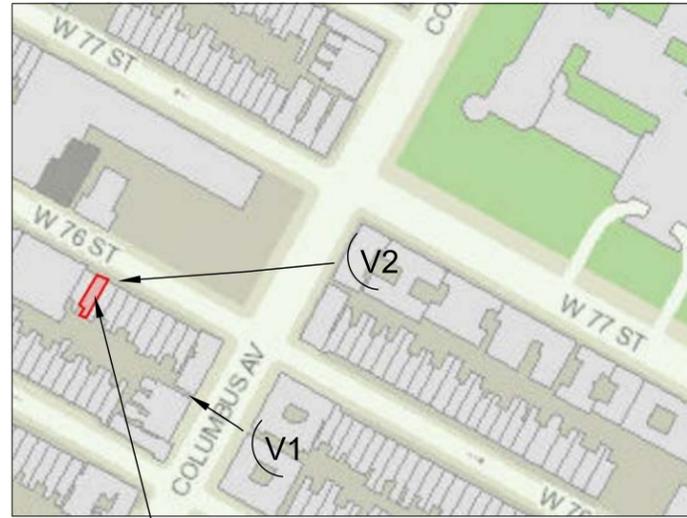
Proposed Building Section

May 19, 2015

LPC-11

Alterations to:
118 West 76th Street, New York, NY 10023
 Landmarks Preservation Commission Review

ZIVKOVIC CONNOLLY ARCHITECTS P.C.
 1133 BROADWAY, SUITE 1330, NEW YORK, NY 10010



SUBJECT PROPERTY
#118 WEST 76TH ST

Key Map
N.T.S.



EXISTING HVAC EQUIPMENT OF #120 (VISIBLE)
ROOF MOCK-UP (VISIBLE)



Street View

EXISTING HVAC EQUIPMENT OF #120 (VISIBLE)
ROOF MOCK-UP (VISIBLE)



Closeup of Street View

V2 View of Roof Mock-up from Columbus Avenue in between 76th St. & 77th St.

FRONT OF
BUILDING
PROPOSED
RAILING NOT
VISIBLE



View of Roof Mock-up

VIEW BEFORE SIDE
DONUT OPENING

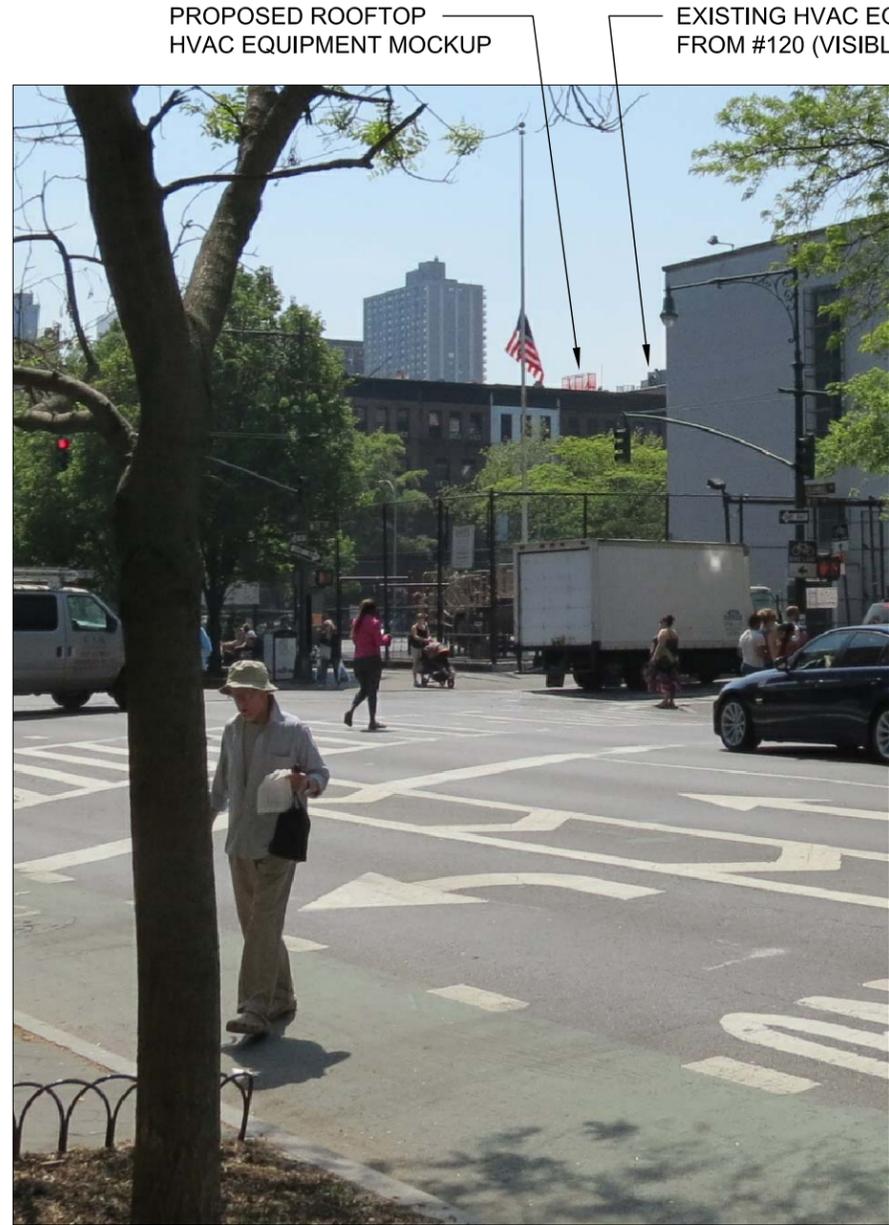


SIDE DONUT OPENING
(MOCK-UP NOT VISIBLE)

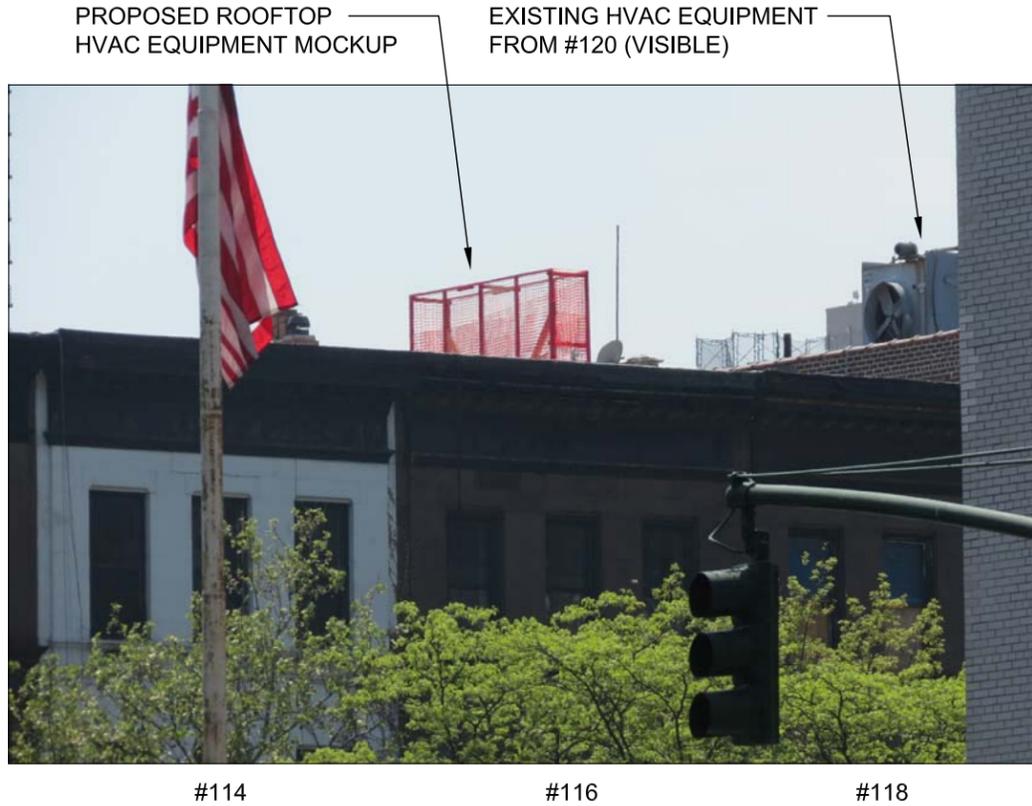


Views of Side Donut Opening

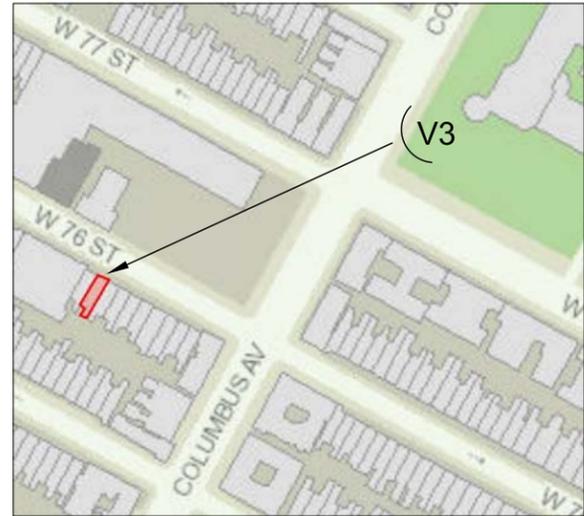
V1 View of Side Donut Opening from Columbus Avenue in between 75th St. & 76th St.



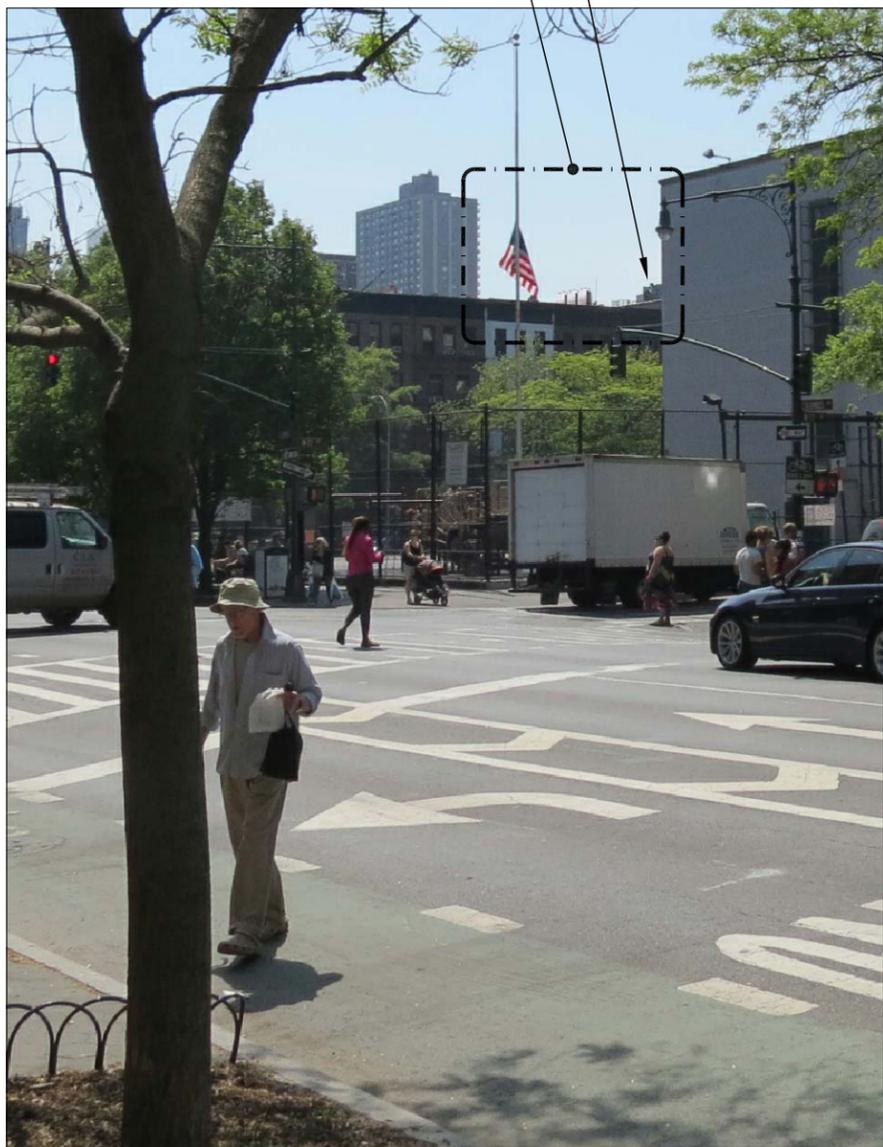
V3 Street View of Roof Mockup:
NE Corner at W. 77th Street & Columbus Street
Not to Scale



V3a Closeup Street View of Roof Mockup:
NE Corner at W. 77th Street & Columbus Street
Not to Scale



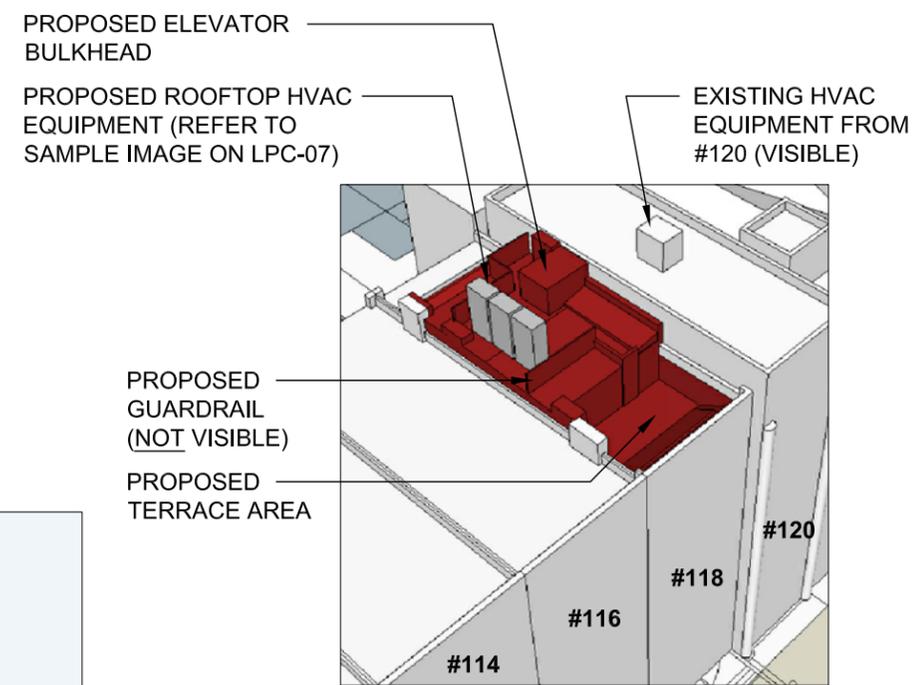
Key Map
N.T.S.



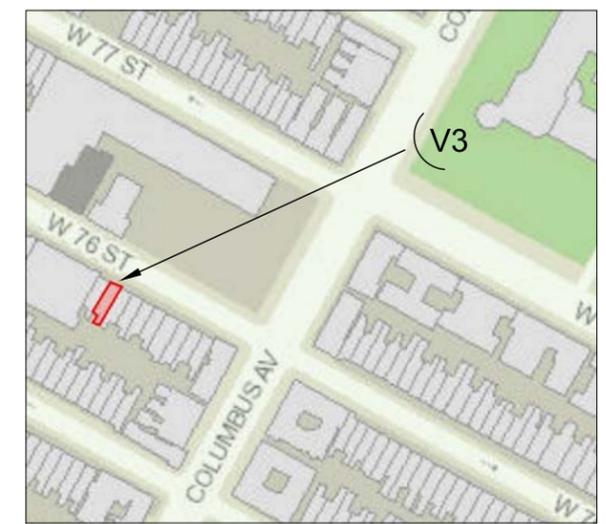
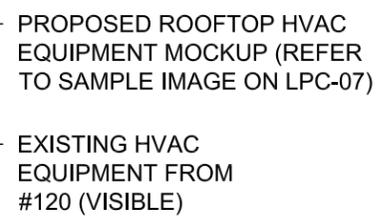
V3 Street View with Photo Montage of Condensers:
NE Corner at W. 77th Street & Columbus Street
Not to Scale



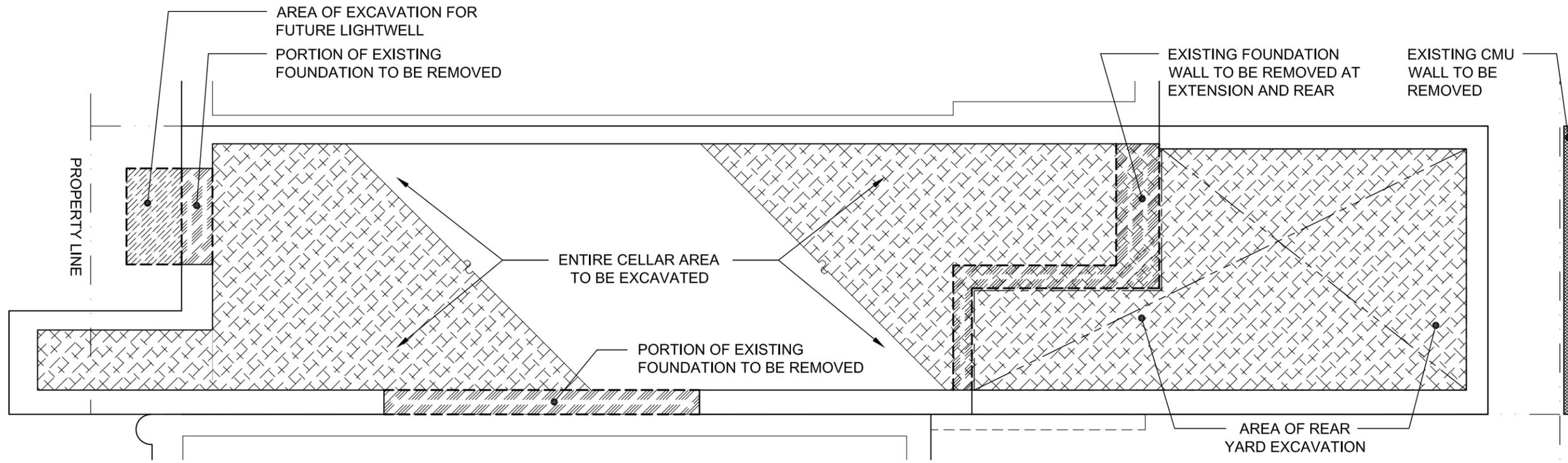
V3a Closeup Street View with Photo Montage of Condensers:
NE Corner at W. 77th Street & Columbus Street
Not to Scale



1 Aerial View of Proposed Penthouse
Not to Scale

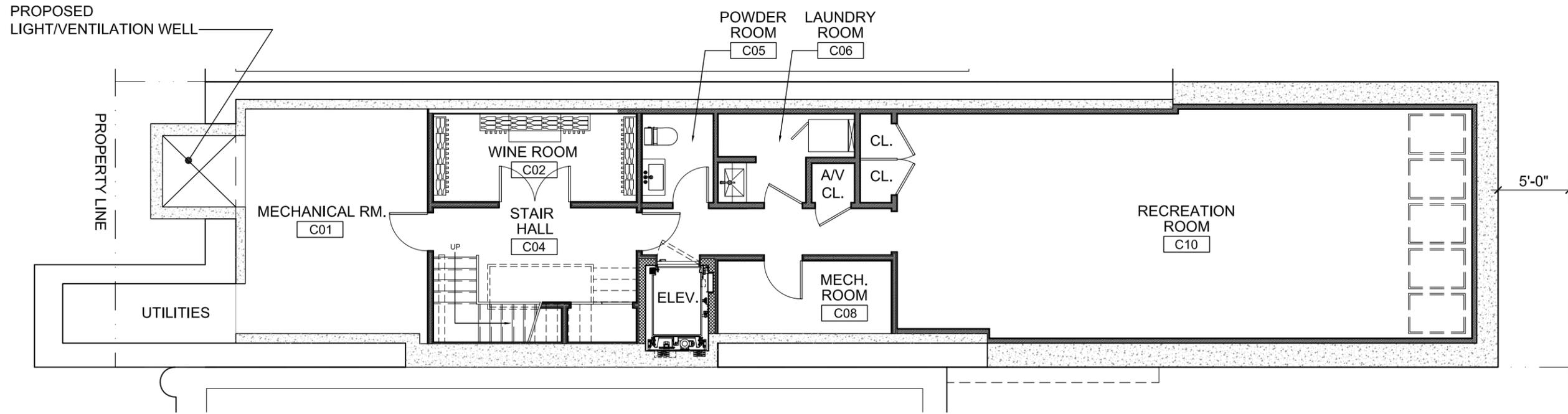


Key Map
N.T.S.

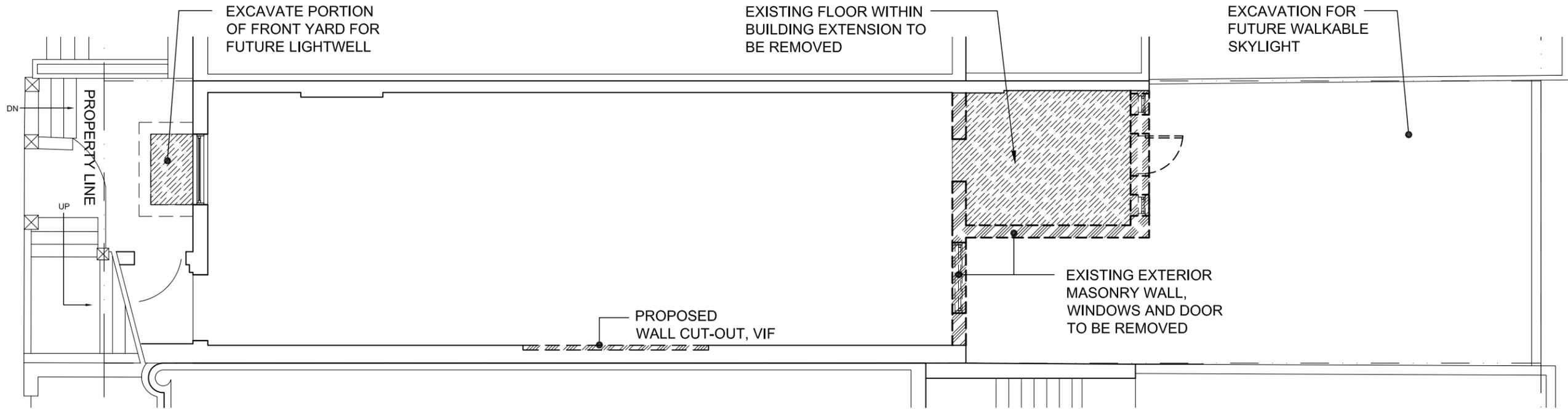


-  EXISTING AREA TO BE REMOVED
-  EXISTING FLOORING TO BE REMOVED
-  EXISTING MASONRY TO BE REMOVED

1 Existing Cellar - Demolition Plan
Scale : 1/8" = 1'-0"

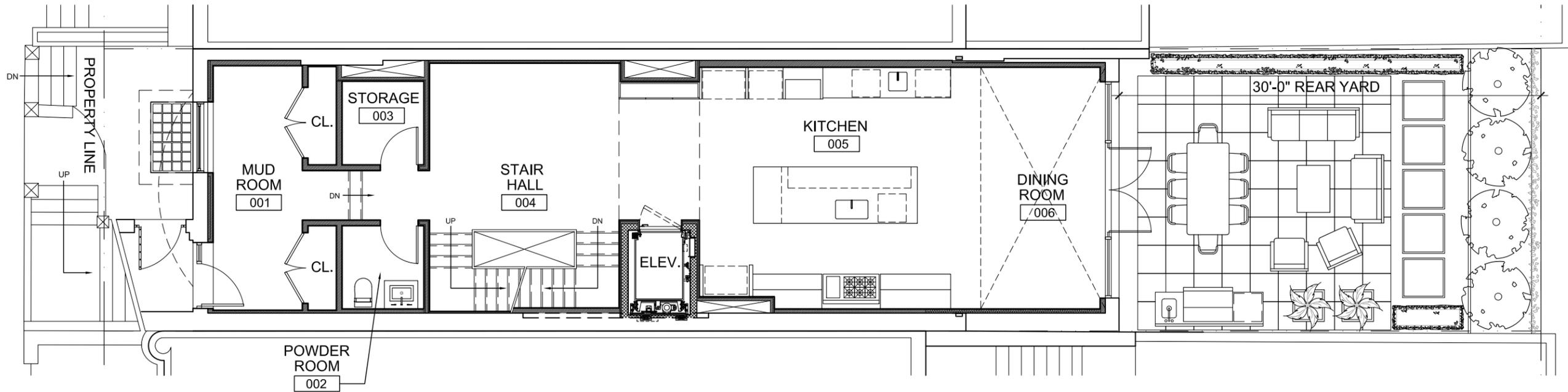


2 Proposed Cellar Plan
Scale : 1/8" = 1'-0"

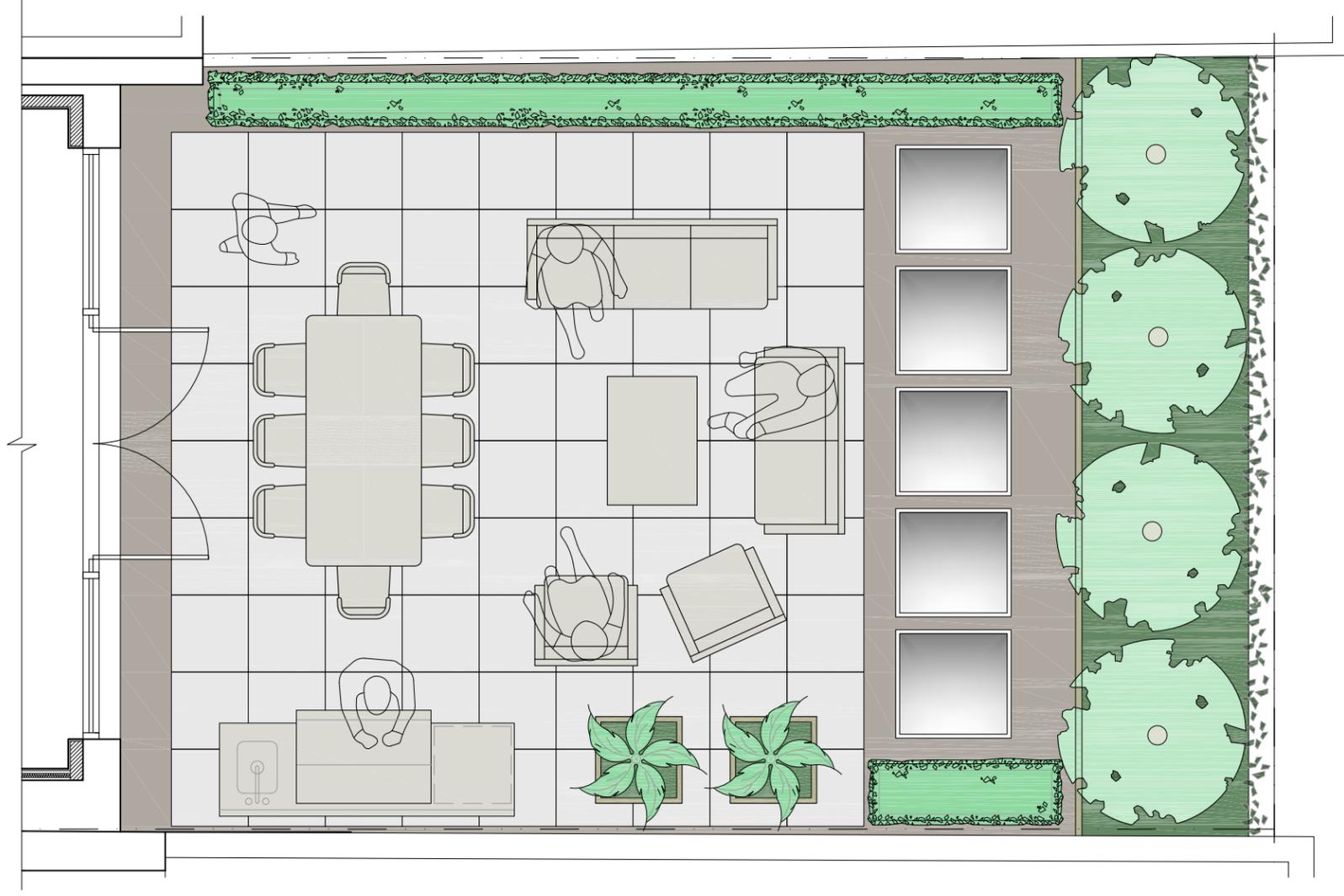


-  EXISTING AREA TO BE REMOVED
-  EXISTING FLOORING TO BE REMOVED
-  EXISTING MASONRY TO BE REMOVED

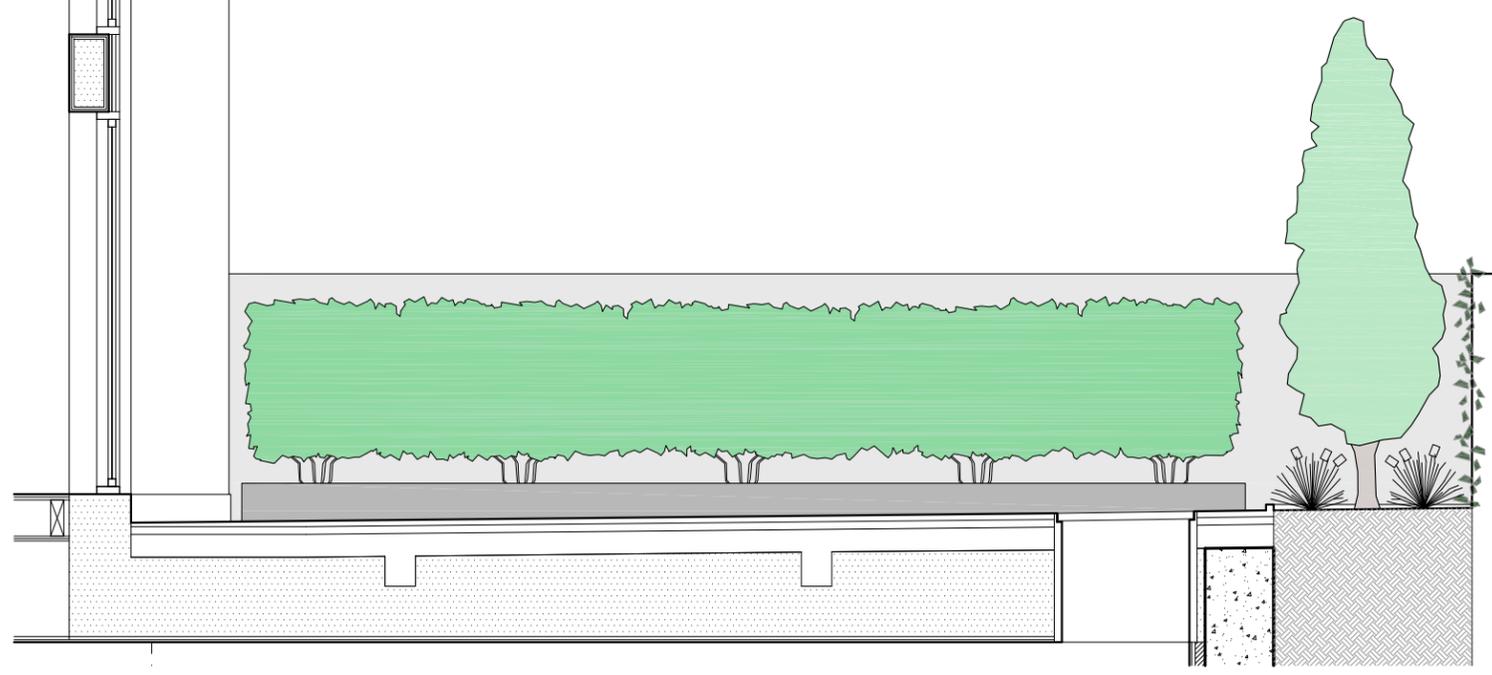
1 Existing Basement - Demolition Plan
Scale : 1/8" = 1'-0"



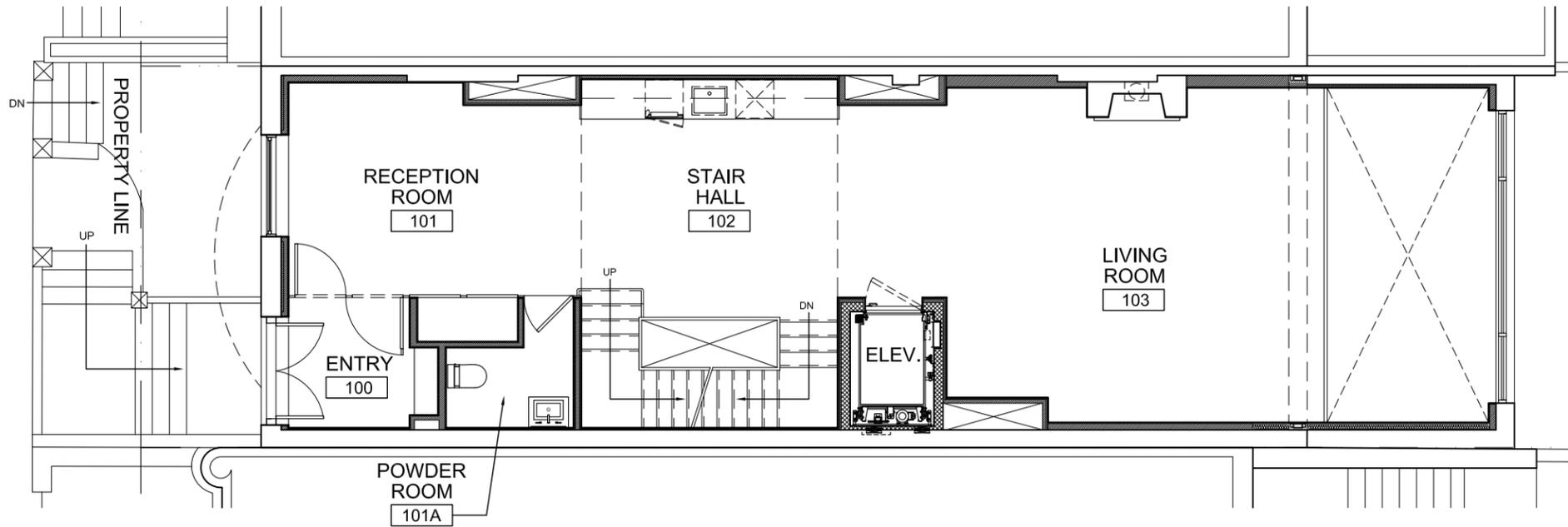
2 Proposed Basement Plan
Scale : 1/8" = 1'-0"



1 Proposed Plan at Rear Yard
Scale : 1/4" = 1'-0"

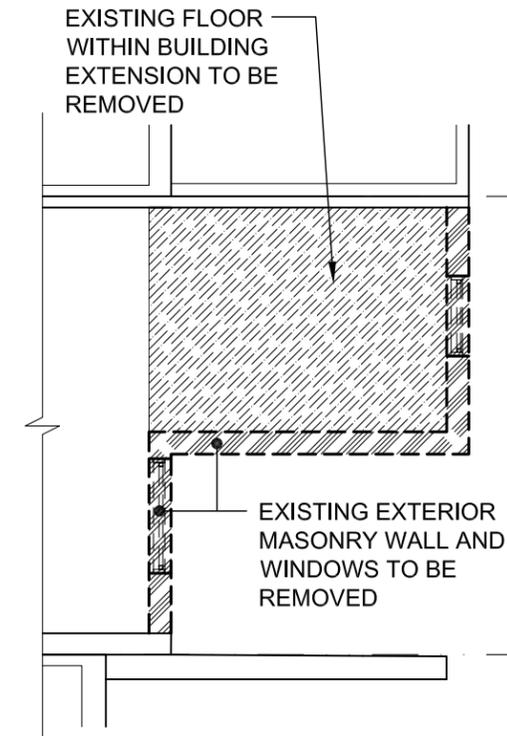


2 Proposed Section at Rear Yard
Scale : 1/4" = 1'-0"

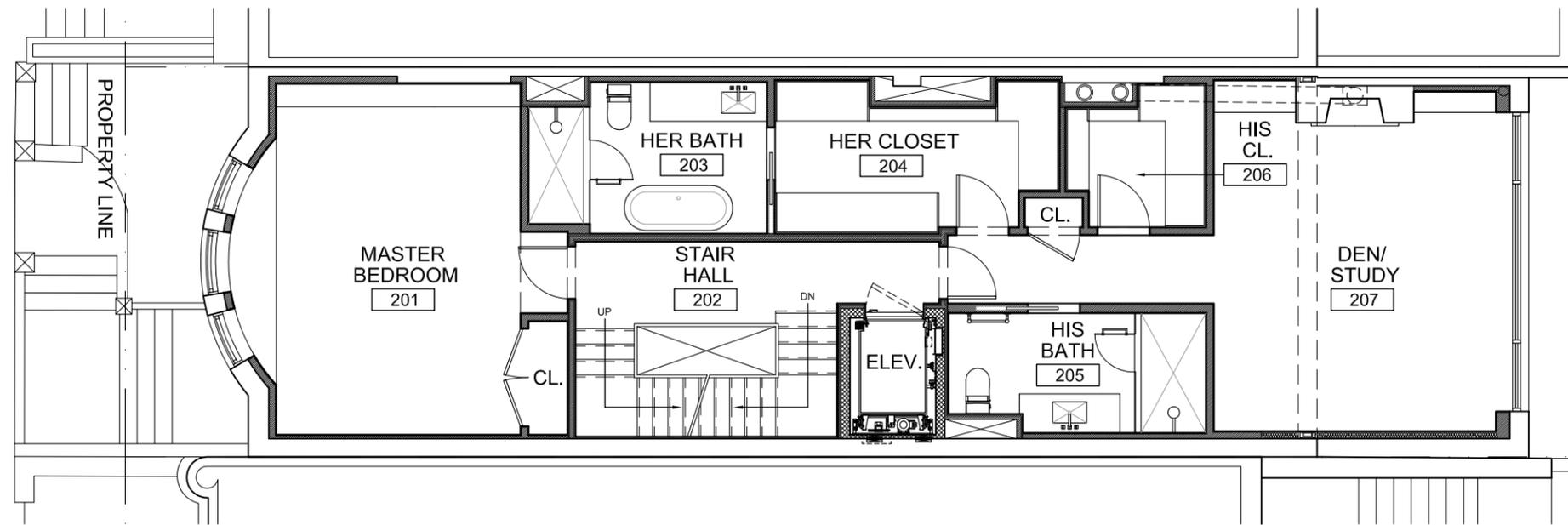


1 Proposed First Floor - Construction Plan
Scale : 1/8" = 1'-0"

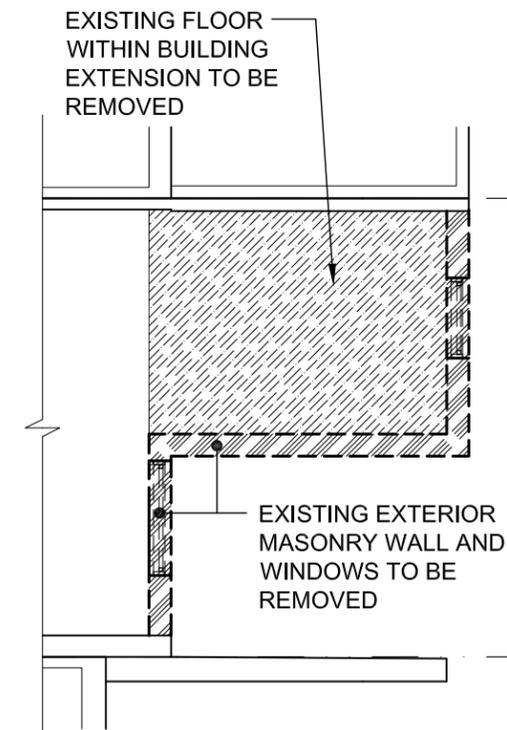
	EXISTING AREA TO BE REMOVED
	EXISTING FLOORING TO BE REMOVED
	EXISTING MASONRY TO BE REMOVED



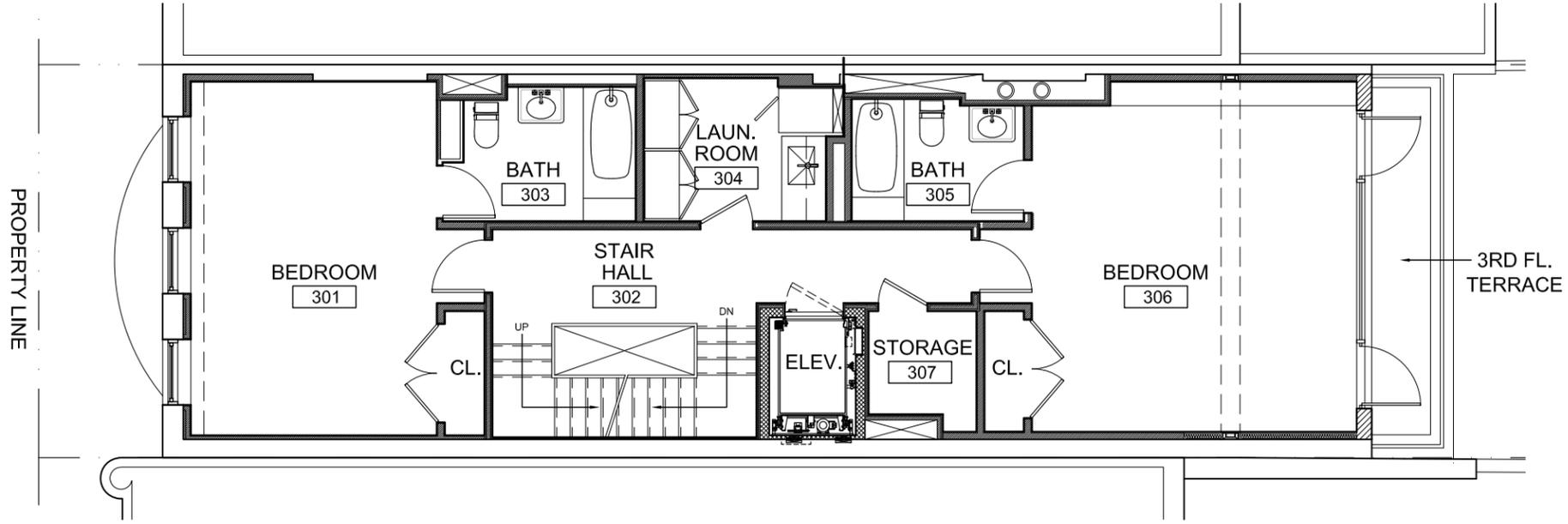
2 Partial First Floor Demolition Plan at Rear
Scale : 1/8" = 1'-0"



3 Proposed Second Floor Plan
Scale : 1/8" = 1'-0"

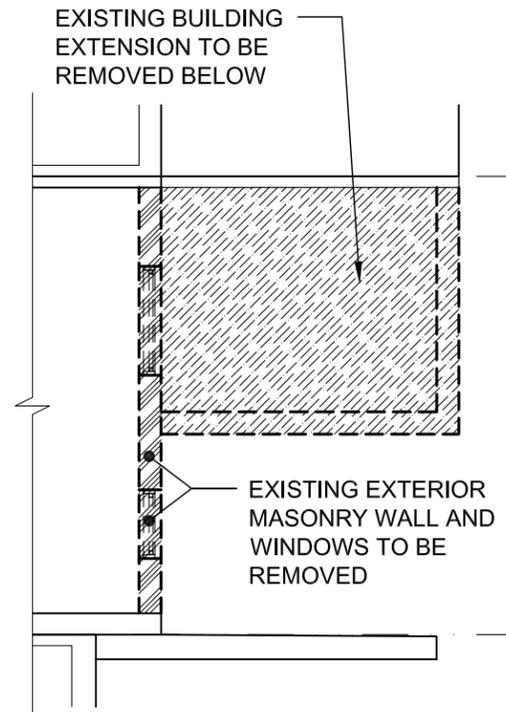


4 Partial Second Floor Demolition Plan at Rear
Scale : 1/8" = 1'-0"

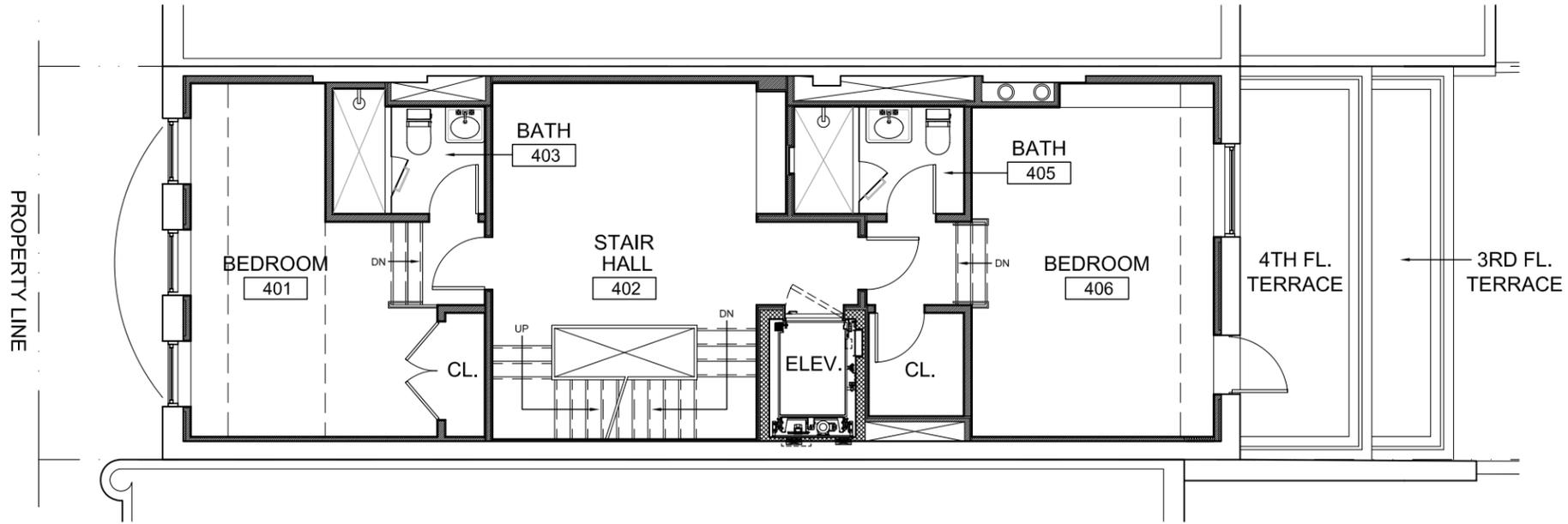


1 Proposed Third Floor Plan
Scale : 1/8" = 1'-0"

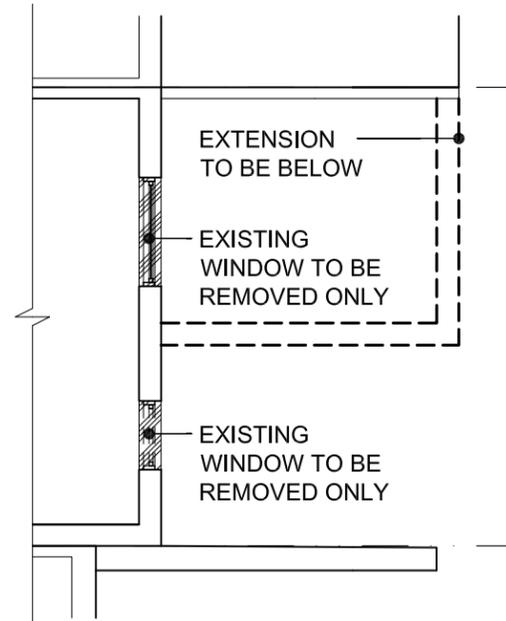
	EXISTING AREA TO BE REMOVED
	EXISTING FLOORING TO BE REMOVED
	EXISTING MASONRY TO BE REMOVED



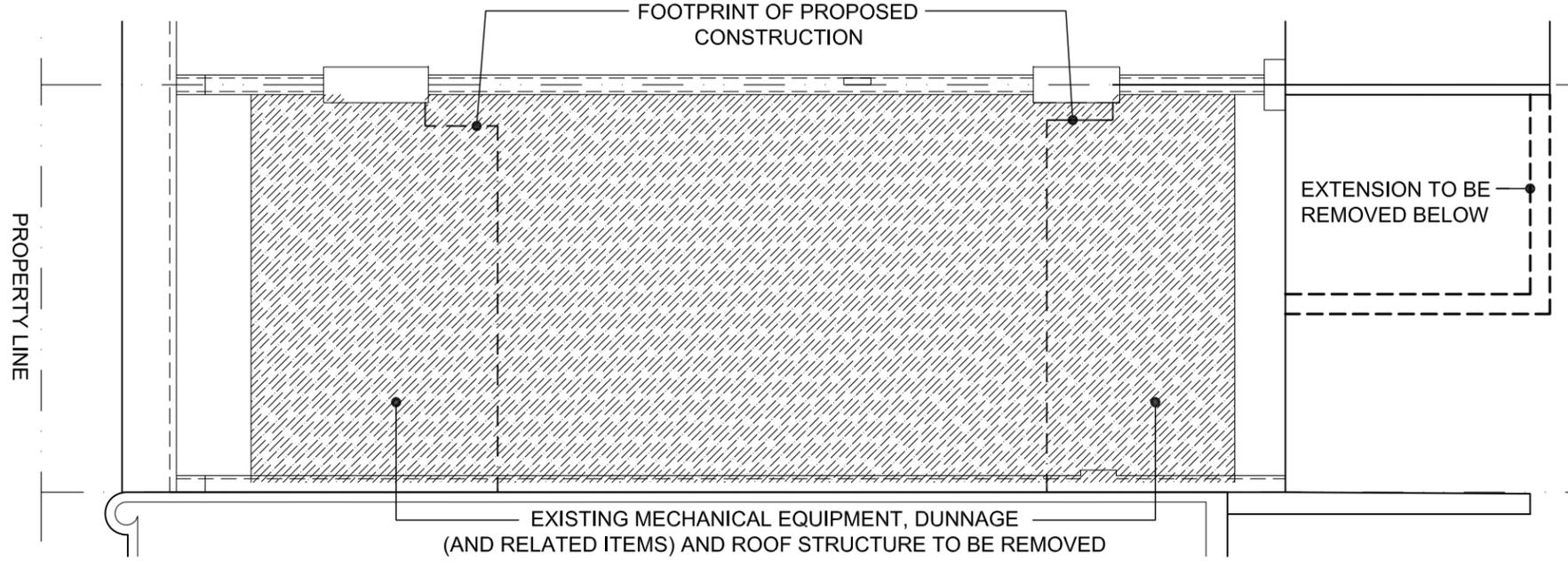
2 Partial Third Floor Demolition Plan at Rear
Scale : 1/8" = 1'-0"



3 Proposed Fourth Floor Plan
Scale : 1/8" = 1'-0"

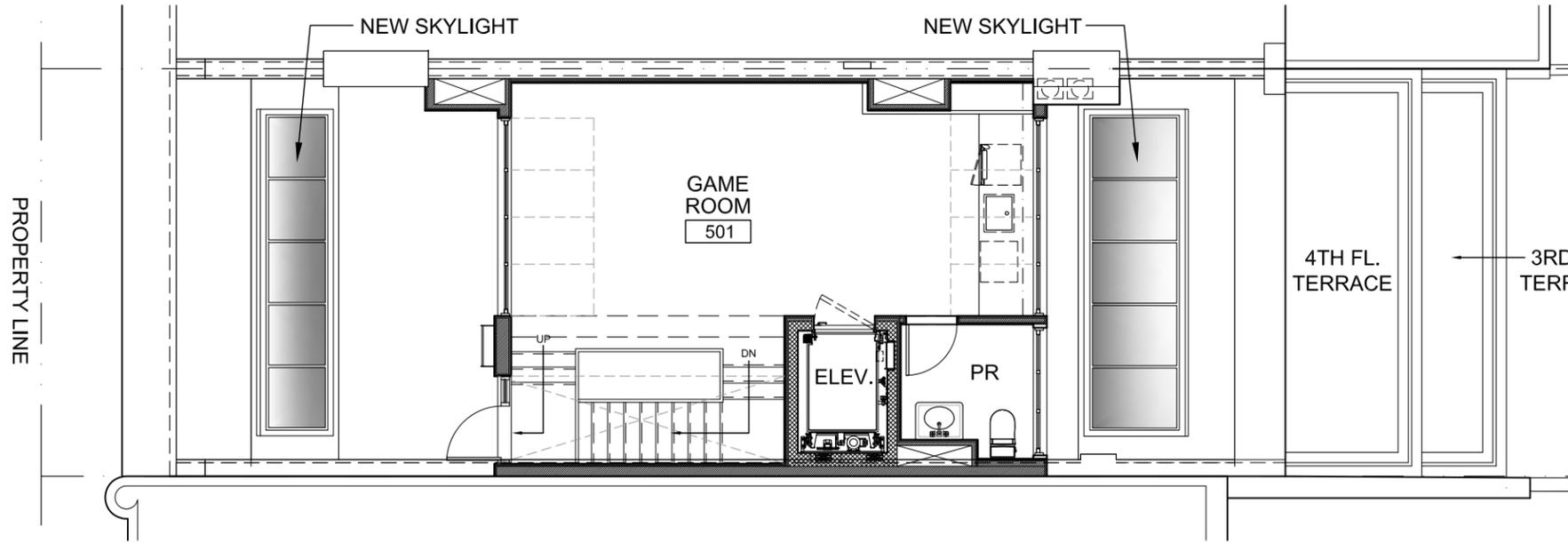


4 Partial Fourth Floor Demolition Plan at Rear
Scale : 1/8" = 1'-0"

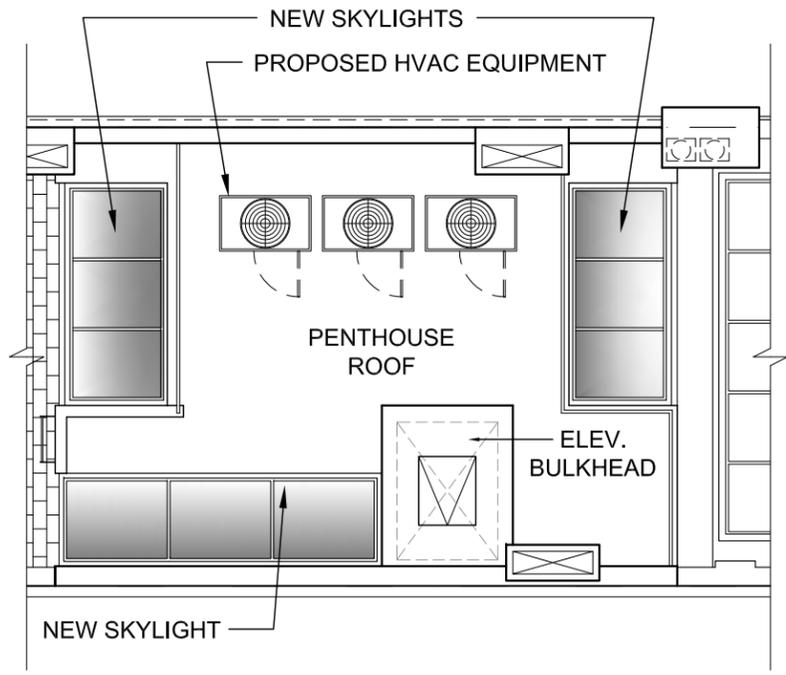


1 Existing Roof - Demolition Plan
Scale : 1/8" = 1'-0"

	EXISTING AREA TO BE REMOVED
	EXISTING FLOORING TO BE REMOVED
	EXISTING MASONRY TO BE REMOVED



2 Proposed Roof Plan
Scale : 1/8" = 1'-0"



3 Proposed Penthouse Roof Plan
Scale : 1/8" = 1'-0"